

CLUSTER RESIDENTIAL SPECIAL PERMIT SITE PLAN

102 KIMBALL ROAD
AMESBURY, MA

AUGUST 22, 2025
(REVISED: DECEMBER 29, 2025)

OWNER/APPLICANT:

ROBERT CONNEARNEY
102 KIMBALL ROAD
AMESBURY, MA 01913

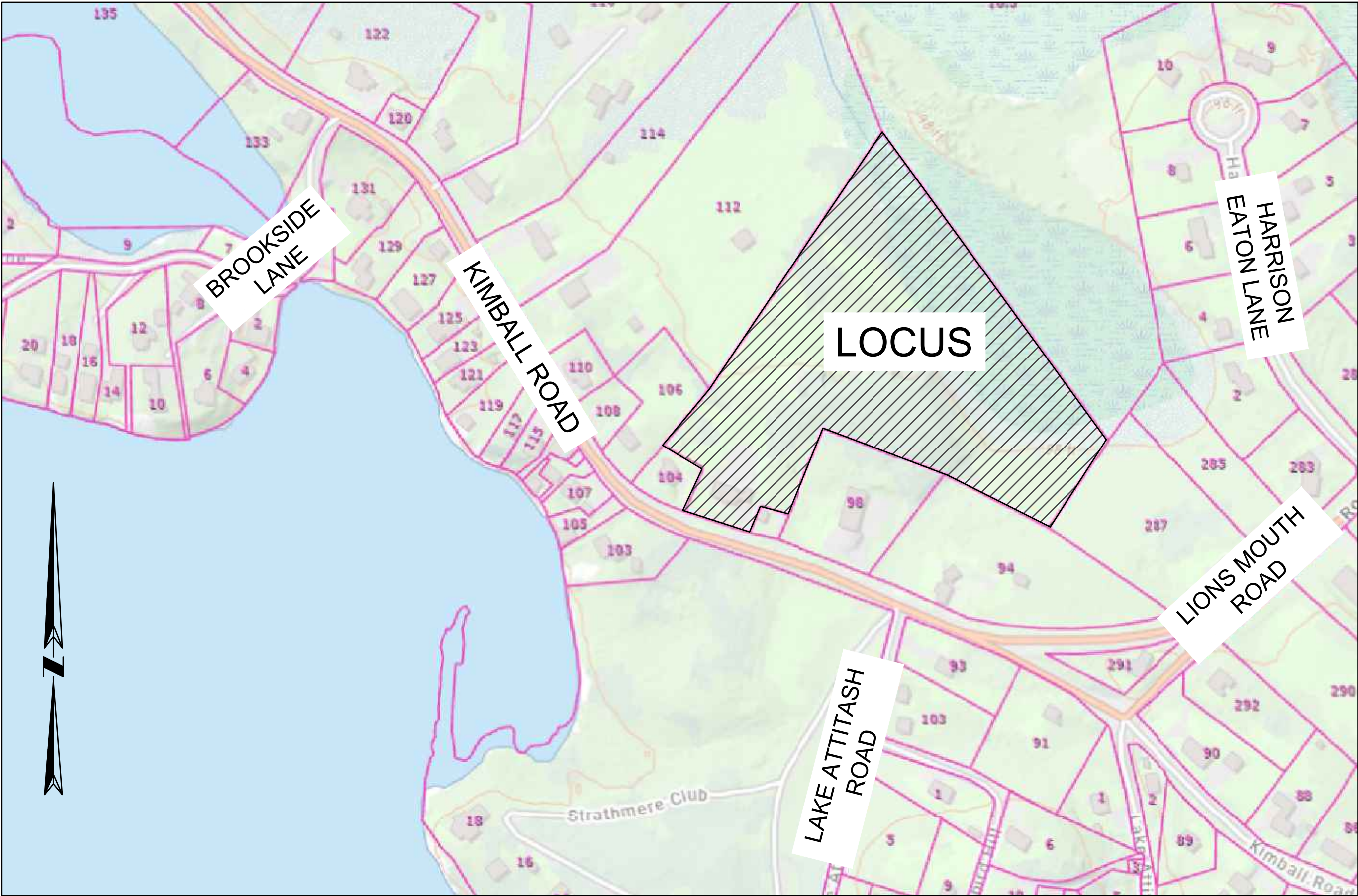
PREPARED BY:

BSC GROUP

BUILD | SUPPORT | CONNECT

300 Brickstone Square, Suite 203
Andover, Massachusetts
01810

617.896.4300



LOCUS MAP

125 0 200 400 600 feet

SCALE: 1" = 200±

ISSUED FOR PERMITTING
NOT FOR CONSTRUCTION

INDEX OF DRAWINGS

- TITLE SHEET
- SUBDIVISION PLAN (DRAFT)
- EXISTING CONDITIONS
- SITE PREPARATION PLAN
- LAYOUT & MATERIALS PLAN
- GRADING PLAN
- UTILITY PLAN
- CONSTRUCTION DETAILS I
- CONSTRUCTION DETAILS II

AMESBURY PLANNING BOARD

DATE:

I, _____, CITY CLERK OF THE CITY OF AMESBURY, MASSACHUSETTS HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE AMESBURY PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND NO NOTICE OF APPEAL WAS RECEIVED DURING THE TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.

DRAFT

CITY CLERK

DATE

GENERAL NOTES

- THIS PLAN IS BASED UPON AN ON-THE-GROUND SURVEY PERFORMED BY BSC GROUP, INC. IN JANUARY 2025.
- HORIZONTAL DATUM IS BASED UPON NAD '83 AS DERIVED VIA GPS OBSERVATIONS PERFORMED BY BSC GROUP, INC. ON JANUARY 03, 2025.
- VERTICAL DATUM IS BASED UPON NAVD '88 AS DERIVED VIA GPS OBSERVATIONS PERFORMED BY BSC GROUP, INC. ON JANUARY 3, 2025.
- PORTIONS OF LOCUS ARE LOCATED WITHIN ZONES X & AE AS GRAPHICALLY DEPICTED ON FLOOD INSURANCE RATE MAP NUMBER 25009C0101G, EFFECTIVE DATE JULY 8, 2025.
- THE PURPOSE OF THIS PLAN IS TO SUBDIVIDE THE SUBJECT PREMISES INTO BUILDABLE LOTS 1 AND 2, COMMON ACCESS DRIVEWAY PARCEL A AND OPEN SPACE PARCEL B.
- ASSESSOR'S REFERENCE: MAP 46 LOT 176 - 360,860 S.F. 8.28 ACRES.
- WAIVER - REQUEST FROM THE PROVISIONS OF SECTION 6 AND SECTION 7 OF THE SUBDIVISION RULES AND REGULATIONS TO THE EXTENT NECESSARY TO CONSTRUCT THE SUBDIVISION AS SHOWN ON THE SUBDIVISION PLAN AND AS APPROVED BY THE BOARD
- OWNERSHIP OF ABUTTING LOTS ARE ACCORDING TO TOWN ASSESSOR'S DEPARTMENT AT THE TIME OF SURVEY.
- SUBMITTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY OF AMESBURY ZONING BY LAW CLUSTER RESIDENTIAL SPECIAL PERMIT SECTION XI.D.

ZONING DISTRICT: RESIDENCE 40 (WATER RESOURCE OVERLAY PROTECTION DISTRICT ZONE II) (AS PER ZONING MAP (DATED JANUARY 1, 2021) (SEE ZONING BYLAW REVISED APRIL 30, 2025 FOR

DIMENSIONAL REQUIREMENTS:

	REQUIRED	PROVIDED LOT 1	PROVIDED LOT 2
MINIMUM FRONT YARD	40 FT.	50.4 FT.	NA
MINIMUM SIDE YARD	25 FT	2.3 FT.	NA
MINIMUM REAR YARD	50 FT	135.7 FT.	NA
MINIMUM LOT FRONTAGE	140 FT	93.52 FT.	70.27 FT.*
MINIMUM LOT SIZE	40,000 SQ. FT.	17,080 SQ. FT.	13,901 SQ. FT.
MAXIMUM BUILDING HEIGHT	35 FT. 2.5 STORIES	1 STORY	NA

*FRONTAGE ALONG COMMON ACCESS DRIVEWAY PARCEL (PARCEL A)

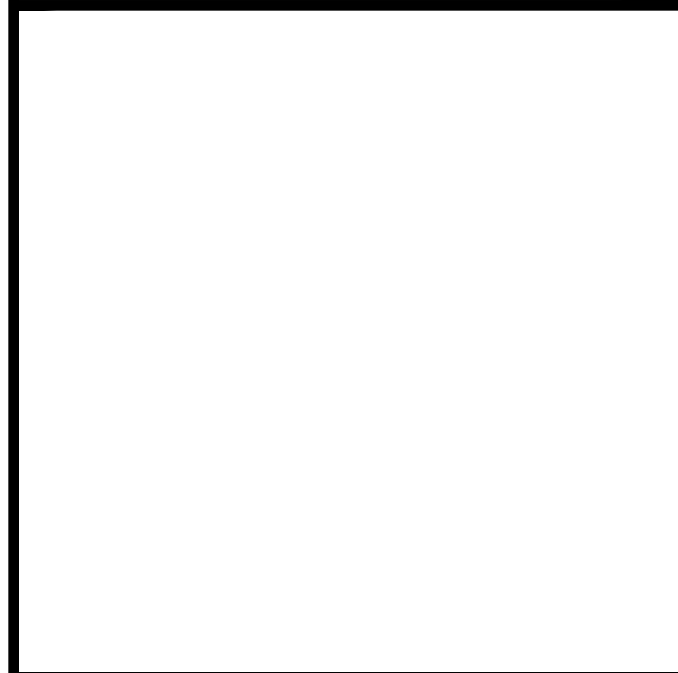
**SETBACKS SHOWN TO ROOF OVERHANG

AMESBURY PLANNING BOARD

DATE: _____

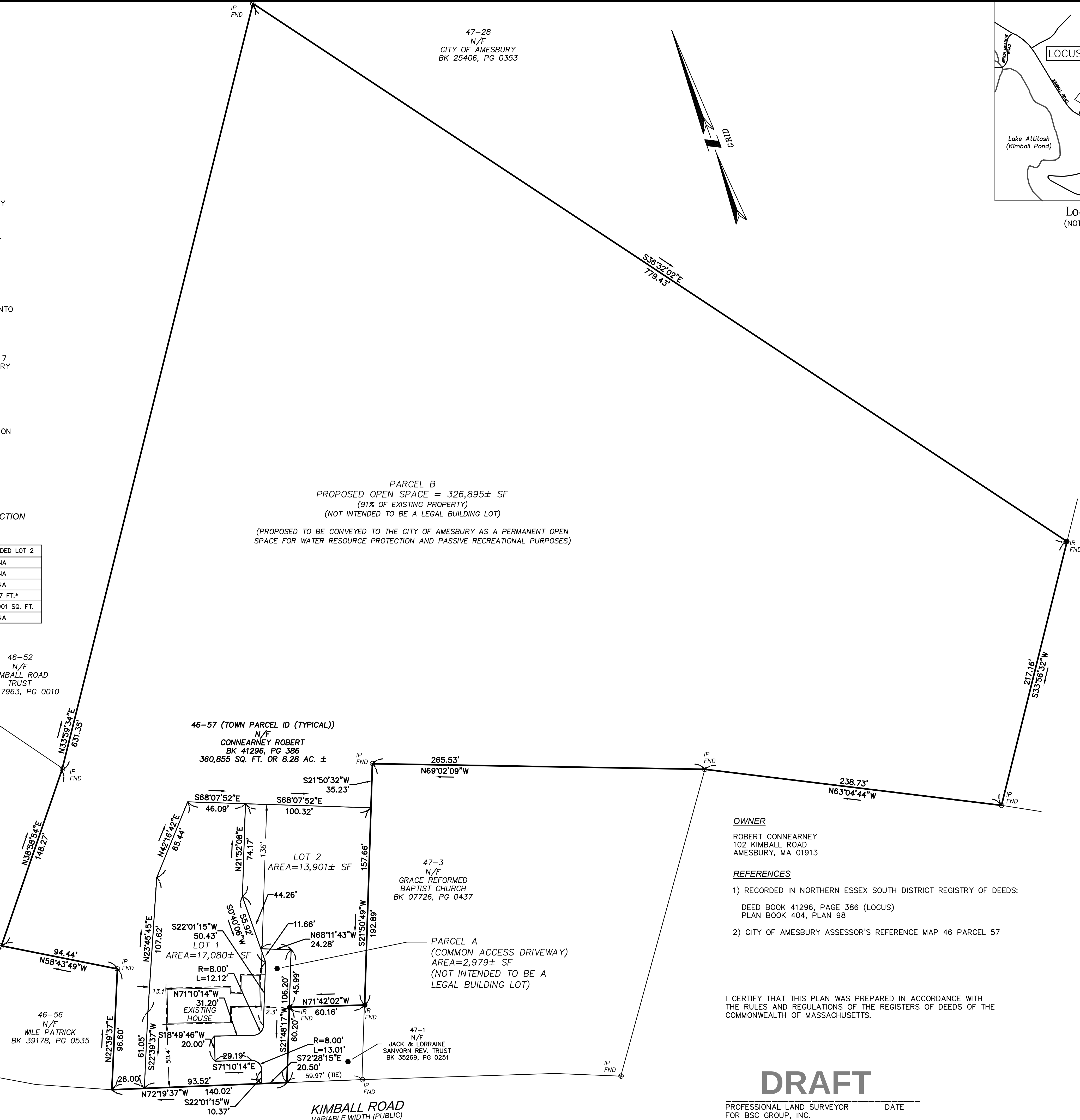
NO DETERMINATION AS TO COMPLIANCE WITH THE ZONING REGULATIONS HAS BEEN MADE OR INTENDED.

RESERVED FOR REGISTRY USE



46-52
N/F
KIMBALL ROAD
TRUST
BK 37963, PG 0010

46-55
N/F
CHAPMAN REBECCA
BK 31413, PG 0391



OWNER

ROBERT CONNEARNEY
102 KIMBALL ROAD
AMESBURY, MA 01913

REFERENCES

- RECORDED IN NORTHERN ESSEX SOUTH DISTRICT REGISTRY OF DEEDS:

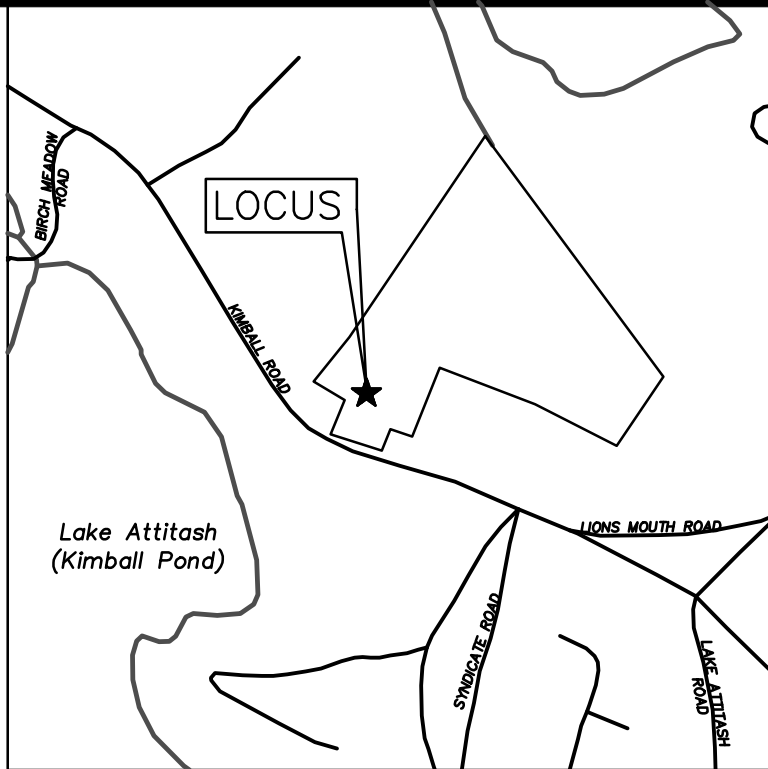
DEED BOOK 41296, PAGE 386 (LOCUS)
PLAN BOOK 404, PLAN 98
- CITY OF AMESBURY ASSESSOR'S REFERENCE MAP 46 PARCEL 57

I CERTIFY THAT THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.

