

NOTES:

1. LOCATION: 201 ELM STREET (PARCEL ID: 66-61)
6 MONROE STREET (PARCEL ID: 55-24)
2. DEED: SOUTHERN ESSEX
REGISTRY OF DEEDS
BOOK 42186 PAGE 190
3. ZONE: RESIDENCE 8 (R8)
4. USE: SINGLE FAMILY RESIDENTIAL
5. APPLICANT: RIVERS EDGE DEVELOPMENT LLC
201 ELM ST.
AMESBURY, MA
6. EXISTING CONDITIONS INFORMATION GENERATED FROM RECORD DOCUMENTS, READILY AVAILABLE INFORMATION AS WELL AS AN ON THE GROUND SURVEY PERFORMED BY CIVIL DESIGN CONSULTANTS, INC. IN JULY 2024.
7. PROPERTY IS NOT LOCATED WITHIN A DESIGNATED FLOOD HAZARD AREA PER FLOOD INSURANCE RATE MAP NUMBER 25009C0106F DATED JULY 3, 2012.
8. PLAN BEARINGS ARE BASED UPON THE MASSACHUSETTS STATE PLANE COORDINATE SYSTEM (NAD83) – MAINLAND ZONE, PER GPS OBSERVATIONS.
9. ALL ELEVATIONS REFER TO THE NORTH AMERICAN VERTICAL DATUM (NAVD88), PER GPS OBSERVATIONS.
10. UTILITY LOCATIONS ARE SHOWN PER READILY AVAILABLE RECORD INFORMATION AND OBSERVABLE FIELD EVIDENCE. OTHER UNDERGROUND UTILITIES MAY EXIST WHICH ARE NOT SHOWN ON THIS PLAN. CDCl MAKES NO CLAIM TO THE ACCURACY OR COMPLETENESS OF UTILITY INFORMATION. 72 HOURS PRIOR TO ANY EXCAVATION ON SITE, THE CONTRACTOR SHALL CONTACT DIG-SAFE AT 811.
11. UPON COMPLETION OF CONSTRUCTION ACTIVITIES, THE CONTRACTOR SHALL PREPARE AND PROVIDE AS-BUILT DRAWINGS CONFORMING TO THE CITY'S SUBMISSION STANDARDS.
12. PERMITS:
- SITE PLAN REVIEW
- HISTORIC PRESERVATION SPECIAL PERMIT
13. LIST OF WAIVERS:
- PROPOSED LOT 1:
- WAIVER TO ALLOW A REDUCTION IN FRONT SETBACK FOR PROPOSED FOR A PRE-EXISTING NON-CONFORMING STRUCTURE.
- WAIVER TO ALLOW A REDUCTION TO THE MINIMUM SIDE SETBACK FOR A PRE-EXISTING NON-CONFORMING STRUCTURE.
- PROPOSED LOT 2:
- WAIVER TO ALLOW A REDUCTION TO THE MINIMUM FRONT SETBACK.
- WAIVER TO ALLOW A REDUCTION THE MINIMUM SIDE SETBACK.
- PROPOSED LOT 3:
- WAIVER TO ALLOW A REDUCTION TO THE MINIMUM FRONT YARD SETBACK.
- WAIVER TO ALLOW A REDUCTION TO THE MINIMUM REAR SETBACK.
14. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONSTRUCT ALL IMPROVEMENTS IN STRICT COMPLIANCE WITH THE APPROVED PLANS AND PERMIT CONDITIONS. ANY CHANGES TO THE PLANS SHOULD BE PRESENTED TO THE PROJECT ENGINEER PRIOR TO CONSTRUCTION.
15. THE PROJECT ENGINEER MUST BE ATTEND THE PRE-CONSTRUCTION MEETING WITH THE SITE CONTRACTOR AND THE TOWN.
16. MINIMUM REQUIRED INSPECTION SCHEDULE TO ADDRESS THE AS-BUILT SUBMITTAL REQUIREMENTS NOTED IN THE PERMITS REFERENCED ABOVE, THE FOLLOWING ITEMS REQUIRE CONSTRUCTION PERIOD DOCUMENTATION, CONSTRUCTION LAYOUT, AS-BUILT LOCATION OR PHYSICAL ON-SITE INSPECTION. THE CONTRACTOR SHALL PROVIDE CDCl WITH A MINIMUM OF 48-HOURS NOTICE. FAILURE TO COORDINATE WITH THIS OFFICE TO PERFORM THE FOLLOWING SERVICES WILL RESULT IN AN INABILITY TO ADDRESS THE AS-BUILT SUBMITTAL REQUIREMENTS.
17. PRE-CONSTRUCTION
- SET CONSTRUCTION CONTROL, SET TEMPORARY BENCHMARKS AND LAYOUT LIMIT OF CLEARING AND/OR EROSION CONTROL.
- STAKE-OUT ALL PROPERTY CORNERS ADJACENT TO PROPOSED CONSTRUCTION.
- STAKE-OUT AND FLAG STORMWATER MANAGEMENT SYSTEM.
17. STORMWATER
- STAKE-OUT ALL STORMWATER BMPS
- OBSERVE AND LOCATE THE BOTTOM OF EXCAVATION FOR STORMWATER MANAGEMENT SYSTEMS.
- AS-BUILT BMP'S UPON THE COMPLETION OF ROUGH GRADING (PRIOR TO PLACEMENT OF LOAM)
- MONITOR PONDS DURING CONSTRUCTION TO ENSURE DRAINS W/IN 72-HOURS.

