

Redevelopment Proposal for 2-4 Elmwood Street, Amesbury, MA



Historic Preservation Special Permit and Site Plan Review

Matias Capital, LLC
68 Broadway, Methuen, MA 01844

Project Overview:

Applicant Magdiel Matias d.b.a. Matias Capital, LLC seeks a Historic Preservation Special Permit for property 2-4 Elmwood St., Amesbury, MA which is located in the R-8 zoning district. This property is .31 acres (13,067 sq. ft.) and has an existing two-family 1 ³/₄ story cape built in approximately 1891. Some renovation to this structure has begun. The property also contains a two-car garage located towards the north-west corner of the property.

Applicant proposes that the 2-4 Elmwood Street property be subdivided into two lots. The existing structure would be rehabilitated within its existing footprint and would sit upon a new lot size of 8043 sq. ft. The two-family will have 3110 sq. ft of living space in total. A second smaller home

would be constructed to the right with 2588 sq. ft. of living space and will sit upon a lot sized at 5024 sq. ft. The existing dilapidated garage will be demolished and both residences will have new detached single-car garages.

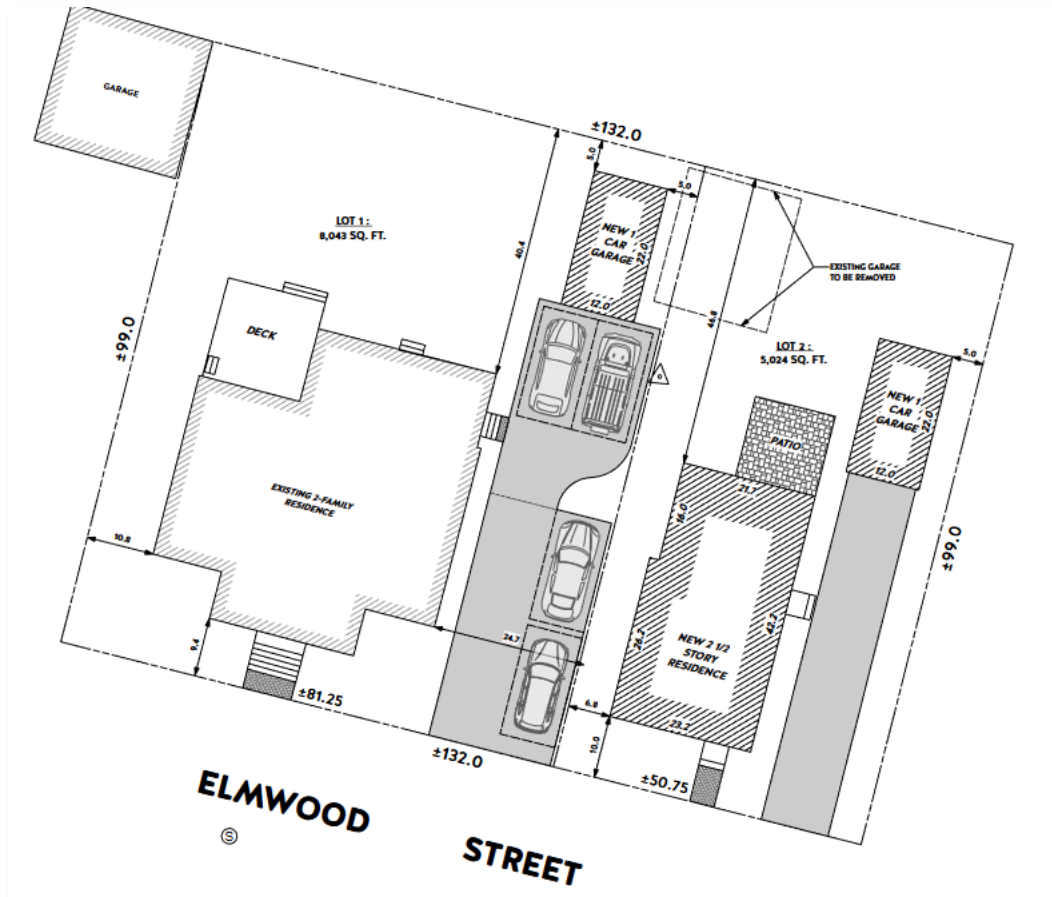
The proposed plans will adhere to zoning requirements outlined in Section Xi.J2 and section XI.C.8 of the Amesbury Zoning Ordinance. In addition, the rehabilitation of the 2-4 Elmwood Street structure and the new home built alongside will provide value to the neighborhood and will not negatively impact the character of the surrounding neighborhood.

Site Improvements:

The 2-family cape structure previously had aluminum siding and vinyl replacement windows. The building sits upon a brick foundation and has an asphalt-shingled roof with a single dormer at the front and rear elevations. The structure has a centered enclosed front porch with jalousie windows positioned on a concrete pad. The rear of the structure contains a screened porch and a newer deck permitted in 1991.

Applicant proposes renovation of the existing 2-family structure using historically appropriate materials, including new fiber-cement clapboard siding to emulate wood clapboard along with new rot-resistant trim. In addition, new aluminum clad 2/2 windows with 7/8 inch simulated divided lights will replace the existing vinyl windows. The existing brick foundation will be repaired and repointed as necessary. The front porch will be redesigned to remove the historically insensitive jalousie windows. The roof, which appears to have newer architectural asphalt shingles, will be left in place.

The smaller new folk Victorian revival single-family home will be a 3 bedroom, 2 ½ story home. Similar siding and windows as the existing structure will be installed. The design will compliment both the existing structure and the surrounding neighborhood.



Proposed Site Plan