DRAFT

PROFESSIONAL LAND SURVEYOR
FOR BSC GROUP, INC.

DATE



Locus Map
(NOT TO SCALE)

LEGEND

- ⊗ IRON PIPE
- IRON ROD
- BK BOOK
- PG PAGE
- FND FOUND

CLUSTER RESIDENTIAL DEVELOPMENT

102 KIMBALL RD.

IN

AMESBURY
MASSACHUSETTS
(ESSEX COUNTY)

SUBDIVISION PLAN

AUGUST 18, 2025

REVISIONS:

NO.	DATE	DESC.
1	11/21/25	REVISED PER REVIEW COMMENTS
2	12/29/25	ADDED OPEN SPACE ACCESS DRIVE

PREPARED FOR:

ROBERT CONNEARNEY
102 KIMBALL ROAD
AMESBURY, MA 01913

BSC GROUP
BUILD | SUPPORT | CONNECT
300 Brickstone Square, Suite 203
Andover, Massachusetts 01810
617 896-4300

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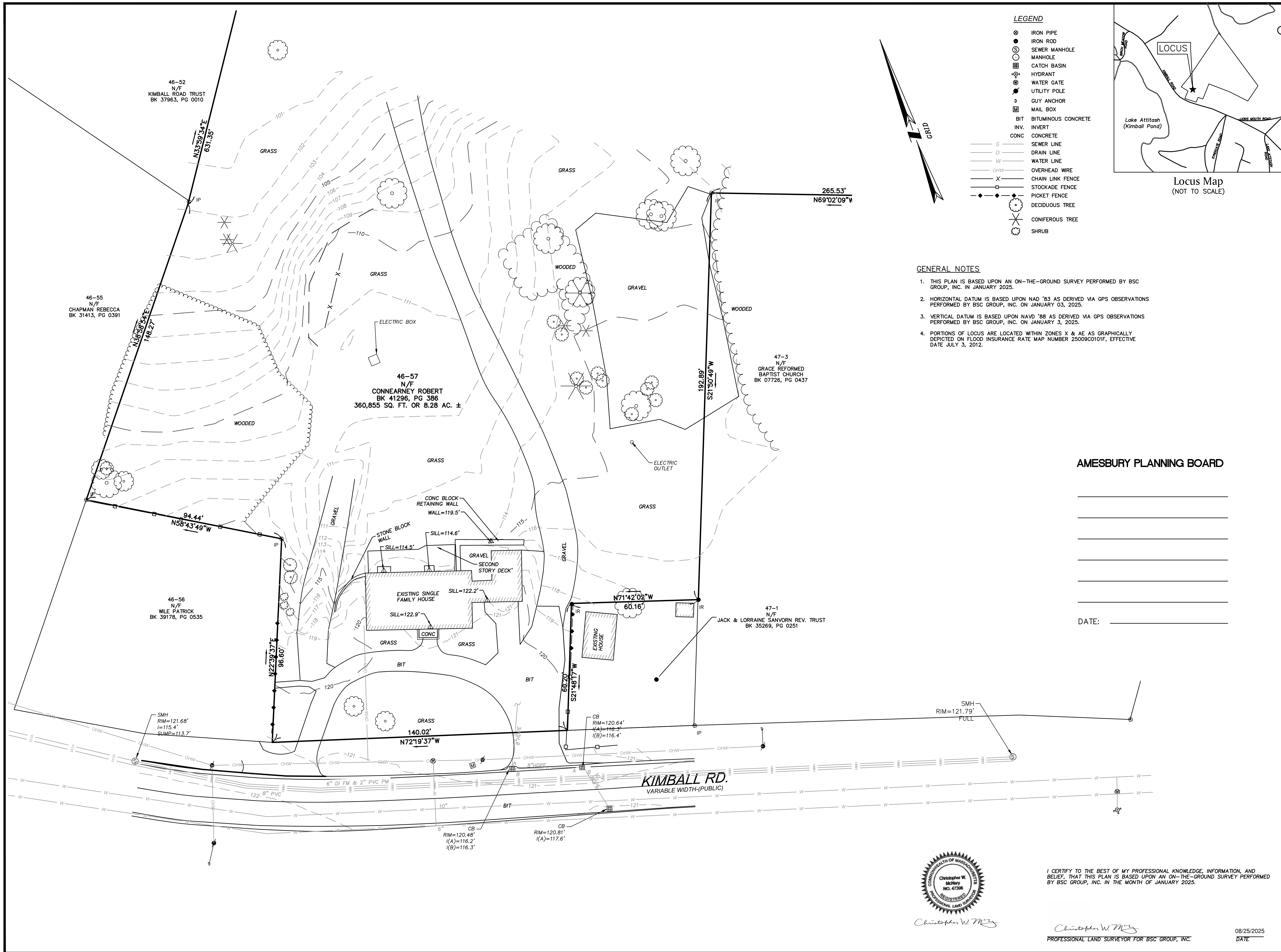
SCALE: 1" = 20'

0 10 20 40 FEET

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DWG.: 010071400ANR
JOB. NO: 0100714.00

SHEET 2 OF 9



CLUSTER RESIDENTIAL DEVELOPMENT

102 KIMBALL RD.

IN

AMESBURY
MASSACHUSETTS
(ESSEX COUNTY)

EXISTING CONDITIONS
PLAN

AUGUST 18, 2025

REVISIONS:

NO.	DATE	DESC.

PREPARED FOR:
ROBERT CONNEARNEY
102 KIMBALL ROAD
AMESBURY, MA 01913

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SCALE: 1" = 20'



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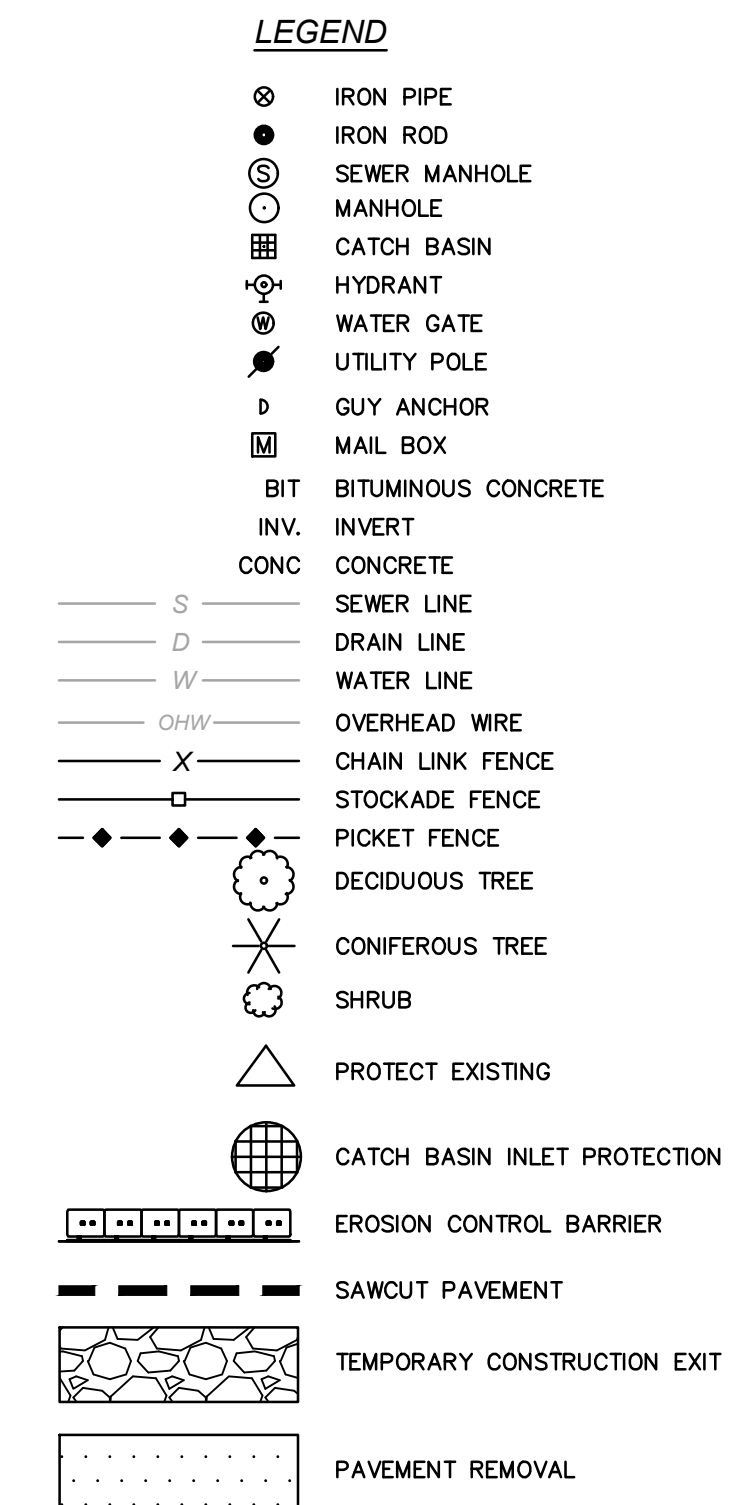
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SHEET 3 OF 9

Christopher W. McHenry
PROFESSIONAL LAND SURVEYOR FOR BSC GROUP, INC.

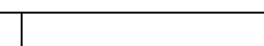
08/25/2025
DATE

I CERTIFY TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION, AND BELIEF, THAT THIS PLAN IS BASED UPON AN ON-THE-GROUND SURVEY PERFORMED BY BSC GROUP, INC. IN THE MONTH OF JANUARY 2025.



1. THE SITE CONTRACTOR IS RESPONSIBLE FOR ESTABLISHING AND MAINTAINING SUITABLE EROSION AND SEDIMENTATION CONTROL DEVICES ON SITE DURING CONSTRUCTION AS REQUIRED TO PREVENT SILT FROM LEAVING THE SITE INCLUDING CONSTRUCTING ENTRANCES AND PERIMETER SEDIMENT CONTROLS. SILT WILL NOT BE ALLOWED BEYOND CONSTRUCTION LIMITS.
2. EROSION CONTROL SHALL, AT MINIMUM, BE INSTALLED IN THE LOCATIONS SHOWN ON THE PLANS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO INSTALL ADDITIONAL EROSION CONTROLS AS NECESSARY.
3. THE CONTRACTOR IS RESPONSIBLE FOR THE CLEANUP AND REMOVAL OF ANY BUILDUP OF SEDIMENT WHICH ESCAPES FROM THE SITE.
4. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL TEMPORARY EROSION CONTROL MEASURES AFTER CONSTRUCTION IS COMPLETE AND ALL DISTURBED AREAS HAVE BEEN STABILIZED.
5. SILT SACS SHALL BE INSTALLED IN ALL CATCH BASINS AS SHOWN ON PLANS, WITH PERIODIC CLEANING AND/OR REPLACING OF THE FILTER FABRIC, WHEN NECESSARY, THROUGHOUT THE DURATION OF THE CONSTRUCTION.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPERLY LOCATING AND COORDINATING ANY ON-SITE ACTIVITY WITH DIG-SAFE AND THE APPROPRIATE UTILITY COMPANY/DEPARTMENT OF THE CITY OF AMESBURY. DIG-SAFE SHALL BE NOTIFIED PRIOR TO ANY CONSTRUCTION ACTIVITIES ON THE SITE.
7. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE VERIFICATION OF THE LOCATION AND NATURE OF ALL SUBSURFACE UTILITIES AT THE PROJECT WHICH MAY BE AFFECTED BY THE WORK. COORDINATE WITH RESPECTIVE UTILITY OWNERS AND PERFORM VERIFICATION OF TYPE, LOCATION AND INVERTS AS REQUIRED.
8. THE LOCATIONS OF EXISTING SITE FEATURES AS SHOWN HAVE BEEN OBTAINED FROM MAPS, SURVEYS, FIELD INSPECTIONS, AND OTHER AVAILABLE INFORMATION. THEY MUST BE CONSIDERED APPROXIMATE BOTH TO LOCATION, SIZE AND AS-BUILT CONDITION AND ARE PROVIDED FOR INFORMATIONAL PURPOSES ONLY. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETERMINING ACTUAL FIELD CONDITIONS.
9. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING OF ANY AND ALL DISCREPANCIES BETWEEN EXISTING CONDITIONS AND THE SITE PLAN DOCUMENTS BEFORE PROCEEDING WITH THAT PORTION OF THE WORK.
10. THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL UTILITIES AND SITE FEATURES OUTSIDE THE LIMIT OF WORK, AND THOSE FEATURES NOT INCLUDED IN THE PROPOSED PROJECT SCOPE SHOWN ON THESE SITE PLANS.
11. AREAS OUTSIDE THE LIMIT OF WORK DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED BY THE CONTRACTOR TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE, TO THE SATISFACTION OF THE OWNER.
12. PROVIDE PAVEMENT SAW-CUT AT THE EDGE OF EACH PAVEMENT REMOVAL TO ESTABLISH A CLEAN EDGE WHERE NEW WORK WILL MEET EXISTING PAVEMENT. SAWCUT SHALL BE A MINIMUM OF 12-INCHES FROM EDGE OF PAVEMENT REMOVAL.
13. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SITE SECURITY AND JOB SAFETY. ALL CONSTRUCTION ACTIVITY SHALL BE IN ACCORDANCE WITH OSHA REGULATIONS AND LOCAL AND STATE REQUIREMENTS.
14. ALL MATERIALS ARE TO BE DISPOSED OF PER APPLICABLE LAWS AND REGULATIONS.

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NOT FOR CONSTRUCTION



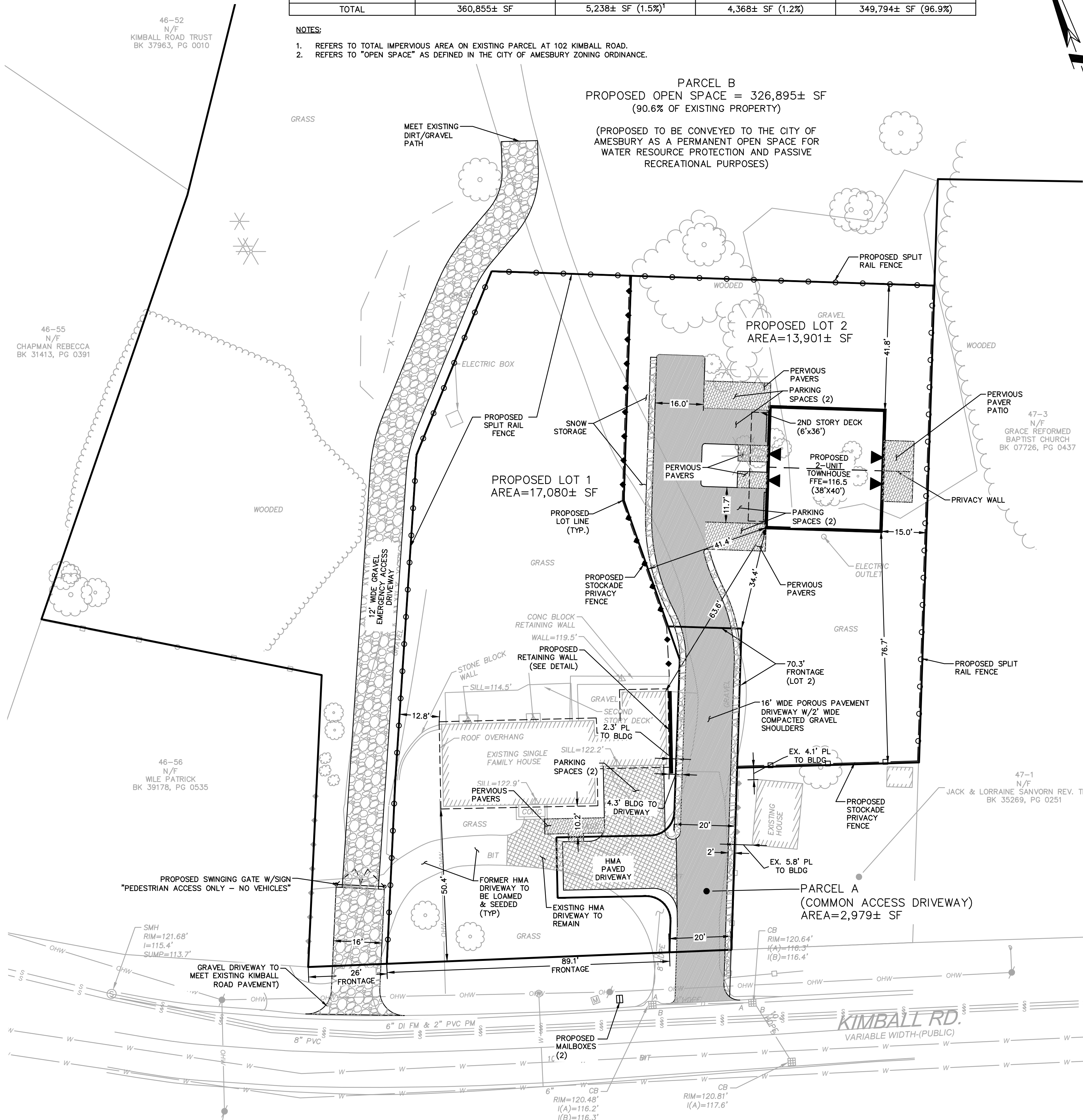
LOT AREA CALCULATIONS				
PROPOSED LOT/PARCEL	TOTAL AREA	EXISTING IMPERVIOUS AREA	PROPOSED IMPERVIOUS AREA	PROPOSED OPEN SPACE ²
1	17,080± SF	---	2,848 SF (16.7%)	13,691 SF (80.2%)
2	13,901± SF	---	1,520 SF (10.9%)	9,618 SF (69.2%)
PARCEL A (CAD PARCEL)	2,979± SF	---	0 SF (0%)	0 SF (0%)
PARCEL B (OPEN SPACE PARCEL)	326,895± SF	---	0 SF (0.0%)	326,485± SF (99.9%)
TOTAL	360,855± SF	5,238± SF (1.5%) ¹	4,368± SF (1.2%)	349,794± SF (96.9%)

NOTES:

- REFERS TO TOTAL IMPERVIOUS AREA ON EXISTING PARCEL AT 102 KIMBALL ROAD.
- REFERS TO "OPEN SPACE" AS DEFINED IN THE CITY OF AMESBURY ZONING ORDINANCE.