REFERENCE PLANS:

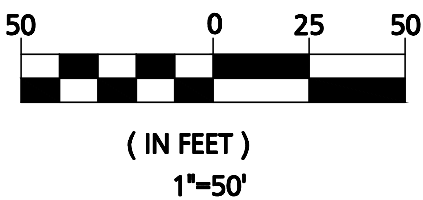
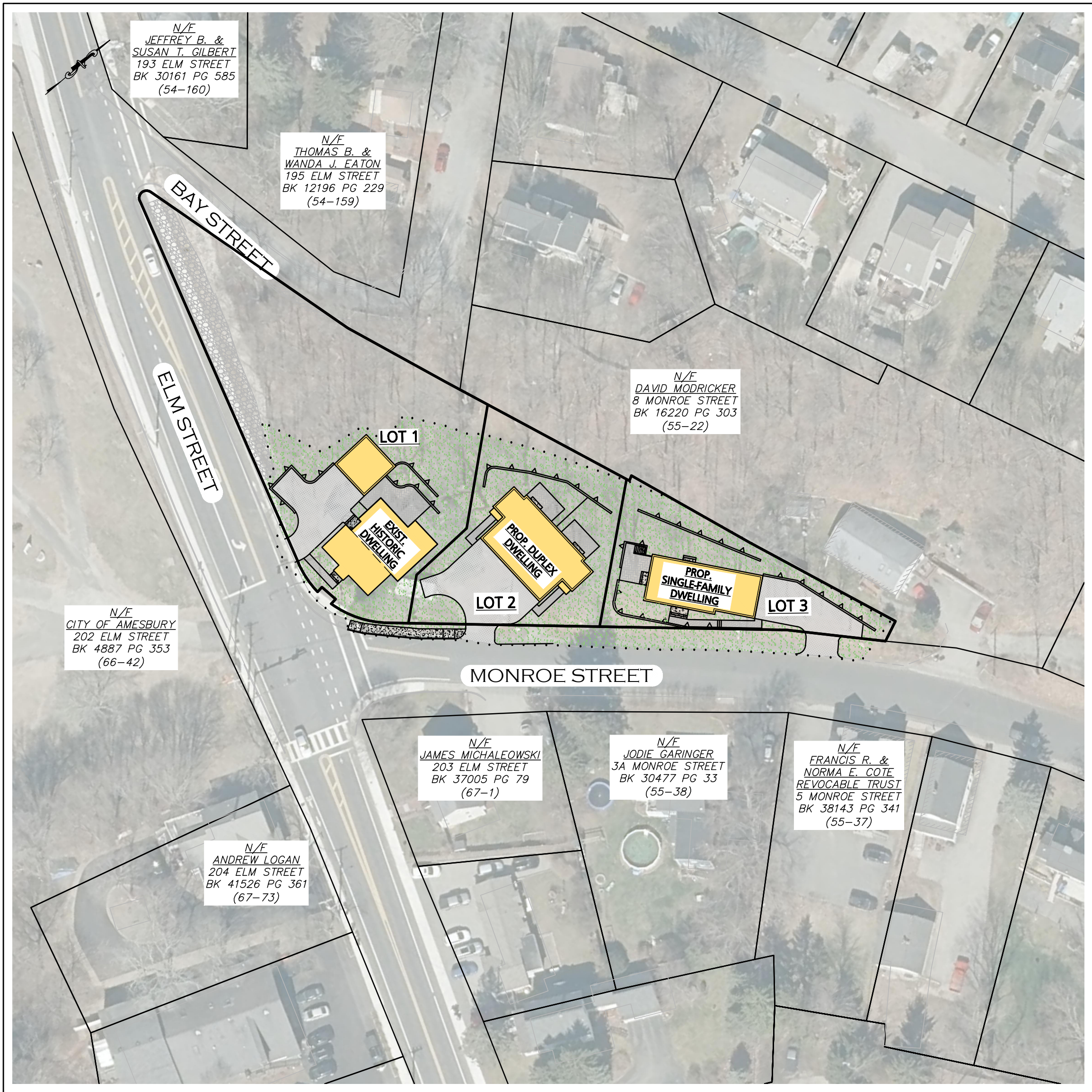
18. "AMESBURY, MASS. SUBDIVISION OF LAND" BY REID LAND SURVEYORS DATED APRIL 25, 1989 AND RECORDED AT THE SOUTHERN ESSEX REGISTRY OF DEEDS ON DECEMBER 15, 2004 AS PLAN BOOK 383 PAGE 50.

PLAN INDEX:

TITLE	DATE ISSUED	DATE REVISED
C-1 COVER SHEET	02/24/25	04/18/25
C-2 EXISTING CONDITIONS PLAN	02/24/25	04/18/25
C-3 LAYOUT & MATERIALS PLAN	02/24/25	04/18/25
C-4 GRADING & DRAINAGE PLAN	02/24/25	04/18/25
C-5 UTILITIES PLAN	02/24/25	04/18/25
D-1 CONSTRUCTION DETAILS	02/24/25	04/18/25
D-2 CONSTRUCTION DETAILS	02/24/25	04/18/25