PARCEL B
PROPOSED OPEN SPACE = 326,895± SF
(90.6% OF EXISTING PROPERTY)

(PROPOSED TO BE CONVEYED TO THE CITY OF
AMESBURY AS A PERMANENT OPEN SPACE FOR
WATER RESOURCE PROTECTION AND PASSIVE
RECREATIONAL PURPOSES)



NOTES:

- THIS PLAN IS BASED UPON AN ON-THE-GROUND SURVEY PERFORMED BY BSC GROUP, INC. IN JANUARY 2025.
- HORIZONTAL DATUM IS BASED UPON NAD '83 AS DERIVED VIA GPS OBSERVATIONS PERFORMED BY BSC GROUP, INC. ON JANUARY 3, 2025.
- VERTICAL DATUM IS BASED UPON NAVD '88 AS DERIVED VIA GPS OBSERVATIONS PERFORMED BY BSC GROUP, INC. ON JANUARY 3, 2025.
- PORTION OF LOCUS PROPERTY IS LOCATED WITHIN ZONE AE AS GRAPHICALLY DEPICTED ON FLOOD INSURANCE RATE MAP NUMBER 25009C0101G, EFFECTIVE DATE JULY 8, 2025.
- LOCUS HAS DIRECT VEHICULAR AND PEDESTRIAN ACCESS TO KIMBALL ROAD, A PUBLIC STREET IN THE CITY OF AMESBURY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPERLY LOCATING AND COORDINATING ANY ON-SITE ACTIVITY WITH DIG-SAFE AND THE APPROPRIATE UTILITY COMPANY AND MAINTAINING EXISTING UTILITY SYSTEM SERVICE. DIG-SAFE SHALL BE NOTIFIED PER THE COMMONWEALTH OF MASSACHUSETTS STATUTE CHAPTER 82, SECTION 40, AT 1-888-344-7233.
- NOTIFY THE ENGINEER IN WRITING OF ANY AND ALL DISCREPANCIES BETWEEN EXISTING CONDITIONS AND THE PLAN DOCUMENTS BEFORE PROCEEDING WITH THAT PORTION OF THE WORK.
- THE DIMENSIONS SHOWN ON THE PLANS, INCLUDING THE INTENDED DIMENSIONS OF THE WORK, MAY VARY FROM ACTUAL EXISTING CONDITIONS IN THE FIELD. THE CONTRACTOR SHALL TAKE APPROPRIATE MEASUREMENTS TO VERIFY ALL DIMENSIONS SHOWN ON THE DRAWINGS AS WELL AS OTHER DIMENSIONS HE MAY DEEM APPROPRIATE TO FACILITATE THE COMPLETION OF THE WORK. NOTIFY THE ENGINEER IN WRITING OF ANY DISCREPANCIES BETWEEN EXISTING CONDITIONS AND THE CONTRACT DOCUMENTS BEFORE PROCEEDING WITH THAT PORTION OF THE WORK.
- UNLESS OTHERWISE INDICATED, LINES ARE PARALLEL OR PERPENDICULAR TO LINE FROM WHICH THEY ARE MEASURED.
- PROPOSED BUILDING FOOTPRINT BASED ON CONCEPT ARCHITECTURAL PLANS PROVIDED BY THE APPLICANT.
- THE COMMON ACCESS DRIVEWAY SHALL BE OWNED AND MAINTAINED AS A PRIVATE WAY BY THE CONDOMINIUM ASSOCIATION IN PERPETUITY. THE CONDOMINIUM ASSOCIATION SHALL BE RESPONSIBLE FOR SERVICES INCLUDING SNOW REMOVAL, TRASH REMOVAL AND DRIVEWAY MAINTENANCE.

LEGEND

⊗	IRON PIPE
●	IRON ROD
⊙	SEWER MANHOLE
○	MANHOLE
⊞	CATCH BASIN
⊕	HYDRANT
⊗	WATER GATE
⊙	UTILITY POLE
⊕	GUY ANCHOR
⊞	MAIL BOX
BIT	BITUMINOUS CONCRETE
INV.	INVERT
CONC	CONCRETE
— S —	SEWER LINE
— D —	DRAIN LINE
— W —	WATER LINE
— OHW —	OVERHEAD WIRE
— X —	CHAIN LINK FENCE
— □ —	STOCKADE FENCE
— ◆ —	PICKET FENCE
— ○ —	SPLIT RAIL FENCE
⊙	DECIDUOUS TREE
⊙	CONIFEROUS TREE
⊙	SHRUB
■	POROUS PAVEMENT
▨	HOT MIX ASPHALT PAVEMENT
▨	PERVIOUS PAVERS
▨	GRAVEL

LIST OF WAIVERS REQUIRED:

ABBREVIATIONS: AMESBURY ZONING ORDINANCE (AZO), CLUSTER RESIDENTIAL SPECIAL PERMIT (CRSP), COMMON ACCESS DRIVEWAY (CAD).

- AZO CRSP SECTION XI.D.6.b.2 - WAIVER TO ALLOW REDUCED LOT FRONTAGE AS SHOWN ON PLANS
- AZO CRSP SECTION XI.D.6.b.4 - LOT ACCESS WAIVER TO ALLOW COMMON ACCESS DRIVEWAY IN PLACE OF ROAD COMPLYING WITH SUBDIVISIONS RULES AND REGULATIONS.
- AZO CRSP SECTION XI.D.6.b.9 - (DETACHED SINGLE FAMILY) - WAIVER TO ALLOW MINIMUM SIDE SETBACK OF 2.2-FEET
- AZO CRSP SECTION XI.D.6.b.9 - (ATTACHED 2-UNIT) - WAIVER TO ALLOW MINIMUM REAR SETBACK OF 15-FEET
- AZO CRSP SECTION XI.D.6.c.2 - (ATTACHED 2-UNIT) - WAIVER TO ALLOW LESS THAN 50-FEET BETWEEN BUILDING CLUSTER AND ADJACENT PROPERTY.
- AZO CRSP SECTION XI.D.6.c.5 - (ATTACHED 2-UNIT) - TO WAIVE THE REQUIREMENTS OF ROADWAY STANDARDS TO THE EXTENT SHOWN ON PLANS AND ALLOW A COMMON ACCESS DRIVEWAY TO BE USED FOR FRONTAGE AND ACCESS.
- AZO CRSP SECTION XI.D.7 - (ATTACHED 2-UNIT) - WAIVER FROM REQUIREMENTS OF IMPROVEMENTS TO BE MADE IN ACCORDANCE WITH RULES AND REGULATIONS GOVERNING THE SUBDIVISION OF LAND TO THE EXTENT SHOWN ON PLANS. (ROAD CONSTRUCTION)
- AZO CRSP SECTION XI.D.7 - WAIVER FROM REQUIREMENTS OF IMPROVEMENTS TO BE MADE IN ACCORDANCE WITH RULES AND REGULATIONS GOVERNING THE SUBDIVISION OF LAND: REQUIREMENT OF STORMWATER REPORT.
- AZO CRSP SECTION XI.D.9.e - (ATTACHED 2-UNIT) - WAIVER OF REQUIREMENT THAT COMMON OPEN SPACE AREA BE NO LESS THAN THE SQUARE FOOTAGE OF THE AREAS BY WHICH LOTS ARE REDUCED BELOW THE MINIMUM LOT AREA REQUIRED FOR CONVENTIONAL DEVELOPMENT.
- AZO CAD SECTION XI.O.2.h - (COMMON ACCESS DRIVEWAY) - WAIVER OF THE REQUIREMENT OF A PERMANENT STORAGE SHED.
- AZO CAD SECTION XI.O.3 - (COMMON ACCESS DRIVEWAY) - DESIGN STANDARDS TO THE EXTENT SHOWN ON PLANS.
- AZO WRPD SECTION XIV.H.3 - (PROPOSED LOT 2) - CONSTRUCTION OR PLACEMENT OF ANY PERMANENT STRUCTURES IN ZONE II
- AZO WRPD SECTION XIV.H.8 - (PROPOSED LOT 1) - LAND USE RESULTING IN GREATER 15%/2,500 SF OF IMPERVIOUS AREA WITHOUT PROVIDING ARTIFICIAL RECHARGE.
- AZO WRPD SECTION XIV.I.B.7 - (PROPOSED LOT 1) - NEW CONSTRUCTION, AND ANY USE, GREATER THAN 15%/2,500 SF IMPERVIOUS AREA WITHOUT PROVIDING ARTIFICIAL RECHARGE.
- ASRR DESIGN STANDARDS SECTION 7.09.E AND 7.09.K.4 - WAIVER OF REQUIREMENT FOR MINIMUM COMMON ACCESS DRIVEWAY PAVEMENT WIDTH OF 18-FEET
- ASRR DESIGN STANDARDS SECTION 7.09.F - WAIVER OF REQUIREMENT FOR MINIMUM COMMON ACCESS DRIVEWAY LAYOUT WIDTH OF 40-FEET
- ASRR DESIGN STANDARDS SECTION 7.09.H - WAIVER OF REQUIREMENT FOR SIDEWALK ON COMMON ACCESS DRIVEWAY
- ASRR DESIGN STANDARDS SECTION 7.09.H - WAIVER OF REQUIREMENT FOR STREET TREES ON COMMON ACCESS DRIVEWAY
- ASRR DESIGN STANDARDS SECTION 7.09.K.6 - WAIVER OF REQUIREMENT FOR 25-FOOT MINIMUM RADIUS AT STREET INTERSECTION
- ASRR DESIGN STANDARDS SECTION 7.09.K.8 - WAIVER OF REQUIREMENT FOR CURBING ON COMMON ACCESS DRIVEWAY

ZONING TABLE - CLUSTER SUBDIVISION

ZONE: RES. 40³/WATER RESOURCE PROTECTION DISTRICT/ZONE II/ZONE B

LAND USE: RESIDENTIAL SUBDIVISION	REQUIRED	PROPOSED LOT 1 ⁵	PROPOSED LOT 2
MINIMUM LOT AREA	10,000 SF	17,080 SF	13,901 SF
MINIMUM CONTIGUOUS FRONTAGE	100 FT ¹	89.1 FT	70.3 FT
MINIMUM FRONT YARD SETBACK	25 FT ²	50.4 FT	34.4 FT
MINIMUM SIDE YARD SETBACK	15 FT	2.3 FT	41.8 FT
MINIMUM REAR YARD SETBACK	25 FT	136 FT	15 FT
MAXIMUM HEIGHT (STORIES)	2.5	1	2.5
MAXIMUM HEIGHT (FEET)	35 FT	---	28.75 FT ⁴
OPEN SPACE	50%	80.2%	69.2%
MINIMUM COMMON ACCESS DRIVEWAY WIDTH (LAYOUT/PAVEMENT)	40/18 FEET	20/16 FEET	20/16 FEET

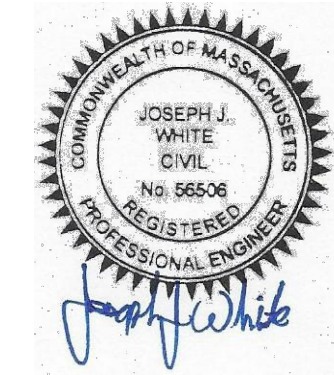
NOTES:

- PLANNING BOARD MAY REDUCE THIS REQUIREMENT UP TO 50%.
- PLANNING BOARD MAY WAIVE THE FRONT SETBACK TO 15 FEET.
- PER PLANNING DEPT: PROPERTY IS ZONED R40 (LISTED AS R80 ON AMESBURY GIS)
- MEASURED FROM AVERAGE GROUND GRADE TO MEDIAN ROOF HEIGHT
- ALL SETBACKS SHOWN TO EXISTING HOUSE ARE TO ROOF OVERHANG.

AMESBURY PLANNING BOARD

DATE: _____

ISSUED FOR PERMITTING
NOT FOR CONSTRUCTION



12/29/2025

DATE

CLUSTER RESIDENTIAL
DEVELOPMENT

102 KIMBALL ROAD
IN
AMESBURY
MASSACHUSETTS
(ESSEX COUNTY)

LAYOUT AND
MATERIALS PLAN

AUGUST 22, 2025

REVISIONS:

NO.	DATE	DESC.
1	11/21/25	REVISION PER REVIEW COMMENTS
2	12/29/25	ADDED OPEN SPACE ACCESS DRIVE

PREPARED FOR:

ROBERT CONNEARNEY
102 KIMBALL ROAD
AMESBURY, MA 01913

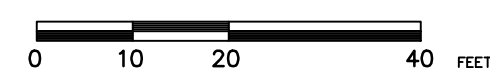


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SCALE: 1" = 20'

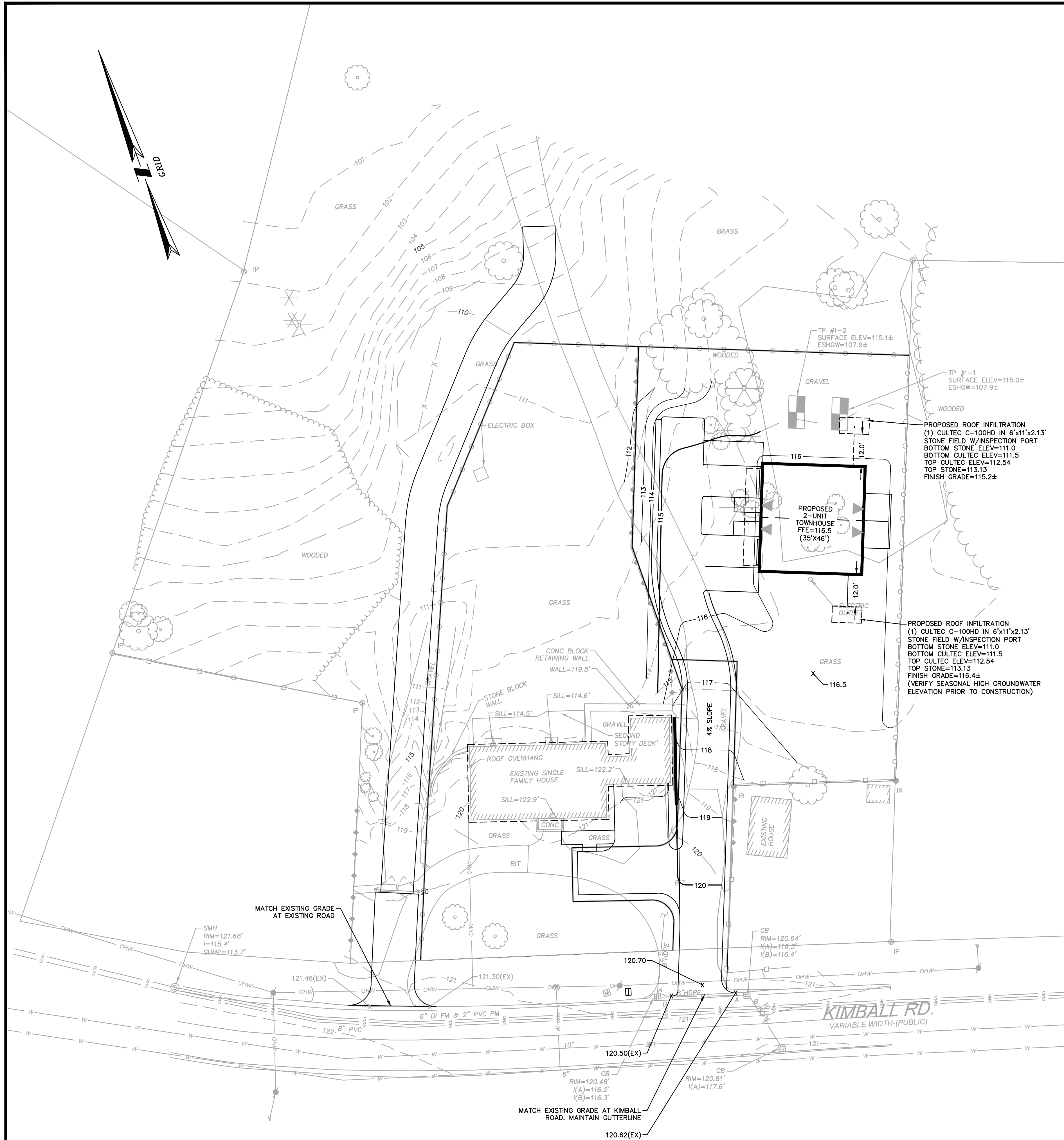


FILE: 0100714.00-LM

DWG: LM

JOB. NO: 0100714.00

SHEET 5 OF 9



- NOTES:
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPERLY LOCATING AND COORDINATING ANY ON-SITE ACTIVITY WITH DIG-SAFE AND THE APPROPRIATE UTILITY COMPANY AND MAINTAINING EXISTING UTILITY SYSTEM SERVICE. DIG-SAFE SHALL BE NOTIFIED PER THE COMMONWEALTH OF MASSACHUSETTS STATUTE CHAPTER 82, SECTION 40, AT 1-888-344-7233.
 - THE CONTRACTOR IS SOLELY RESPONSIBLE FOR VERIFICATION OF THE LOCATION AND NATURE OF ALL SUBSURFACE UTILITIES AT THE PROJECT WHICH MAY BE AFFECTED BY THE WORK. COORDINATE WITH RESPECTIVE UTILITY OWNERS AND PERFORM VERIFICATION OF TYPE, LOCATION AND INVERTS AS REQUIRED.
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 - THE LOCATIONS OF EXISTING SITE FEATURES AS SHOWN HAVE BEEN OBTAINED FROM MAPS, SURVEYS, FIELD INSPECTIONS, AND OTHER AVAILABLE INFORMATION. THEY MUST BE CONSIDERED APPROXIMATE BOTH TO LOCATION, SIZE, AND AS-BUILT CONDITION AND ARE PROVIDED FOR INFORMATIONAL PURPOSES ONLY. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETERMINING ACTUAL FIELD CONDITIONS.
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 - ENGAGE A LICENSED LAND SURVEYOR TO PERFORM LAND-SURVEYING SERVICES REQUIRED, INCLUDING, BUT NOT LIMITED TO VERIFICATION AND LAYOUT OF PROPOSED IMPROVEMENTS, DIMENSIONS, AND ELEVATIONS. REPORT DISCREPANCIES TO THE ENGINEER.
 - PROPOSED GRADES INDICATE DESIGN INTENT. VERIFY ELEVATIONS AND MAKE ADJUSTMENTS TO MEET FIELD CONDITIONS. DO NOT PROCEED WITH ANY ADJUSTMENT OR FIELD MODIFICATION UNTIL APPROVED BY THE ENGINEER.
 - VERIFY ALL GRADES AND SLOPES PRIOR TO CONCRETE PLACEMENT. REPORT DISCREPANCIES TO THE ENGINEER BEFORE PROCEEDING WITH THE WORK.
 - GRADE TRANSITION BETWEEN TOPOGRAPHIC LINES AND SPOT GRADES SHALL BE UNIFORM UNLESS OTHERWISE INDICATED.
 - THE TOPS, RIMS, FRAMES, GRATES, AND COVERS (AS APPLICABLE) OF ALL UTILITY STRUCTURES THAT ARE TO REMAIN SHALL BE ADJUSTED TO MATCH FINAL GRADE IN A FLUSH CONDITION. ALL NEW UTILITY STRUCTURES SHALL BE INSTALLED WITH TOPS, RIMS, FRAMES, GRATES, AND COVERS (AS APPLICABLE) TO FINAL GRADE IN A FLUSH CONDITION.

LEGEND

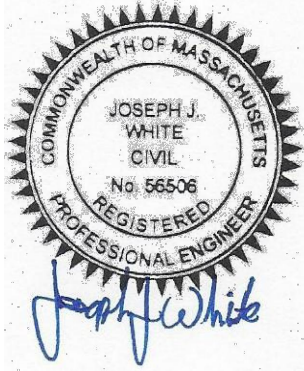
- IRON PIPE
- IRON ROD
- SEWER MANHOLE
- MANHOLE
- CATCH BASIN
- HYDRANT
- WATER GATE
- UTILITY POLE
- GUY ANCHOR
- MAIL BOX
- BIT
- INV.
- CONC
- SEWER LINE
- DRAIN LINE
- WATER LINE
- OVERHEAD WIRE
- CHAIN LINK FENCE
- STOCKADE FENCE
- PICKET FENCE
- DECIDUOUS TREE
- CONIFEROUS TREE
- SHRUB

ROOF RECHARGE CALCULATIONS	
PROPOSED BUILDING SQUARE FOOTAGE	1,520 SQUARE FEET
REQUIRED RECHARGE DEPTH	1.0-INCHES (HSG A)
REQUIRED RECHARGE VOLUME ((1.0/12)x1520)	127 CUBIC FEET
RECHARGE VOLUME PROVIDED	130 CUBIC FEET (65 CF/CULTEC SYSTEM)

AMESBURY PLANNING BOARD

DATE: _____

ISSUED FOR PERMITTING
NOT FOR CONSTRUCTION



12/29/2025

DATE

PROFESSIONAL ENGINEER

CLUSTER RESIDENTIAL
DEVELOPMENT

102 KIMBALL ROAD
IN
AMESBURY
MASSACHUSETTS
(ESSEX COUNTY)

GRADING PLAN

AUGUST 22, 2025

REVISIONS:

NO.	DATE	DESC.
1	11/21/25	REVISION PER REVIEW COMMENTS
2	12/29/25	ADDED OPEN SPACE ACCESS DRIVE

PREPARED FOR:

ROBERT CONNEARNEY
102 KIMBALL ROAD
AMESBURY, MA 01913

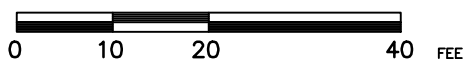


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01810

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SCALE: 1" = 20'



FILE: 0100714.00-GR

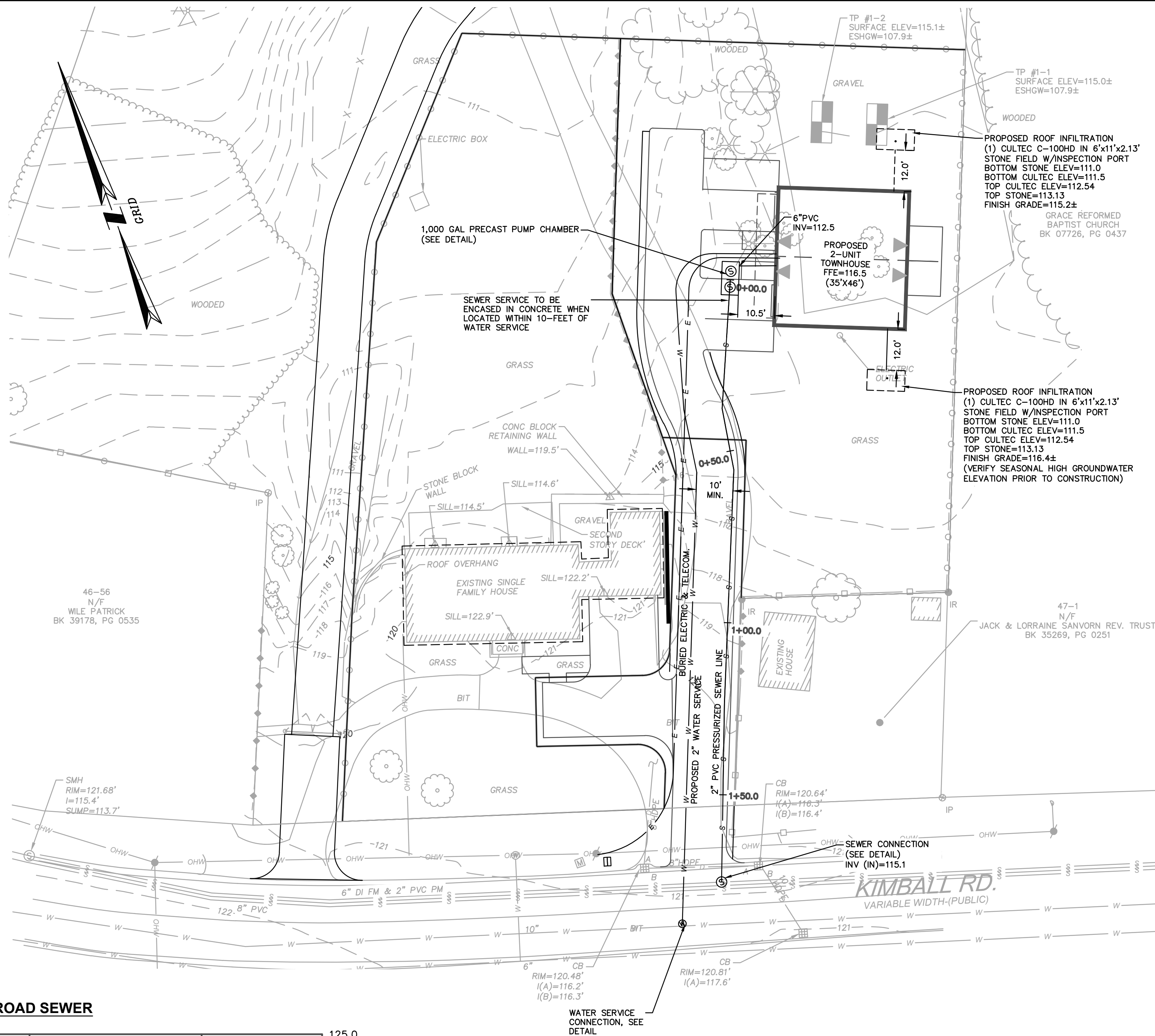
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JOB. NO: 0100714.00

SHEET 6 OF 9

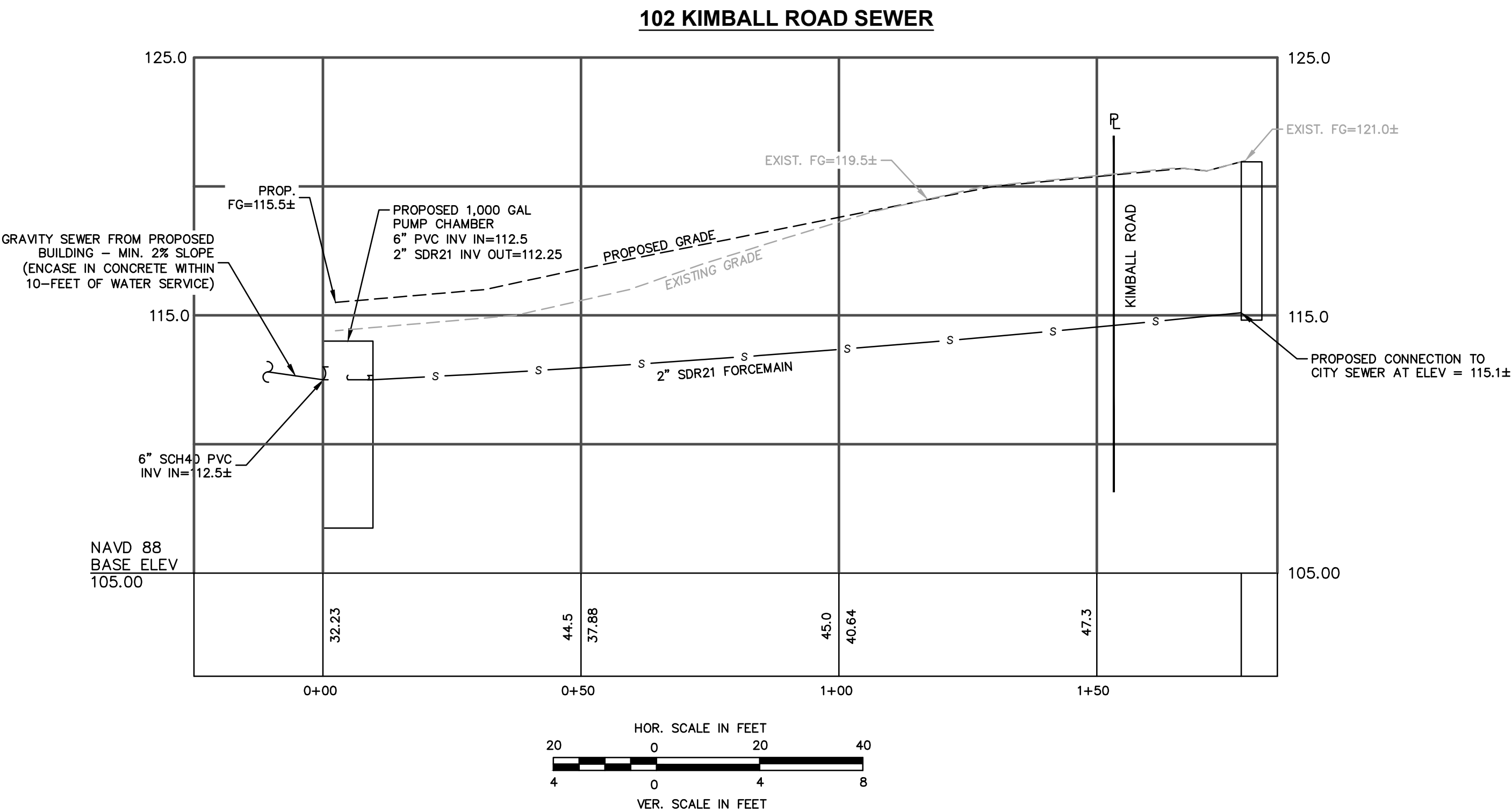
UTILITY NOTES:

1. LOCATIONS OF UTILITIES AS SHOWN ON THIS PLAN ARE APPROXIMATE ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND PROTECTING ALL EXISTING UTILITIES AND REPAIRING ANY DAMAGE DONE DURING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ON-SITE COORDINATION WITH UTILITY COMPANIES AND PUBLIC AGENCIES AND FOR OBTAINING ALL REQUIRED PERMITS AND PAYING ALL REQUIRED FEES. CONTRACTORS SHALL NOTIFY ALL UTILITY COMPANIES AND GOVERNMENT AGENCIES IN WRITING PRIOR TO SUCH EXCAVATION. CONTRACTOR SHALL ALSO CALL "DIG SAFE" AT 1(888)344-7233 NO LESS THAN 72 HOURS (EXCLUSIVE OF SATURDAYS, SUNDAYS AND HOLIDAYS) TO SUCH EXCAVATION.
2. EXISTING UTILITIES ARE A COMPILATION OF ON THE GROUND SURVEY AND DIGITIZED INFORMATION. CONTRACTOR TO COORDINATE WITH UTILITY COMPANIES TO FIELD LOCATE EXISTING UTILITIES. CONTRACTOR TO CONDUCT TEST PITS, AS NEEDED, TO LOCATE EXISTING UTILITIES. ALL LOCATION WORK TO BE CONDUCTED PRIOR TO CONSTRUCTION AND COORDINATED WITH THE ENGINEER.
3. FINAL DESIGN OF PRIVATE UTILITIES INCLUDING GAS, ELECTRIC, COMMUNICATIONS AND TELEPHONE SHALL BE PROVIDED BY THE APPROPRIATE UTILITY COMPANY. THE DRY UTILITIES SHOWN HERE ARE SHOWN FOR GENERAL COORDINATION PURPOSES ONLY.
4. ALL UNDERGROUND STRUCTURES AND UTILITIES ARE TO BE CAPABLE OF WITHSTANDING HS-20 WHEEL LOADS.
5. RIM ELEVATIONS OF PROPOSED MANHOLES AND ASSOCIATED STRUCTURES ARE APPROXIMATE. FINAL ELEVATIONS ARE TO BE SET FLUSH AND CONSISTENT WITH THE PROPOSED FINISHED GRADES.
6. THE CONTRACTOR SHALL FIELD VERIFY THE LOCATION, SIZE, INVERTS AND TYPES OF EXISTING PIPES AT ALL PROPOSED POINTS OF CONNECTION PRIOR TO ORDERING MATERIALS. WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, THE LOCATION, ELEVATIONS AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION FURNISHED IN WRITING TO THE ENGINEER FOR RESOLUTION OF THE CONFLICT.
7. CONTRACTOR TO VERIFY UTILITY CONNECTIONS TO BUILDING WITH ARCHITECTURAL DRAWINGS.
8. INSTALL THRUST BLOCKS AT ALL TEES AND BENDS IN ALL WATERLINES AND PRESSURIZED SEWER FORCE SERVICES.
9. ALL DRAINAGE STRUCTURES TO BE CLEANED AT COMPLETION OF THE PROJECT.
10. ALL PROPOSED ONSITE WATERMANS ARE TO BE PRESSURE TESTED AND BACTERIA TESTED IN ACCORDANCE WITH CITY OF AMESBURY RULES AND REGULATIONS.
11. THE CONTRACTOR SHALL SUBMIT AN AS-BUILT OF ALL UNDERGROUND UTILITIES, INCLUDING TELEPHONE, ELECTRIC, GAS, WATER, SEWER, AND STORM DRAINAGE TO THE OWNER. THE AS-BUILT SHALL INCLUDE HORIZONTAL AND VERTICAL TIES FROM ANY HANDHOLES, MANHOLES, VALVES, GATES, CLEANOUTS, TEES, ELBOWS, BENDS, ETC. TO FIXED POINTS OF REFERENCE.
12. PER THE CITY OF AMESBURY SUBDIVISION RULES AND REGULATIONS, THERE SHALL BE A MINIMUM OF FIVE FEET OF COVER OVER ALL UTILITY LINES. EXCEPT FOR LOT CONNECTIONS, CROSS-COUNTRY CONNECTIONS, LIFT OR PUMP STATIONS. ALL MAIN WATER, SEWER, AND DRAINAGE UTILITIES SHALL BE LOCATED WITHIN THE PAVED ROADWAY AREA.
13. INSTALL MAGNETIC WARNING TAPE 12-INCHES BELOW GRADE FOR ALL TELECOMMUNICATIONS AND ELECTRIC UTILITIES.
14. ALL WORK ASSOCIATED WITH FIRE PROTECTION AND DOMESTIC WATER SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS OF THE LOCAL WATER UTILITY.
15. PROPERTY IS WITHIN 400-FEET OF A MUNICIPAL WATER SYSTEM.
16. FINAL WATER CONNECTIONS TO BE COORDINATED WITH THE CITY OF AMESBURY ENGINEERING DEPARTMENT.
17. TYPE AND LOCATION OF FINAL SEWER CONNECTION IN KIMBALL ROAD TO BE COORDINATED WITH THE CITY OF ENGINEERING ENGINEERING DEPARTMENT.
18. PROPOSED ELECTRIC AND TELECOMMUNICATIONS SERVICES TO BE COORDINATED WITH LOCAL UTILITY COMPANIES. THESE UTILITIES ARE SHOWN ON PLAN FOR REFERENCE ONLY.



LEGEND

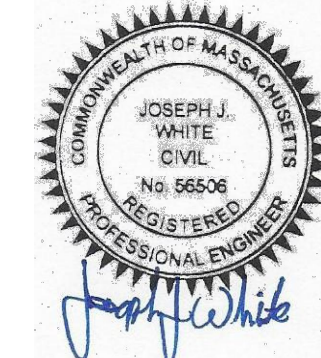
●	IRON PIPE
●	IRON ROD
○	SEWER MANHOLE
○	MANHOLE
⊞	CATCH BASIN
⊞	HYDRANT
⊞	WATER GATE
⊞	UTILITY POLE
⊞	GUY ANCHOR
⊞	MAIL BOX
BIT	BITUMINOUS CONCRETE
INV.	INVERT
CONC.	CONCRETE
S	SEWER LINE
D	DRAIN LINE
W	WATER LINE
OHW	OVERHEAD WIRE
X	CHAIN LINK FENCE
—	STOCKADE FENCE
—	PICKET FENCE
—	DECIDUOUS TREE
—	CONIFEROUS TREE
—	SHRUB



AMESBURY PLANNING BOARD

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12/29/2025

DATE

PROFESSIONAL ENGINEER

CLUSTER RESIDENTIAL
DEVELOPMENT

102 KIMBALL ROAD
IN
AMESBURY
MASSACHUSETTS
(ESSEX COUNTY)

UTILITY PLAN

AUGUST 22, 2025

REVISIONS:

NO.	DATE	DESC.
1	11/21/25	REVISION PER REVIEW COMMENTS
2	12/29/25	ADDED OPEN SPACE ACCESS DRIVE

PREPARED FOR:

ROBERT CONNEARNEY
102 KIMBALL ROAD
AMESBURY, MA 01913

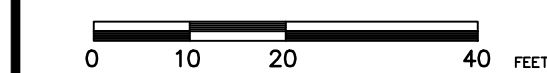
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01810

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SCALE: 1" = 20'

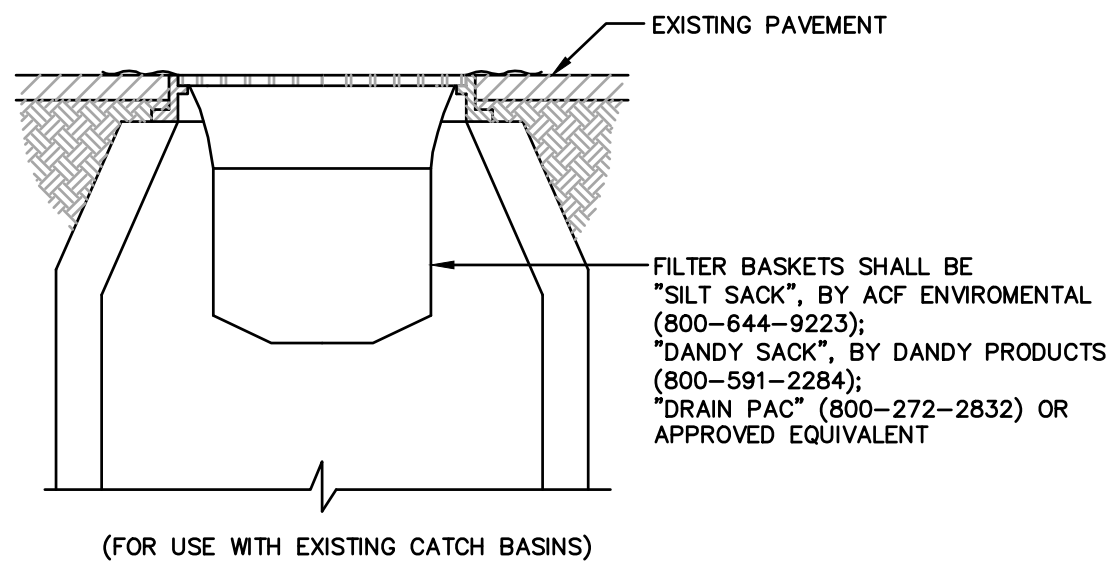


FILE: 0100714.00-UT

DWG: UT

JOB. NO: 0100714.00

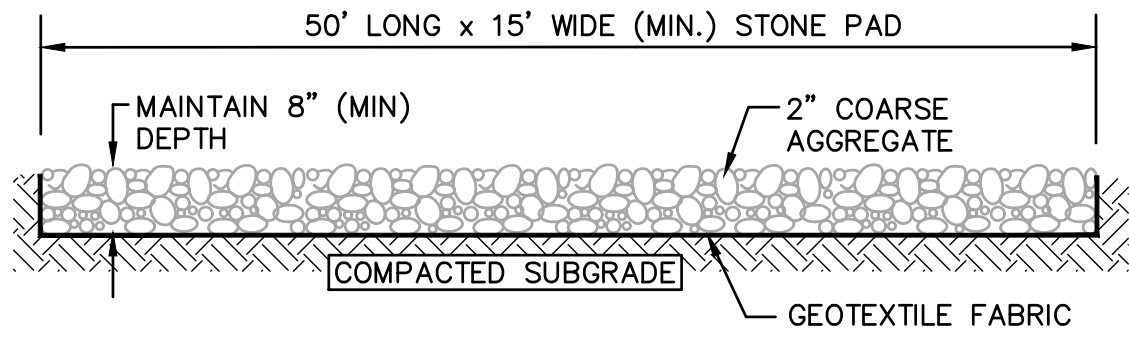
SHEET 7 OF 9



NOTE:
FILTER BASKETS TO BE PLACED IN ALL CATCH BASINS IN THE VICINITY OF NEW CONSTRUCTION. CATCH BASINS ARE TO BE PROTECTED AS SHOWN, WITH MINIMUM WEEKLY MAINTENANCE, OR AS REQUIRED AND REPLACED IF NECESSARY.

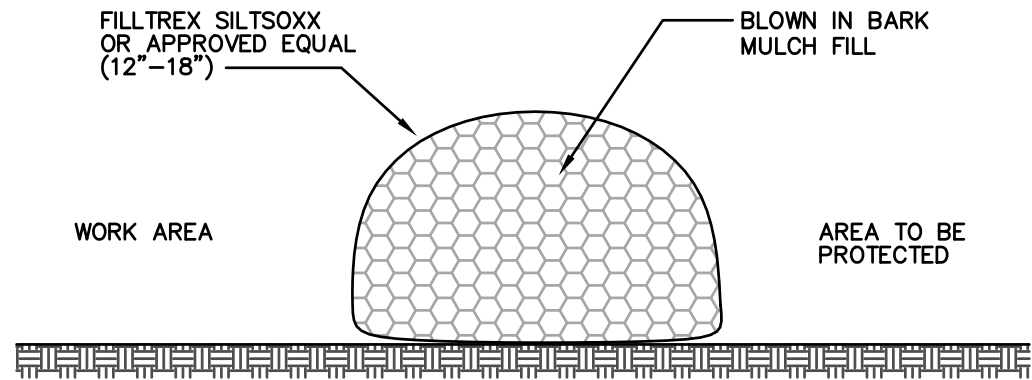
SEDIMENT FILTER INLET PROTECTION

SCALE: NONE



TEMPORARY CONSTRUCTION EXIT

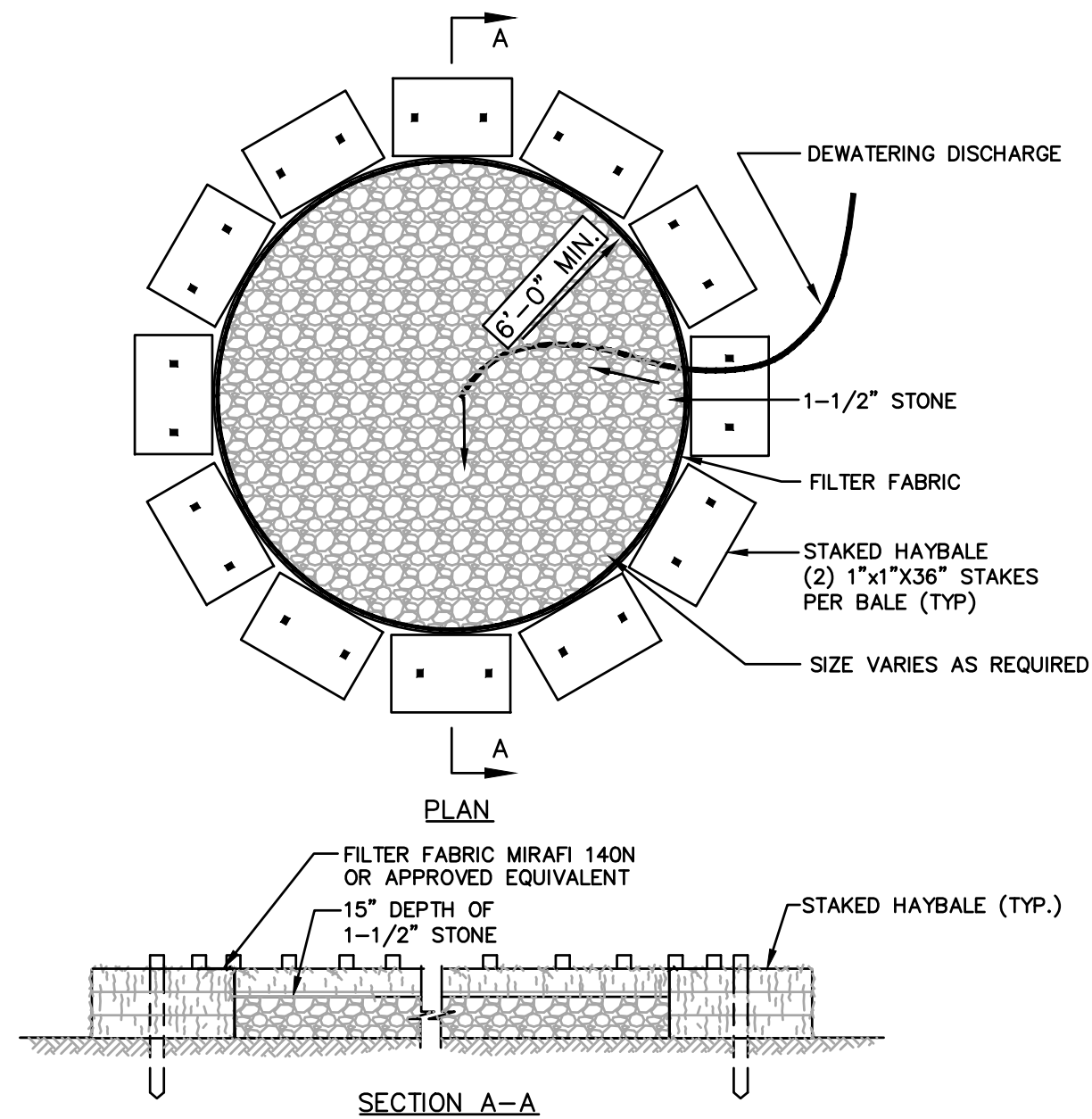
SCALE: NONE



NOTES:
1. ALL MATERIAL TO MEET FILLTREXX SPECIFICATIONS.
2. SILTSOXX COMPOST/ISOIL/ROCK/SEED FILL TO MEET APPLICATION REQUIREMENTS
3. SILTSOXX DEPICTED IS FOR MINIMUM SLOPES. GREATER SLOPES MAY REQUIRE LARGER SOCKS PER THE ENGINEER.
4. COMPOST MATERIAL TO BE DISPURSED ON SITE, AS DETERMINED BY THE ENGINEER.