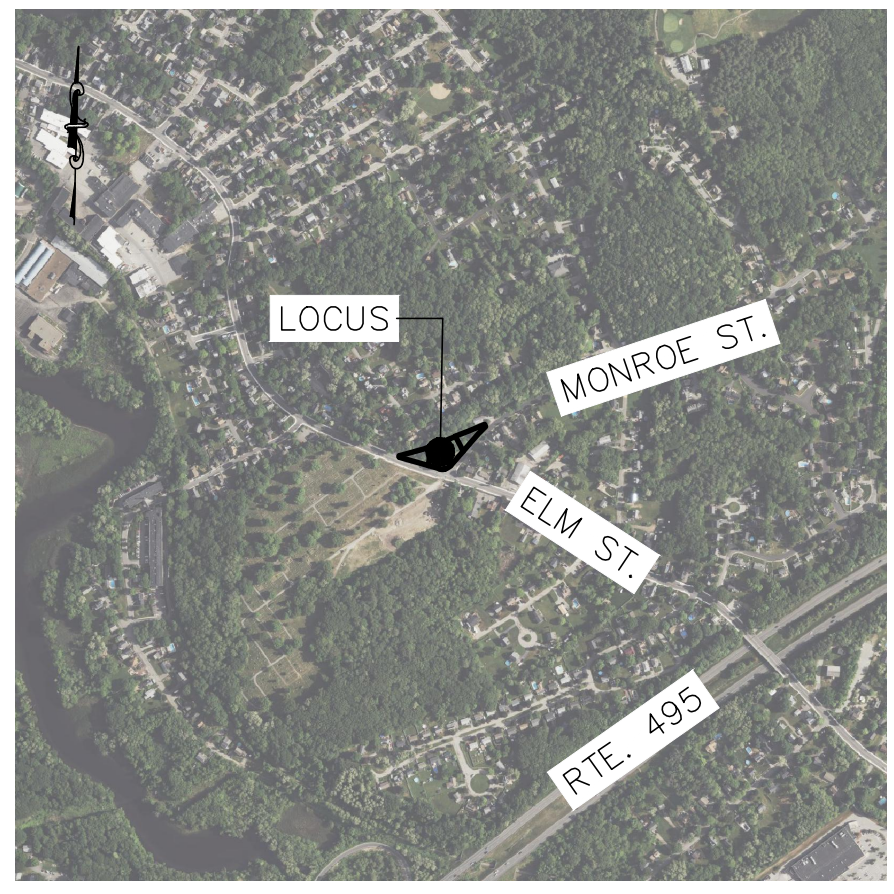
SITE DEVELOPMENT PLANS FOR 201 ELM STREET & 6 MONROE STREET

(MAP 66 / LOT 61 & MAP 55 / LOT 24)
AMESBURY, MASSACHUSETTS 01913



LOCUS MAP

(SCALE: 1:1,000)



USGS MAP

(SCALE: 1:1,000)



LEGEND

PROPERTY LINE	_____
ABUTTERS PROPERTY LINE	_____
PROPOSED DRAIN	— D — D — D —
PROPOSED SEWER	— S — S — S —
PROPOSED WATER	— W — W — W —
PROPOSED TREE LINE	~~~~~
PROPOSED PROPERTY LINE	_____
PROPOSED PAVEMENT	▨▨▨▨▨▨▨▨▨▨
PROPOSED CONCRETE	▩▩▩▩▩▩▩▩▩▩
PROPOSED CONTOUR	140
PROP. ELEC., TELE., COMM.	— ETC — ETC —
PROPOSED LANDSCAPE AREA	▨▨▨▨▨▨▨▨▨▨
PROPOSED STRUCTURE	▩▩▩▩▩▩▩▩▩▩
PROPOSED EDGE OF PAVE.	_____
PROPOSED SEWER MANHOLE	⊙
PROPOSED SEWER CLEANOUT	●
PROPOSED SILT FENCE	— X —
PROPOSED SPOT GRADE	±61.00
PROPOSED WATER SHUT OFF	⊕
PROPOSED RETAINING WALL	— Δ Δ Δ Δ —

ISSUED FOR REVIEW: APRIL 18, 2025

04/18/25	REV. PER CITY COMMENTS
DATE	DESCRIPTION
REVISIONS	

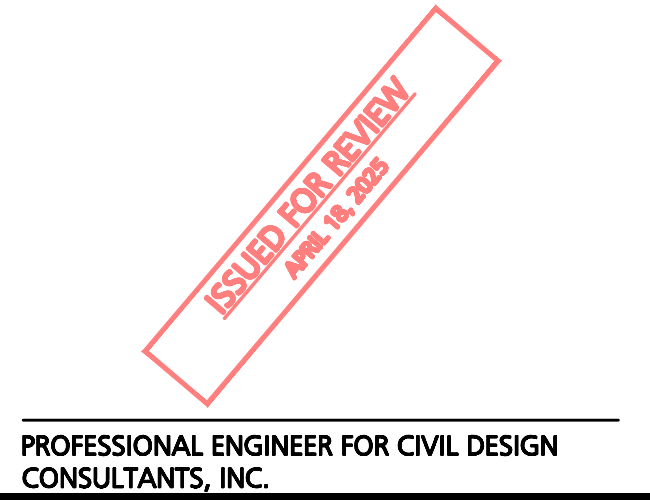
APPLICANT:

**RIVER'S EDGE
DEVELOPMENT, LLC**
88 ELM STREET
SALISBURY, MA 01952

PROJECT:

**201 ELM STREET &
6 MONROE STREET**
AMESBURY, MA 01913

DATE ISSUED:	FEBRUARY 24, 2025
PROJECT #:	25-10704
PREPARED BY:	MAC



PROFESSIONAL ENGINEER FOR CIVIL DESIGN
CONSULTANTS, INC.