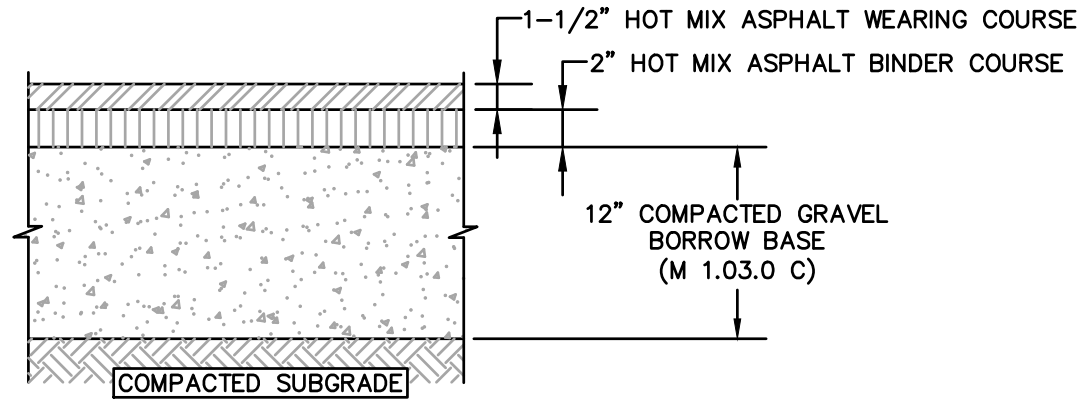
COMPOST FILTER SOCK

SCALE: NONE



DEWATERING SEDIMENT TRAP

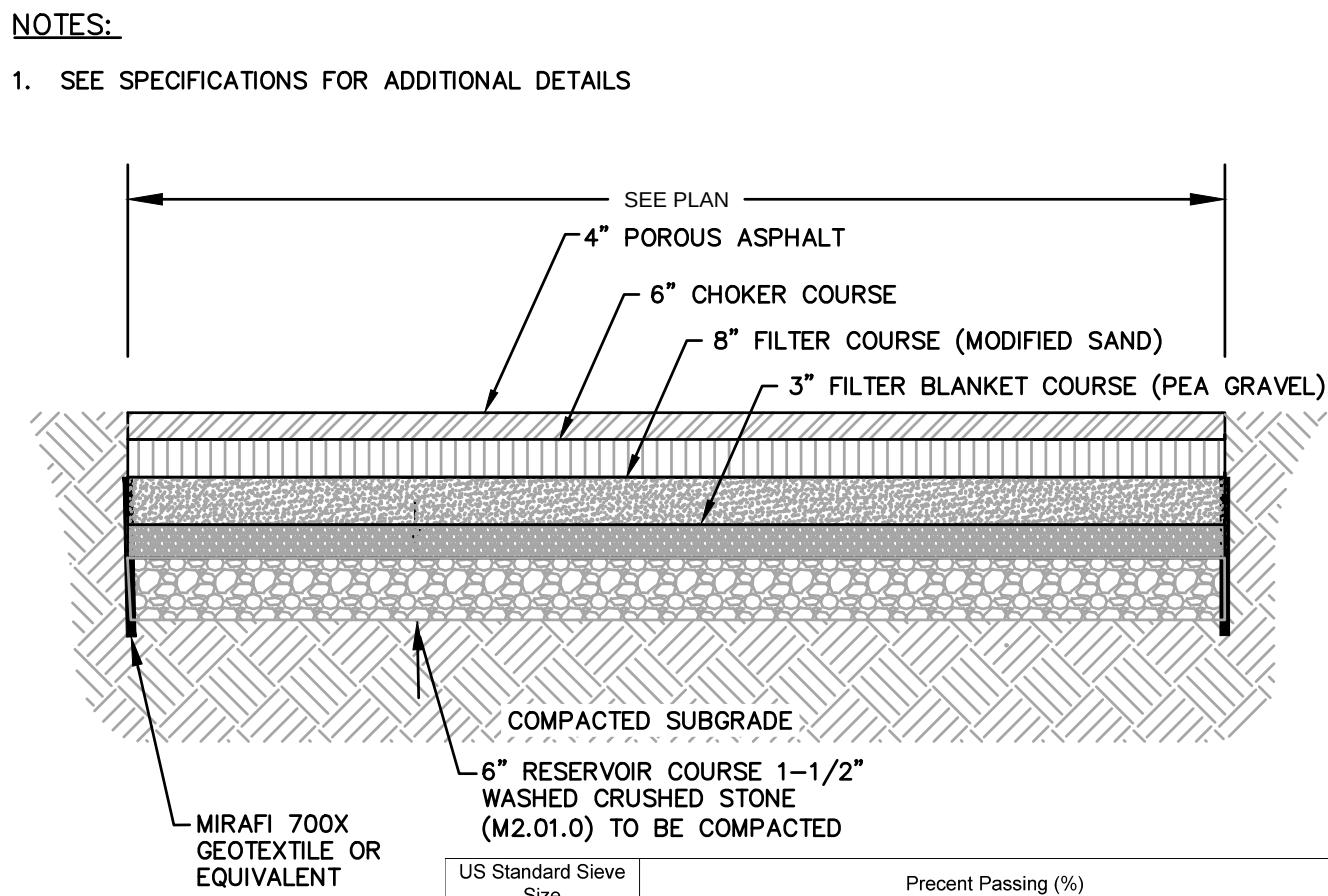
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NOTE:
PAVEMENT SECTIONS ARE SUBJECT TO CHANGE AND WILL BE BASED ON THE RESULTS OF GEOTECHNICAL INVESTIGATIONS

HOT MIX ASPHALT PAVEMENT SECTIONS

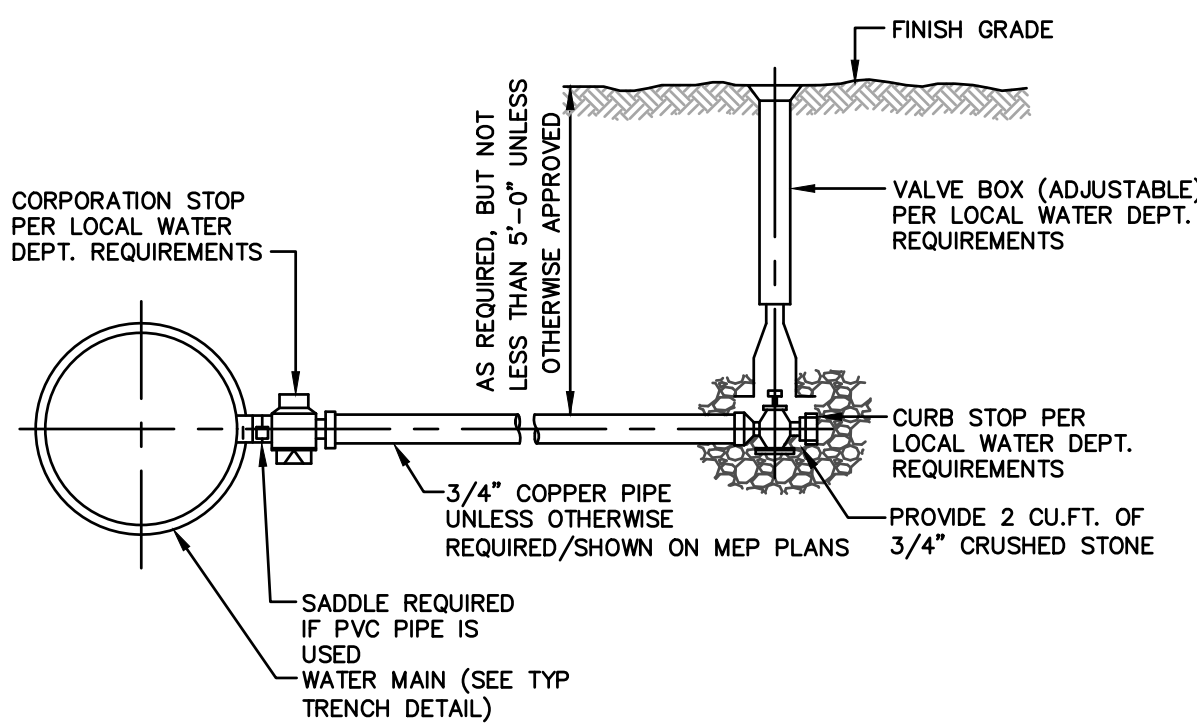
SCALE: NONE



US Standard Sieve Size	Percent Passing (%)			
	Choker Course (AASHTO No. 57/No. 67)	Filter Course (Manufactured Sand)	Reservoir Course (AASHTO No. 3)	Alternative Reservoir Course (AASHTO No. 5)
6	-	100	-	-
2 1/2	-	-	100	-
2	-	-	90-100	-
1 1/2	100	-	35-70	100
1	95-100	-	0-15	90-100
3/4	-	-	-	20-55
1/2	25-60	-	0-5	0-10
3/8	-	70-100	-	0-5
#4	0-10	-	-	-
#6	0-5	-	-	-
#200	-	0-6	-	-

POROUS PAVEMENT

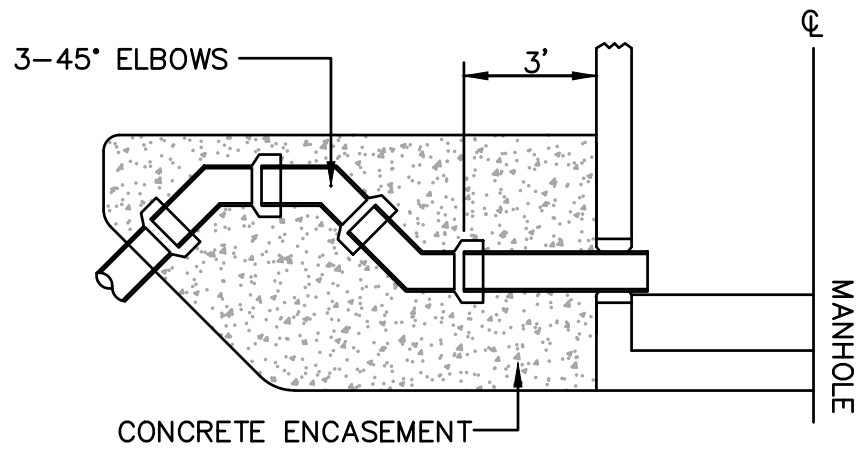
SCALE: NONE



WATER SERVICE CONNECTION

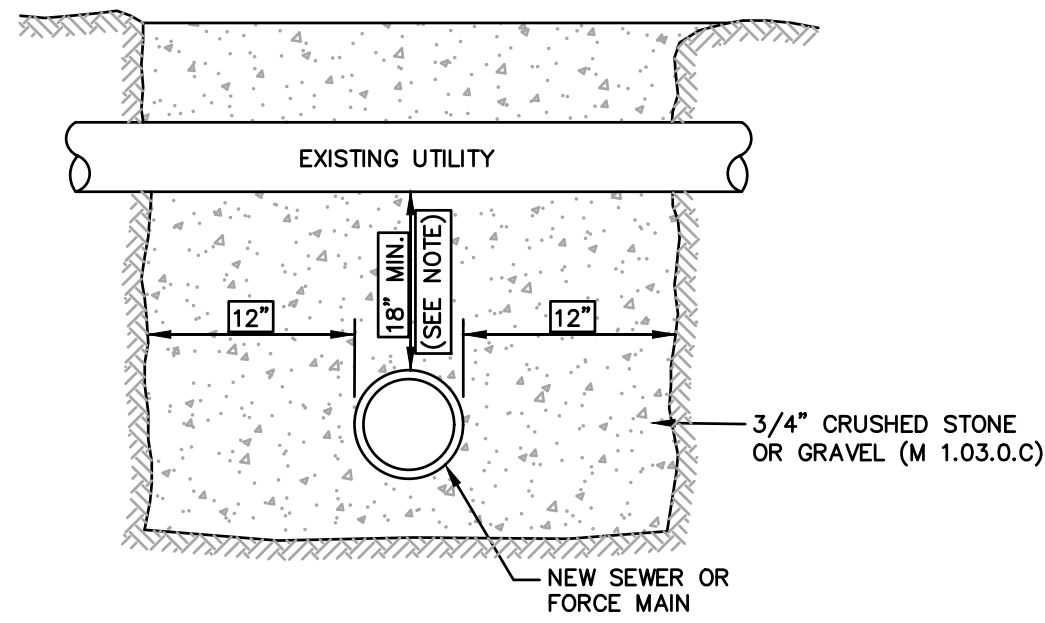
SCALE: NONE

NOTES:
1. DETAIL SHOWS PROPOSED FORCE MAIN CONNECTION TO EXISTING MANHOLE.
2. FINAL CONNECTION METHOD AND LOCATION TO BE COORDINATED WITH THE AMESBURY ENGINEERING DEPARTMENT PRIOR TO CONSTRUCTION.



FORCE MAIN CONNECTION

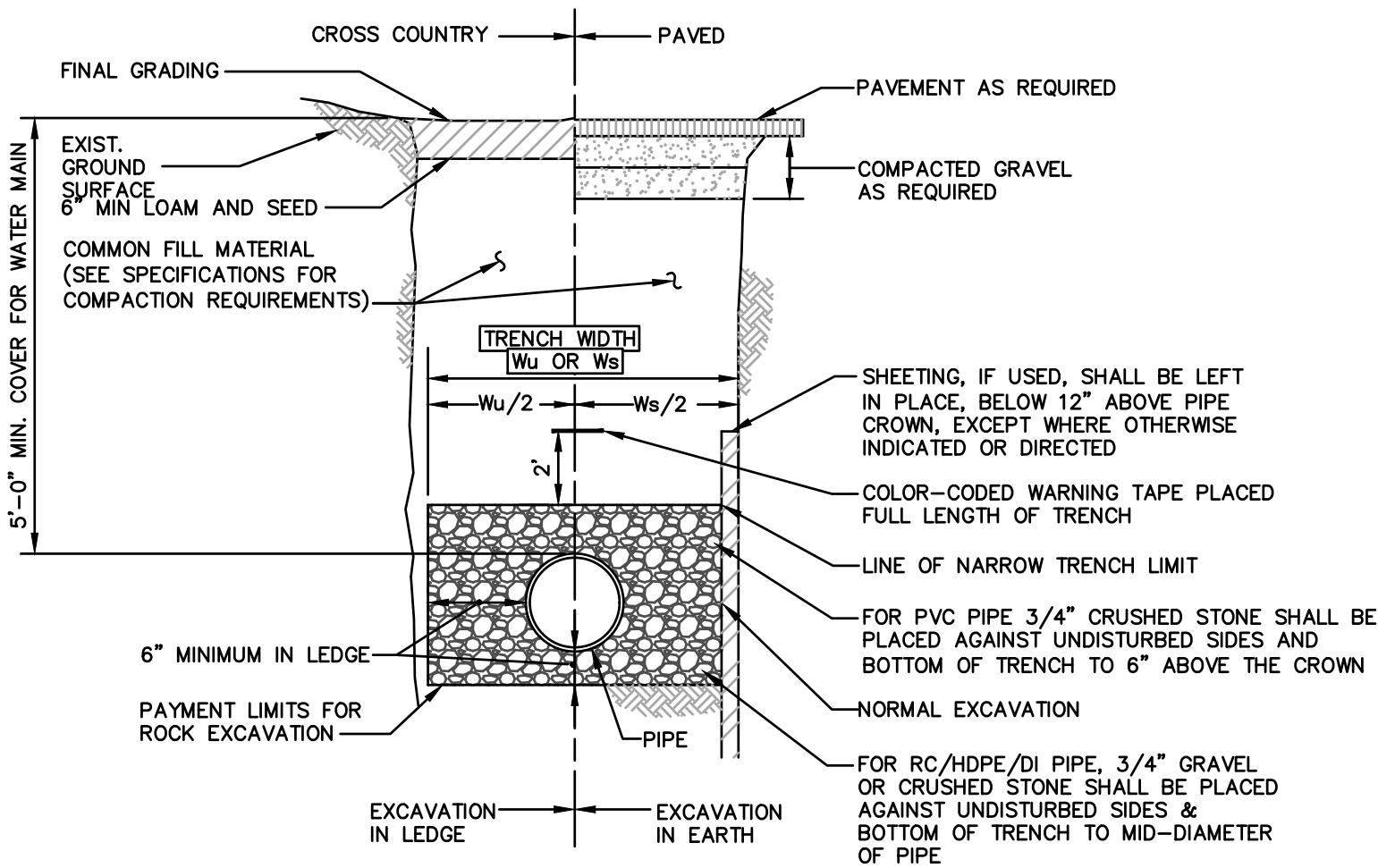
SCALE: NONE



NOTES:
1. 3000 PSI CONCRETE IS TO BE USED TO ENCASE ALL SANITARY SEWERS AND SERVICE CONNECTIONS WHICH ARE WITHIN 18 INCHES OF A WATERLINE. ENCASUREMENT SHALL BE A MINIMUM OF 6 INCHES AROUND THE SANITARY SEWER AND EXTEND A MINIMUM OF 10 FEET BEYOND THE WATER PIPE.

TYPICAL UTILITY CROSSING

SCALE: NONE



TYPICAL PIPE TRENCH SECTION

SCALE: NONE

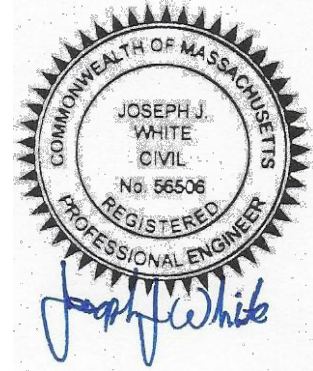
TRENCH WIDTH, Ws OR Wu		
D	Wu	Ws
DIAMETER OF PIPE	UNSHEETED	SHEETED
12" AND SMALLER	3'-0"	4'-2"
15"	3'-2"	4'-4"
18"	3'-6"	4'-8"
21"	3'-10"	5'-0"
24"	4'-2"	5'-4"
27"	4'-6"	5'-8"
30"	4'-10"	6'-0"
36"	5'-6"	6'-8"
42"	6'-2"	7'-4"
48"	6'-10"	8'-0"

TRENCH WIDTH DATA

AMESBURY PLANNING BOARD

DATE: _____

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12/29/2025
DATE

PROFESSIONAL ENGINEER

CLUSTER RESIDENTIAL DEVELOPMENT

102 KIMBALL ROAD
IN
AMESBURY
MASSACHUSETTS
(ESSEX COUNTY)

CONSTRUCTION DETAILS I

AUGUST 22, 2025

REVISIONS:

NO.	DATE	DESC.
1	11/21/25	REVISION PER REVIEW COMMENTS
2	12/29/25	ADDED OPEN SPACE ACCESS DRIVE

PREPARED FOR:
ROBERT CONNEARNEY
102 KIMBALL ROAD
AMESBURY, MA 01913

BSC GROUP
BUILD | SUPPORT | CONNECT
300 Brickstone Square, Suite 203
Andover, Massachusetts
01810

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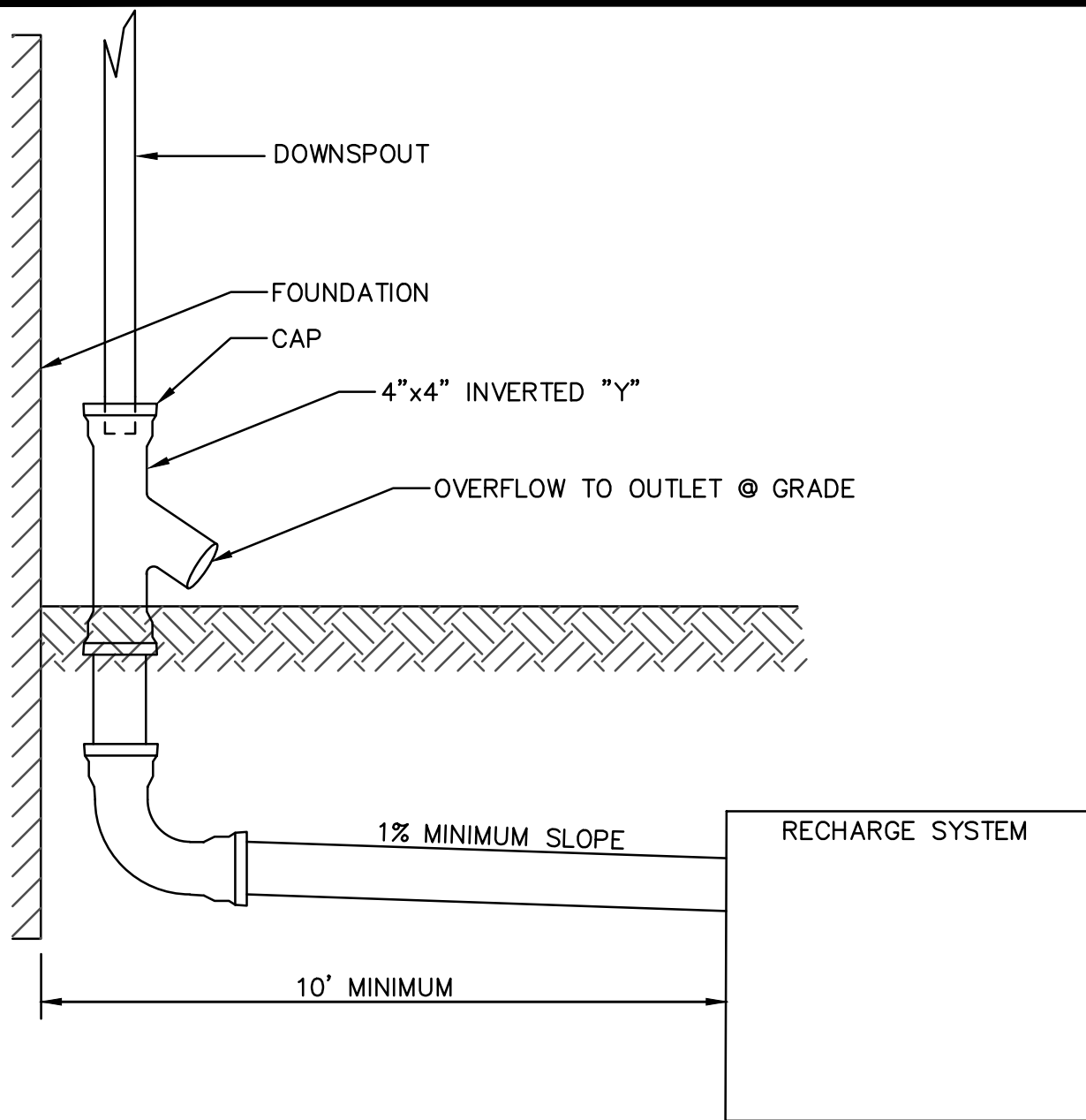
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FILE: 0100714.00-DET