**CIVIL
DESIGN**
CONSULTANTS, INC.

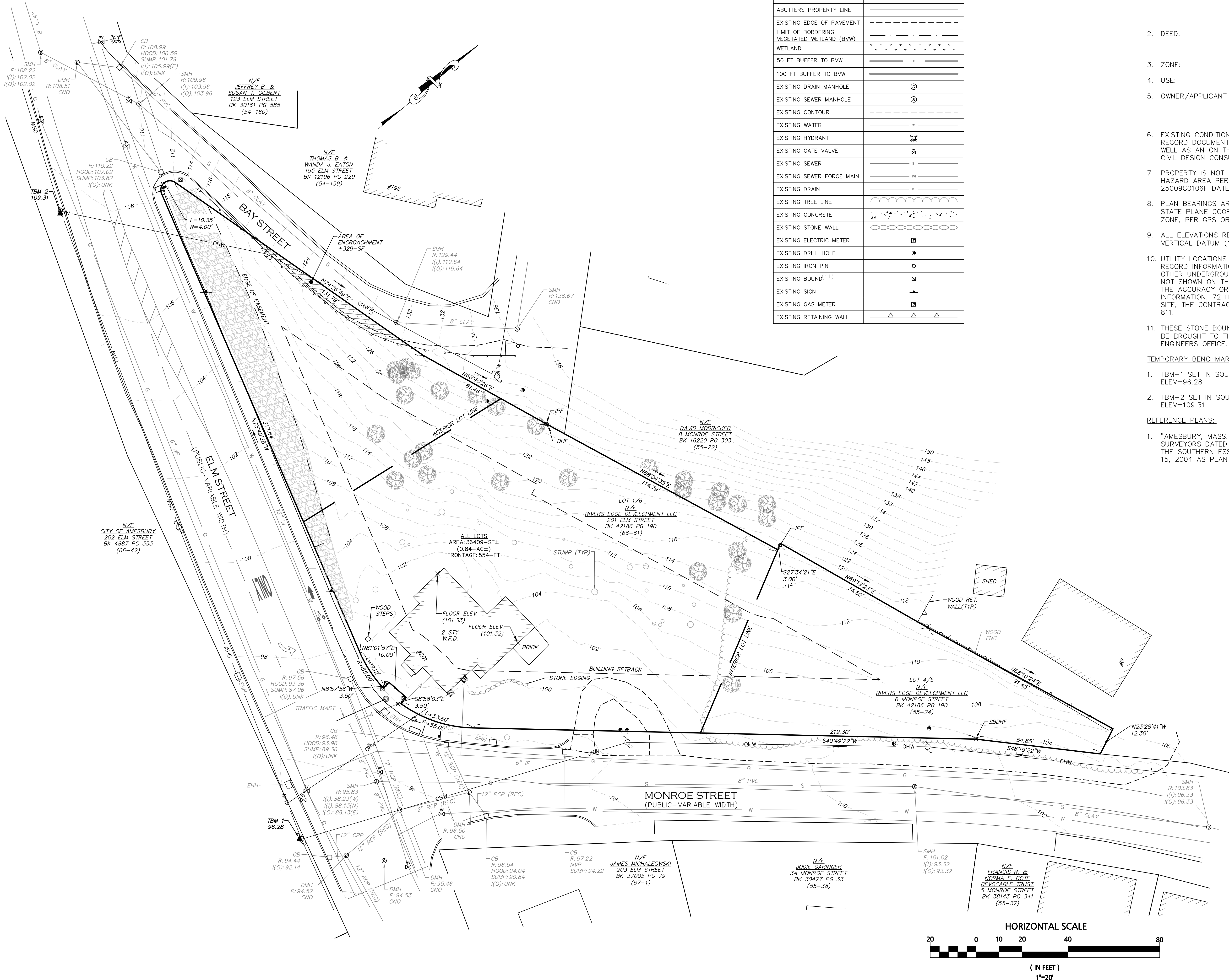
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DRAWING TITLE:

COVER SHEET

DRAWING #:

C-1



LEGEND	
PROPERTY LINE	———
ABUTTERS PROPERTY LINE	———
EXISTING EDGE OF PAVEMENT	- - - - -
LIMIT OF BORDERING VEGETATED WETLAND (BVW)	- · - · - · -
WETLAND	· · · · ·
50 FT BUFFER TO BVW	———
100 FT BUFFER TO BVW	———
EXISTING DRAIN MANHOLE	⊙
EXISTING SEWER MANHOLE	⊙
EXISTING CONTOUR	———
EXISTING WATER	———
EXISTING HYDRANT	⊙
EXISTING GATE VALVE	⊙
EXISTING SEWER	———
EXISTING SEWER FORCE MAIN	———
EXISTING DRAIN	———
EXISTING TREE LINE	———
EXISTING CONCRETE	———
EXISTING STONE WALL	———
EXISTING ELECTRIC METER	⊙
EXISTING DRILL HOLE	⊙
EXISTING IRON PIN	⊙
EXISTING BOUND ⁽¹⁾	⊙
EXISTING SIGN	⊙
EXISTING GAS METER	⊙
EXISTING RETAINING WALL	———

- NOTES:
1. LOCATION: 201 ELM STREET (PARCEL ID: 66-61) 6 MONROE STREET (PARCEL ID: (55-24))
 2. DEED: SOUTHERN ESSEX REGISTRY OF DEEDS BOOK 42186 PAGE 190
 3. ZONE: RESIDENCE 8 (R8)
 4. USE: SINGLE FAMILY RESIDENTIAL
 5. OWNER/APPLICANT 66-61/55-24 RIVERS EDGE DEVELOPMENT LLC 201 ELM ST AMESBURY, MA
 6. EXISTING CONDITIONS INFORMATION GENERATED FROM RECORD DOCUMENTS, READILY AVAILABLE INFORMATION AS WELL AS AN ON THE GROUND SURVEY PERFORMED BY CIVIL DESIGN CONSULTANTS, INC. IN JULY 2024.
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 11. THESE STONE BOUNDS (5) ARE INCORRECT AND SHOULD BE BROUGHT TO THE ATTENTION OF THE AMESBURY ENGINEERS OFFICE.