DWG.: DET

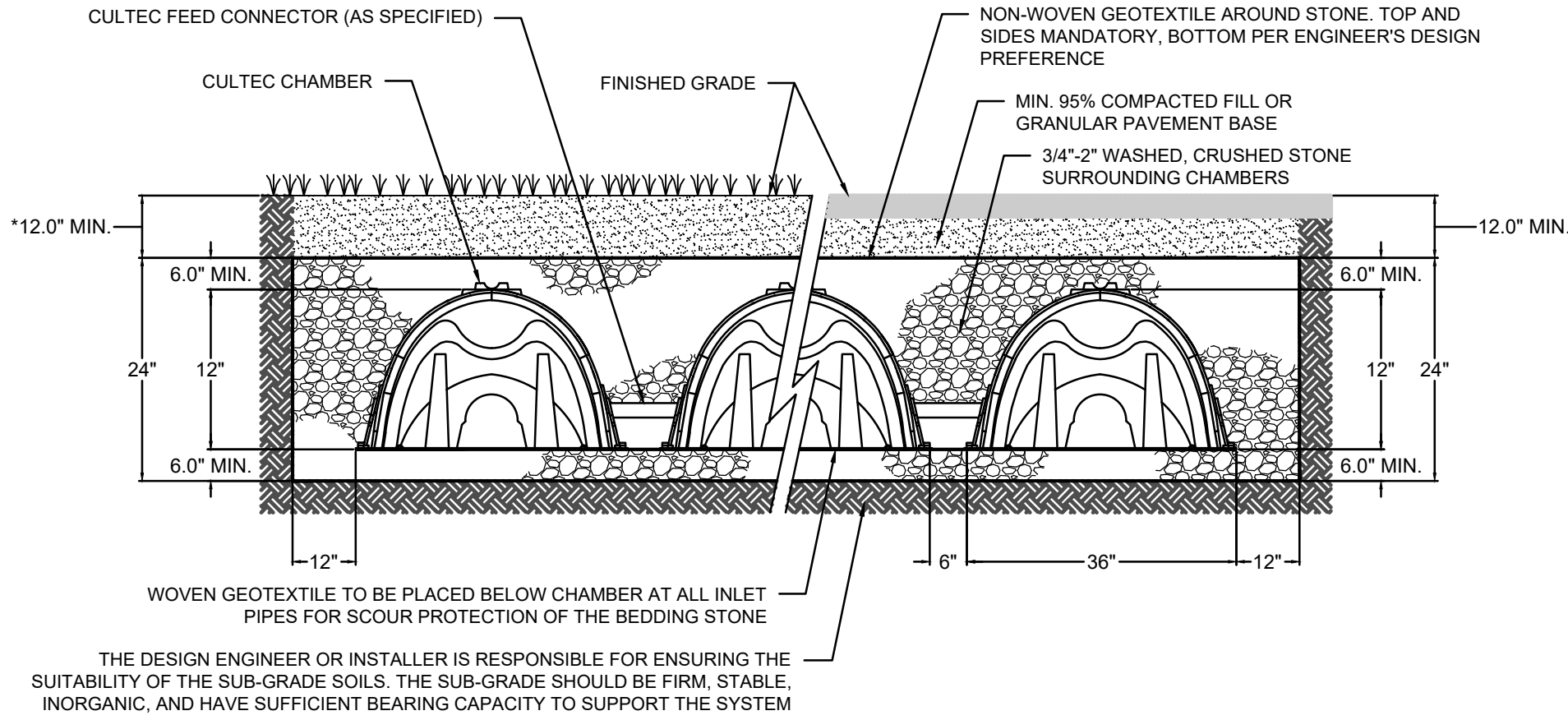
JOB. NO: 0100714.00

SHEET 8 OF 9

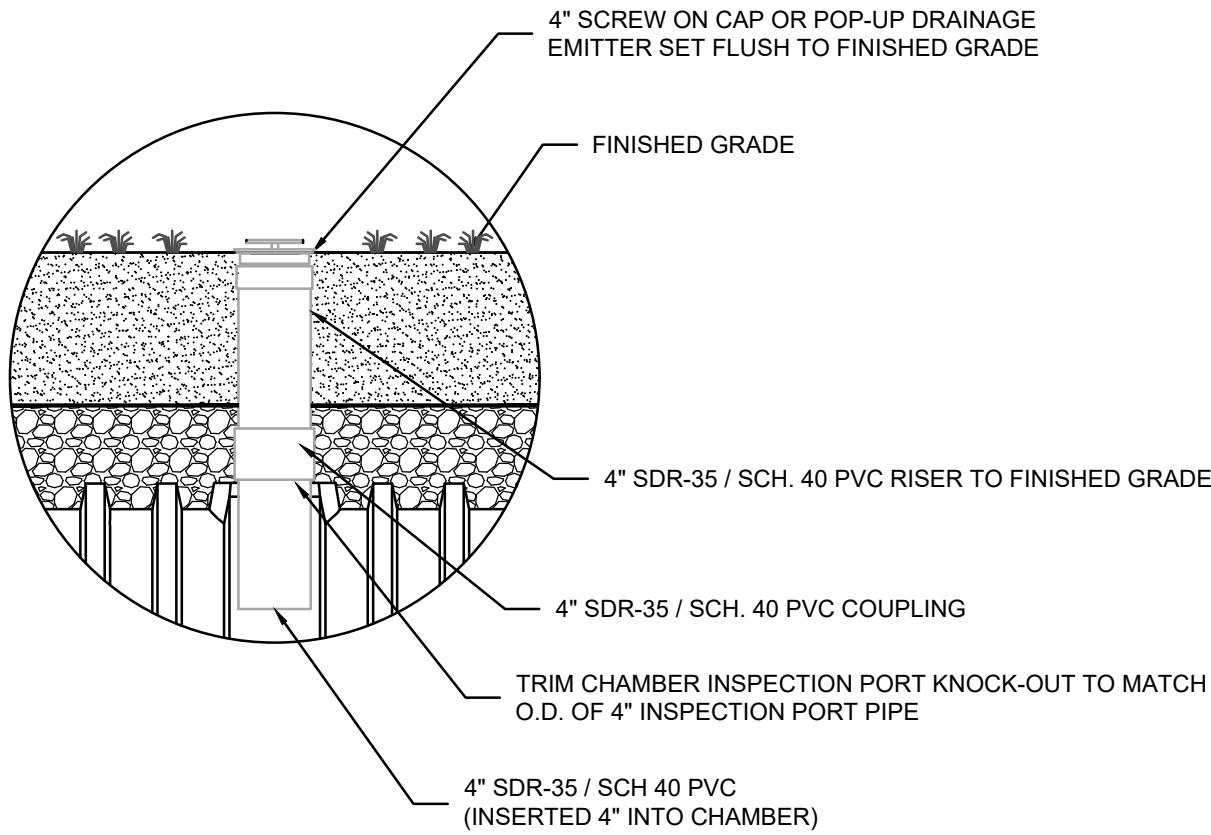


DOWNSPOUT DETAIL

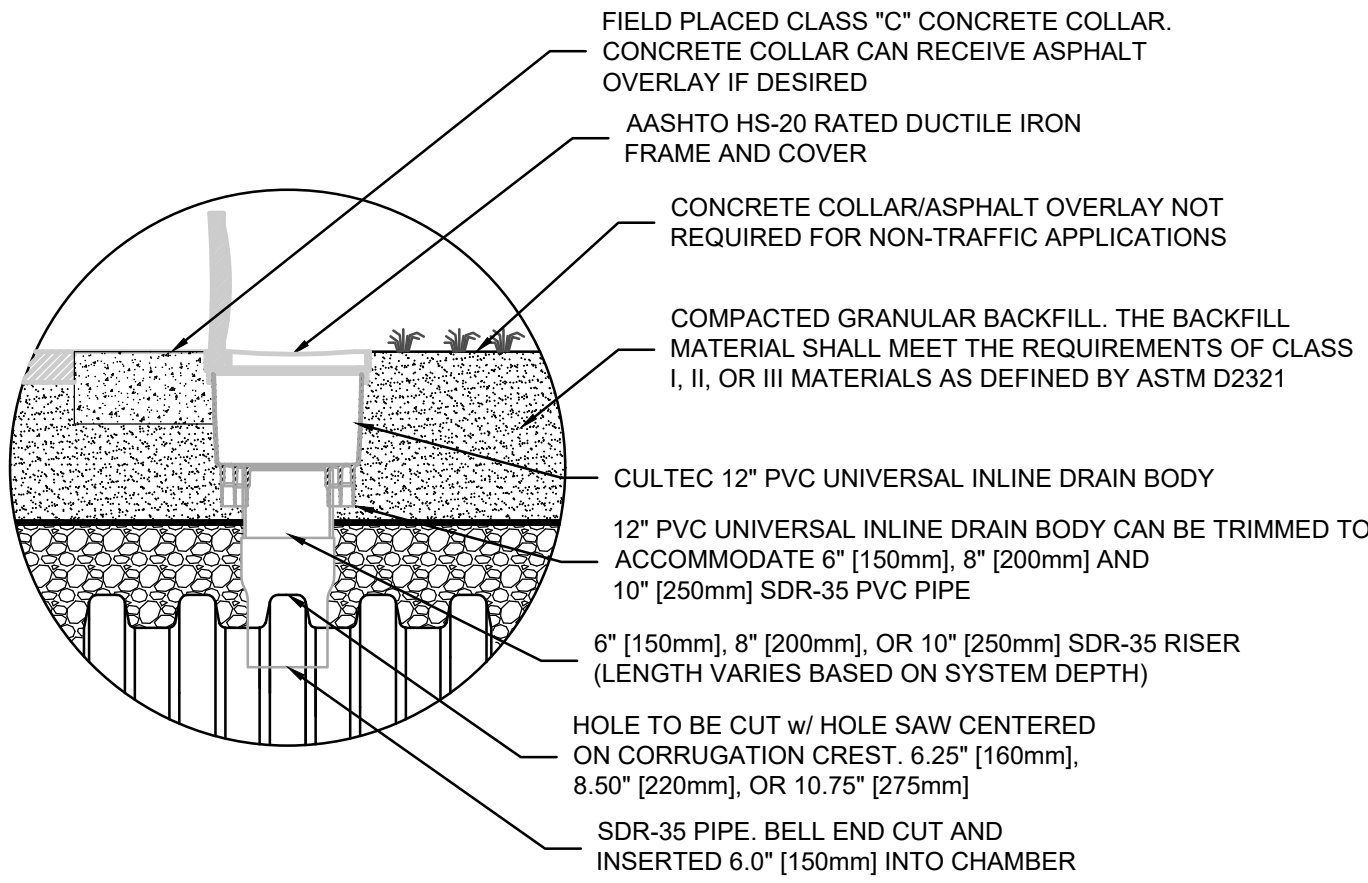
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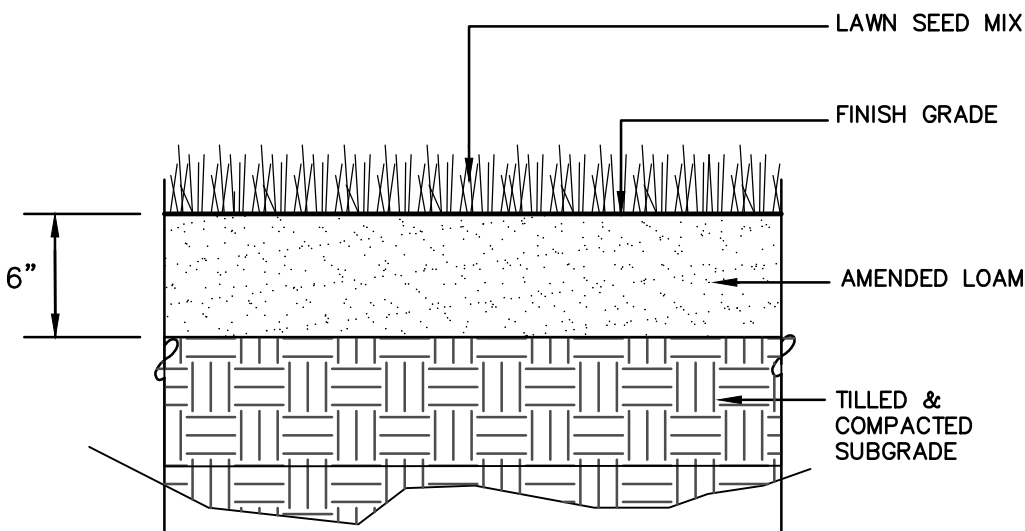
CULTEC C-100HD TYPICAL SYSTEM CROSS-SECTION DETAIL



NON-TRAFFIC INSPECTION PORT ZOOM DETAIL



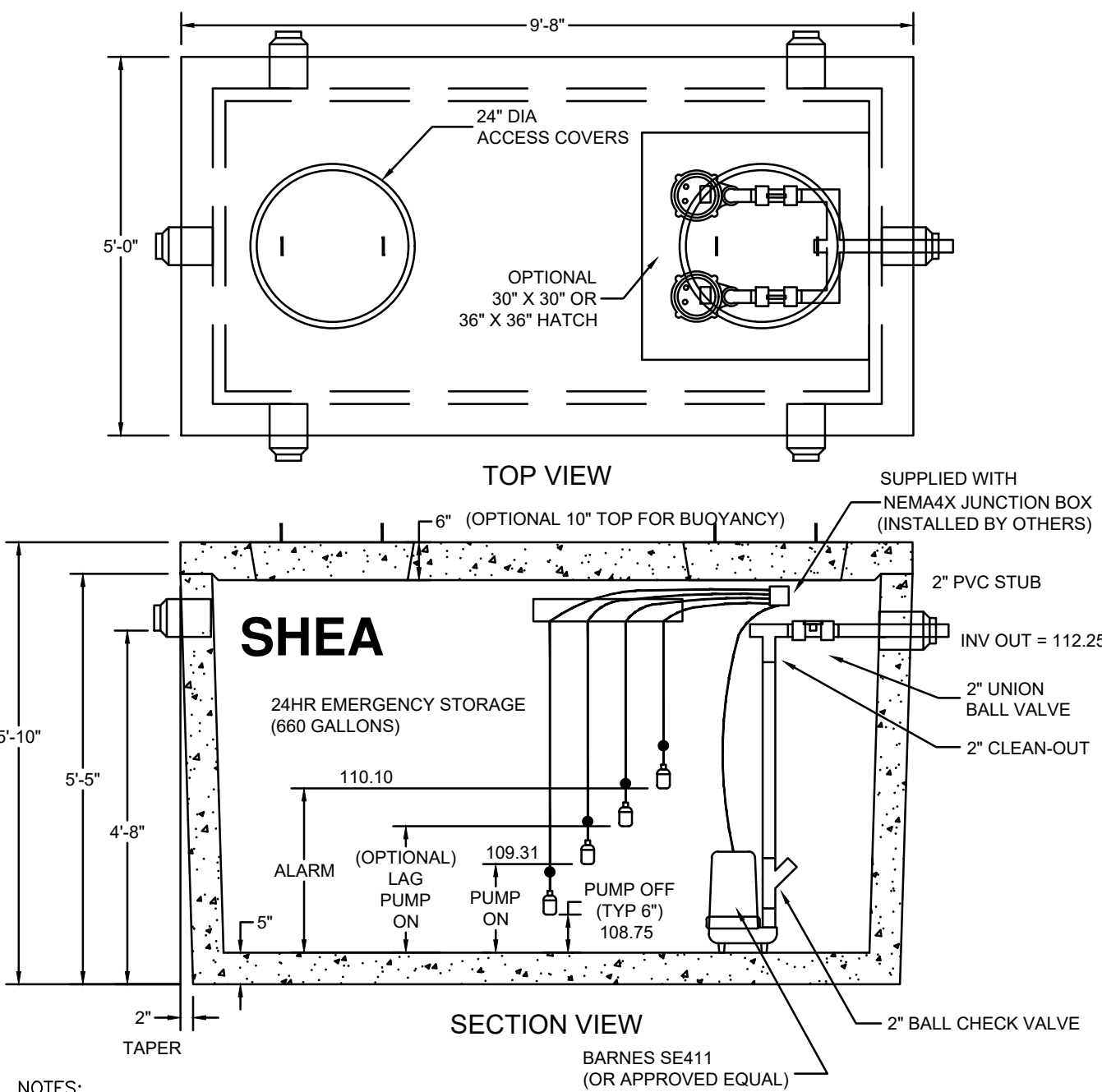
CULTEC INSPECTION PORT - ZOOM DETAIL



NOTE:
SEE SPECIFICATION FOR SEED MIX
APPLICATION AND LOAM AMENDMENTS

LOAM AND SEED

SCALE: NONE



NOTES:

1. CONCRETE: 4,000 PSI MINIMUM AFTER 28 DAYS.
2. CONSTRUCTION OF PUMP CHAMBER CONFORMS WITH DEP TITLE 5 REGS, 310 CMR, SECTION 15.226.
3. ALL REINFORCEMENT PER ASTM C1227.
4. JOINT SEALED WITH BUTYL RESIN.
5. DESIGNED FOR AASHTO HS-20 LOADING, COVER 1 TO 5 FEET.
6. PUMPS, FLOATS AND PIPE INSTALLED IN CHAMBER. FLOAT ELEVATIONS SET UPON REQUEST.
7. SUPPLIED WITH PUMP CONTROL PANEL W/ALARM.
8. LAG & ALARM FLOATS CAN BE SWAPPED OR COMBINED INTO ONE FLOAT.

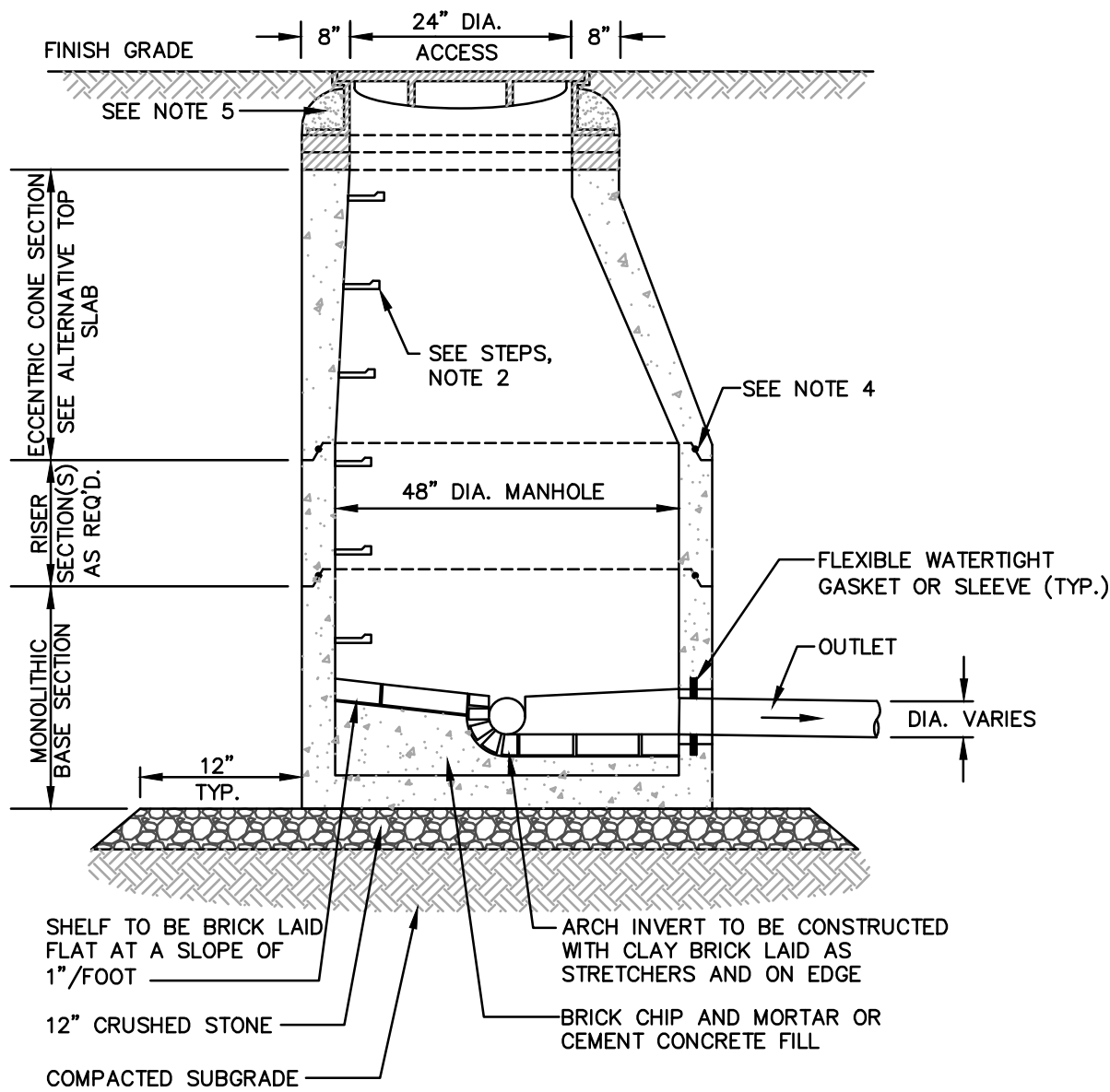
1,000 GALLON PUMP CHAMBER
W/DUPLEX PUMP CHAMBER (SHEA CONCRETE)

SCALE: NONE

AMESBURY PLANNING BOARD

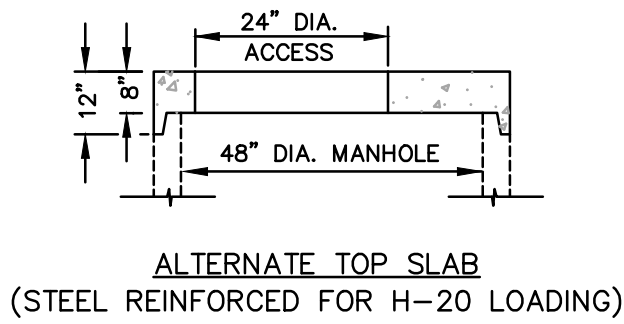
DATE: _____

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SANITARY SEWER MANHOLE

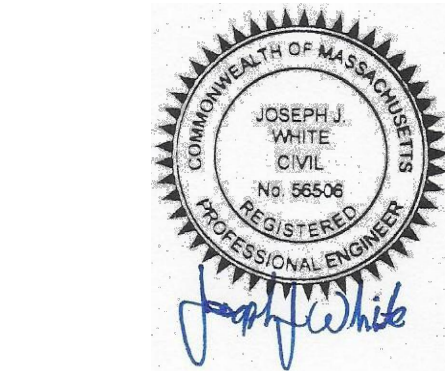
SCALE: NONE



ALTERNATE TOP SLAB
(STEEL REINFORCED FOR H-20 LOADING)

NOTES:

1. ALL SECTIONS SHALL BE DESIGNED FOR H-20 LOADING.
2. COPOLYMER MANHOLE STEPS SHALL BE INSTALLED AT 12" O.C. FOR THE FULL DEPTH OF THE STRUCTURE.
3. ALL EXTERIOR SURFACES SHALL BE GIVEN TWO COATS OF BITUMINOUS WATER-PROOFING MATERIAL.
4. JOINT SEALANT BETWEEN PRECAST SECTIONS SHALL BE PREFORMED BUTYL RUBBER.
5. MUNICIPAL STANDARD SEWER MANHOLE FRAME AND COVER SHALL BE SET IN FULL MORTAR BED. ADJUST TO GRADE WITH CLAY BRICK AND MORTAR (2 BRICK COURSES TYP., 5 BRICK COURSES MAX.)
6. 5'-0" DIAMETER FOR ALL MANHOLE DEPTHS GREATER THAN 20 FEET OR WHEN ORDERED BY THE ENGINEER OR FOR INTERIOR DROP CONNECTIONS AND ALL FORCE MAIN CONNECTION MANHOLES.
7. 6" MINIMUM WALL THICKNESS AND 7" MINIMUM BASE THICKNESS WITH 5'-0" DIAMETER MANHOLES.
8. 4" TO 6" VERTICAL SURFACE AT THE TOP OF THE TRANSITION OR CONE SECTION REQUIRED TO ALLOW AIR-VACUUM TESTING OF THE MANHOLE DURING INSTALLATION.
9. MAXIMUM FIRST PIPE LENGTH FROM MANHOLE 3'-0".
10. MANHOLE DETAIL IS TYPICAL FOR NEW SEWER MANHOLE CONSTRUCTION. PRIOR TO CONSTRUCTION, APPLICANT TO COORDINATE WITH CITY OF AMESBURY ENGINEERING DEPARTMENT TO FINALIZE METHOD AND LOCATION OF SEWER SERVICE CONNECTION.



12/29/2025

DATE

PROFESSIONAL ENGINEER

CLUSTER RESIDENTIAL
DEVELOPMENT

102 KIMBALL ROAD
IN
AMESBURY
MASSACHUSETTS
(ESSEX COUNTY)

CONSTRUCTION
DETAILS II

AUGUST 22, 2025

REVISIONS:

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PREPARED FOR:

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SCALE: AS SHOWN

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SHEET 9 OF 9