- TEMPORARY BENCHMARKS:
1. TBM-1 SET IN SOUTHWESTERLY FACE OF UP-43 ELEV=96.28
 2. TBM-2 SET IN SOUTHEASTERLY FACE OF UP-45 ELEV=109.31
- REFERENCE PLANS:
1. "AMESBURY, MASS. SUBDIVISION OF LAND" BY REID LAND SURVEYORS DATED APRIL 25, 1989 AND RECORDED AT THE SOUTHERN ESSEX REGISTRY OF DEEDS ON DECEMBER 15, 2004 AS PLAN BOOK 383 PAGE 50.

04/18/25	REV. PER CITY COMMENTS
DATE	DESCRIPTION
REVISIONS	
OWNER / APPLICANT:	
RIVERS EDGE DEVELOPMENT LLC	
88 ELM STREET	
AMESBURY, MA 01913	
PROJECT:	
201 ELM STREET & 6 MONROE STREET	
AMESBURY, MA 01913	
DATE ISSUED:	FEBRUARY 24, 2025
PROJECT #:	25-10704
PREPARED BY:	GBB

ISSUED FOR REVIEW
APRIL 18, 2025

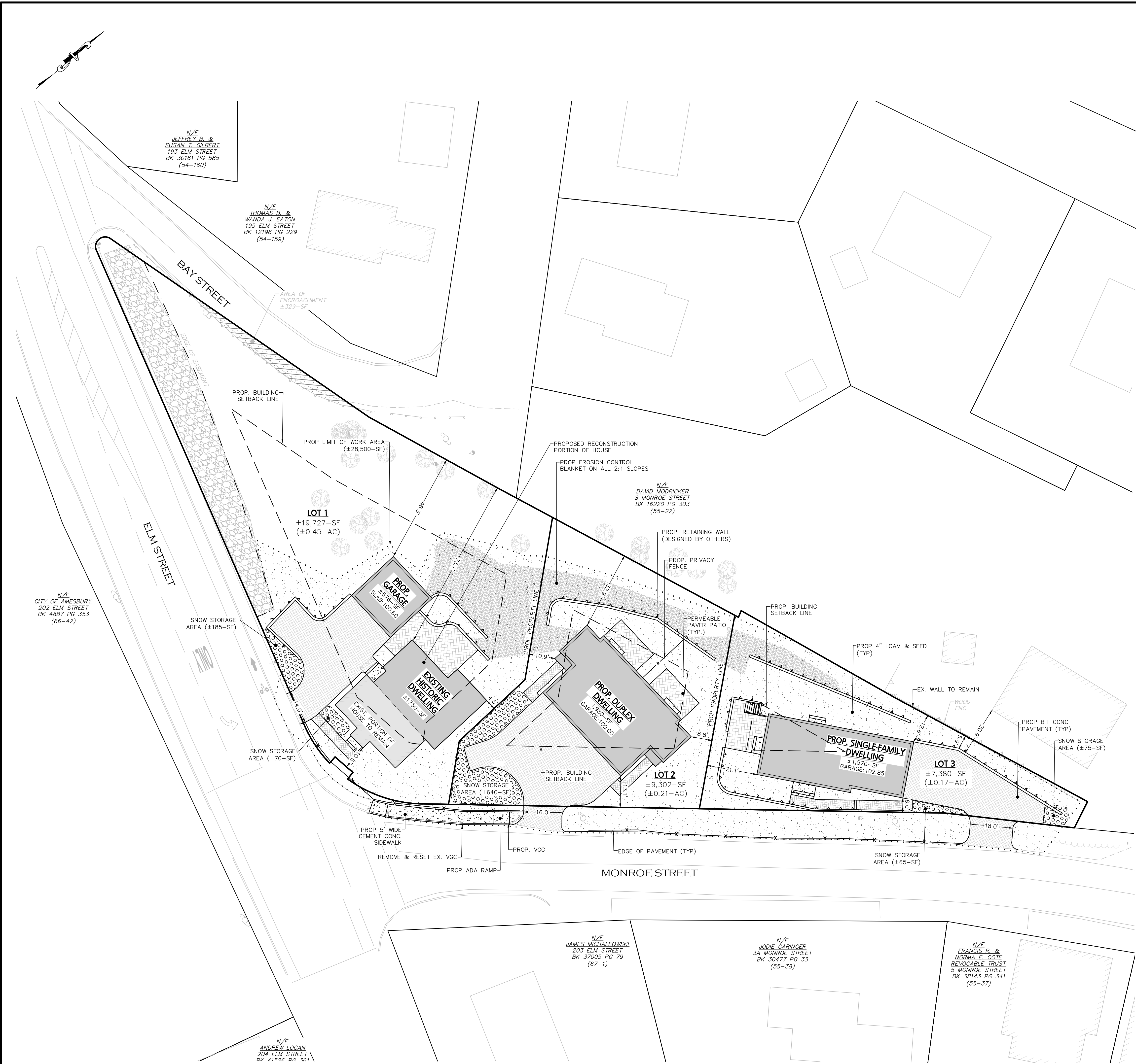
PROFESSIONAL LAND SURVEYOR FOR
CIVIL DESIGN CONSULTANTS, INC.

CIVIL
DESIGN
CONSULTANTS, INC.

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DRAWING TITLE:
EXISTING
CONDITIONS PLAN

DRAWING #:
C-2



LAND USE TABLE				
LOCATION: 201 ELM ST (66-61) 6 MONROE ST (55-24) AMESBURY, MA 01913				
ZONE: RESIDENCE B (R8)				
OVERLAY: BROWN HILL OVERLAY DISTRICT				
EXISTING USE: RESIDENTIAL				
PROPOSED USE: SINGLE FAMILY RESIDENTIAL DUPLEX RESIDENTIAL				
	R8	PROP. LOT-1 EX. #201	PROP. LOT -2 TWO-FAM.	PROP. LOT-3 SINGLE-FAM
MIN. LOT AREA - SF	8,000 ⁽¹⁾	19,727	9,302	7,380
MIN. LOT FRONTAGE - FEET	80	217.6 (ELM)	105.3	157.7
MIN. FRONT SETBACK - FEET	25	10.5 ⁽²⁾	13.1*	6.0*
MIN. SIDE SETBACK - FEET	15	4.5*	8.8*	21.1
MIN. REAR SETBACK - FEET	30	46.3	32.9	12.6*
MAX. BUILDING COVERAGE	30%	±11.7%	±21.3%	±21.3%
MIN. OPEN SPACE	50%	±82.3%	±60.6%	±66.0%

- LAND USE NOTES:
- ANY "NEW" LOT SUBDIVIDED FOR USE AS A SINGLE-FAMILY DWELLING UNIT, THE MINIMUM LOT SIZE SHALL BE 5,000-SF. FOR ANY NEW LOT SUBDIVIDED FOR USE AS A TWO OR THREE FAMILY DWELLING, THE MINIMUM LOT SIZE SHALL BE 8,000-SF.
 - PRE-EXISTING NON-CONFORMING STRUCTURE.
- PROPOSED DIMENSIONAL WAIVER REQUEST.

04/18/25	REV. PER CITY COMMENTS
DATE	DESCRIPTION
REVISIONS	

APPLICANT:
**RIVER'S EDGE
DEVELOPMENT, LLC**
88 ELM STREET
SALISBURY, MA 01952

PROJECT:
**201 ELM STREET &
6 MONROE STREET**
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ISSUED FOR REVIEW
APR. 18, 2025

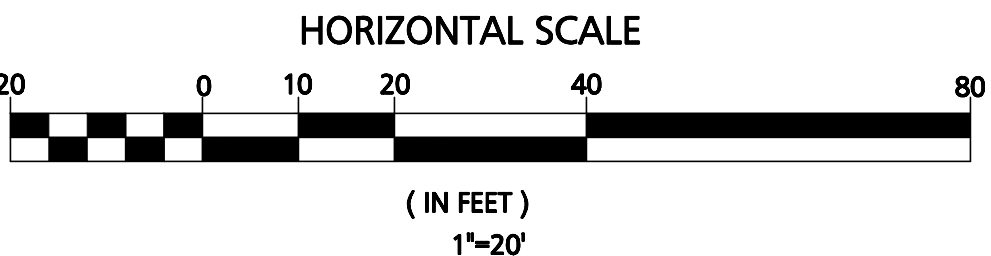
PROFESSIONAL ENGINEER FOR CIVIL DESIGN
CONSULTANTS, INC.

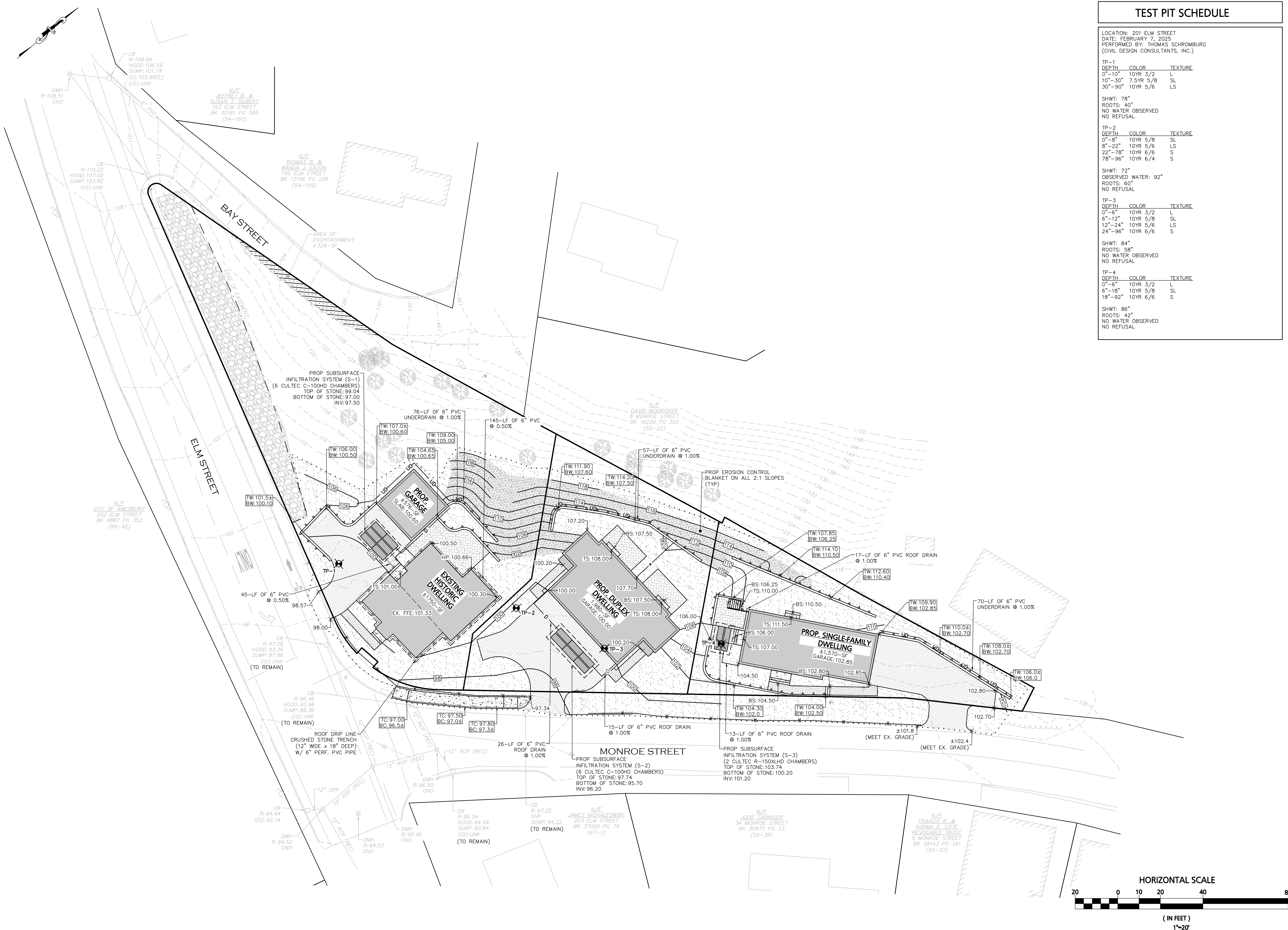
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DRAWING TITLE:
**LAYOUT &
MATERIALS PLAN**

DRAWING #:
C-3





TEST PIT SCHEDULE		
LOCATION: 201 ELM STREET DATE: FEBRUARY 7, 2025 PERFORMED BY: THOMAS SCHROMBURG (CIVIL DESIGN CONSULTANTS, INC.)		
TP-1		
DEPTH	COLOR	TEXTURE
0"-10"	10YR 3/2	L
10"-30"	7.5YR 5/8	SL
30"-90"	10YR 5/6	LS
SHWT: 78"		
ROOTS: 40"		
NO WATER OBSERVED		
NO REFUSAL		
TP-2		
DEPTH	COLOR	TEXTURE
0"-8"	10YR 5/8	SL
8"-22"	10YR 5/6	LS
22"-78"	10YR 6/6	S
78"-96"	10YR 6/4	S
SHWT: 72"		
OBSERVED WATER: 92"		
ROOTS: 60"		
NO REFUSAL		
TP-3		
DEPTH	COLOR	TEXTURE
0"-6"	10YR 3/2	L
6"-12"	10YR 5/8	SL
12"-24"	10YR 5/6	LS
24"-96"	10YR 6/6	S
SHWT: 84"		
ROOTS: 58"		
NO WATER OBSERVED		
NO REFUSAL		
TP-4		
DEPTH	COLOR	TEXTURE
0"-6"	10YR 3/2	L
6"-18"	10YR 5/8	SL
18"-92"	10YR 6/6	S
SHWT: 86"		
ROOTS: 42"		
NO WATER OBSERVED		
NO REFUSAL		

04/18/25	REV. PER CITY COMMENTS
DATE	DESCRIPTION
REVISIONS	

APPLICANT:
RIVER'S EDGE DEVELOPMENT, LLC
88 ELM STREET
SALISBURY, MA 01952

PROJECT:
201 ELM STREET & 6 MONROE STREET
AMESBURY, MA 01913

DATE ISSUED:	FEBRUARY 24, 2025
PROJECT #:	25-10704
PREPARED BY:	MAC



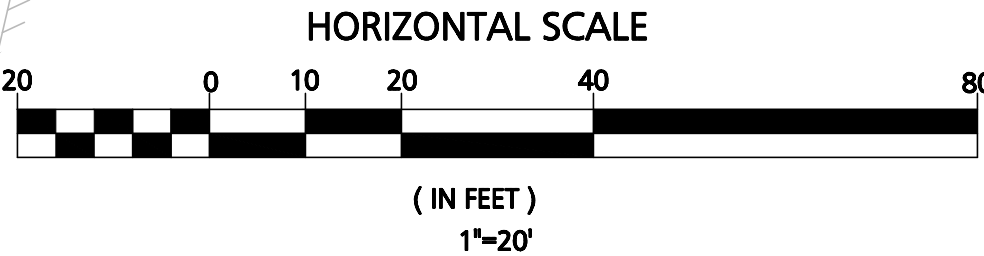
PROFESSIONAL ENGINEER FOR CIVIL DESIGN
CONSULTANTS, INC.

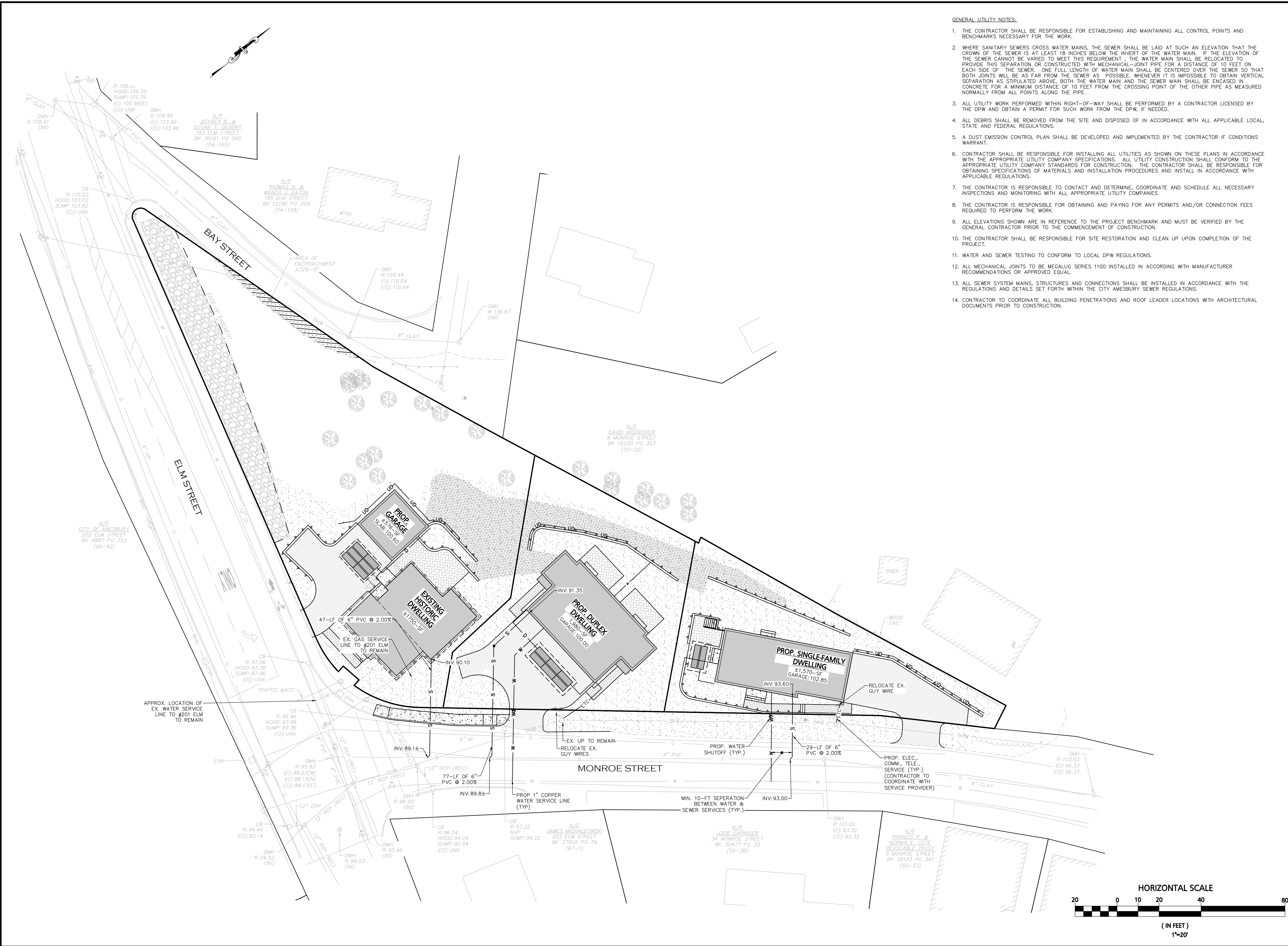


DRAWING TITLE:
GRADING & DRAINAGE PLAN

DRAWING #:

C-4





04/18/25	REV. PER CITY COMMENTS
DATE	DESCRIPTION
REVISIONS	

APPLICANT:
**RIVER'S EDGE
DEVELOPMENT, LLC**
88 ELM STREET
SALISBURY, MA 01952

PROJECT:
**201 ELM STREET &
6 MONROE STREET**
AMESBURY, MA 01913

DATE ISSUED: FEBRUARY 24, 2025

PROJECT #: 25-10704

PREPARED BY: MAC

ISSUED FOR REVIEW
APR. 8, 2025

PROFESSIONAL ENGINEER FOR CIVIL DESIGN
CONSULTANTS, INC.

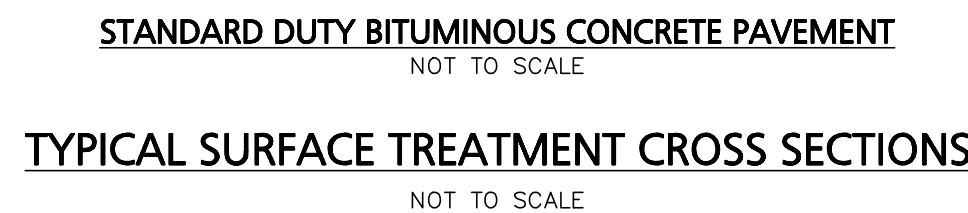
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DRAWING TITLE:

UTILITIES PLAN

DRAWING #:

C-5



ISSUED FOR REVIEW APR 18, 2025 PROFESSIONAL ENGINEER FOR CIVIL DESIGN CONSULTANTS, INC.	
CIVIL DESIGN CONSULTANTS, INC. 344 North Main Street Andover - MA 01810 (978) 466-0920 www.civilsci.com	
DRAWING TITLE: CONSTRUCTION DETAILS	
DRAWING #: D-1	

