

PLANNING BOARD DECISION

Property Ownership: **40 Prospect Street Development LLC
Geno Ranaldi
21 Low Street, Newburyport MA**

Applicant: **40 Prospect Street Development LLC
Geno Ranaldi
21 Low Street, Newburyport MA**

Application Type: **SPECIAL PERMIT – HISTORIC PRESERVATION
SITE PLAN REVIEW (38-40 Prospect Street)**

Project: **Historic Preservation Redevelopment at 38 – 40 Prospect Street
Amesbury, MA**

Date: **September 8th, 2025**

A. GENERAL

On or about 6/16/2025, the Planning Board of Amesbury (the “Board”) received applications for (1) Site Plan Review, and (2) Historic Preservation Special Permit for property located at 38 – 40 Prospect Street in Amesbury MA.

The Board also received supplemental plans and documents pertaining to proposed activities, which were provided to the Board to supplement the discussion during the public review process.

The Board held the initial public hearing on 7/14/2025. The public hearing was closed on 09/08/2025 and a decision was rendered on 09/08/2025. This is the Final Action of the Board ("Decision") on the application for Special Permit and Site Plan Review.

B. FINDINGS

1. **Property Locus and Applicability under Amesbury Zoning Ordinance:** The subject parcels are located in the R-8 District. The Site Plan includes two parcels as per Assessor's Database and shown as Map 40, Lots 82 and 83. Currently, there are two duplex residential structures on Map 40, Lots 82 and 83. The total site consists of a total of 0.84 acres. The Applicant requests the renovation to the two existing historic two-family residential structures and proposes one new single family residential structure on the property. The requested uses require a Historic Preservation Special Permit and Site Plan Review from the Board under Section XI.J2 of the Amesbury Zoning Ordinance.
2. **Project Description and Proposed Uses:** The Applicant seeks to renovate two existing residential structures and put a Historic Preservation restriction on each one of them. The Site Plan also shows driveway, parking and landscape improvements on the said property. A new single family residential structure is proposed as shown on the Site Plan.
3. **Site Layout and Building Location:** No changes are proposed to the building layout to the existing buildings in the proposed Site Plan. New residential structure is proposed with new driveway from Prospect Street. The existing driveway from Chester Street is being improved to provide better access to and from Chester Street.
4. **Utilities and Municipal Infrastructure:** The site is serviced by adequate public water and sewer utilities. The Board finds that the proposed use will not burden public utilities or infrastructure. The requested use will not overload any public water, drainage, or sewer system or any other municipal system to such an extent that the requested use or any developed use in the immediate area will be unduly subjected to hazards affecting health, safety, or the general welfare.

5. **Neighborhood Impact:** The existing historic buildings are being substantially preserved. Further, a Historic Preservation Restriction will be placed on each of the existing buildings currently located at 38-40 Prospect Street. The layout and design of the new residential structures is compatible with the character of the buildings in the zoning district. The Board finds that the proposed use will not impair the integrity or character of the neighborhood, the zoning district or adjoining districts and will not be detrimental to the health or welfare.
6. **Public Impact:** The subject property is located in an area with existing municipal utility services. The addition of one additional residential unit on the site does not have any impact. The Board finds that the project is unlikely to create any undue burden on the utilities, municipal services or public infrastructure by the proposed changes to the existing property.
7. **Other Permits Needed:** The Applicant has not requested any other permit from the Planning Board and no other relief or permit has been granted except as outlined in this decision. The Board finds that the Applicant may need the approval of the Amesbury Historical Commission if there are any changes proposed to the building design, improvements or repairs other than those that have been approved herein.
8. **Site Plan Compliance:** Based on the findings noted above and the information and details included in the application materials, the Board finds that the Project, as detailed in the project materials referenced in Exhibit 1 and as conditioned in this decision, constitutes a suitable development in compliance with the criteria and design performance standards set forth in the Zoning Ordinance – subject to the conditions and design performance conditions imposed in this decision to ensure the health, safety, and welfare of the community.
9. **Special Permit findings:** Based on the findings noted above and the information and details included in the application materials, the Board finds that the Project, as detailed in the project materials referenced in the Exhibits and as conditioned in this decision, constitutes a suitable development in compliance with the criteria and design performance standards set forth in the Zoning Ordinance – subject to the conditions and design

performance conditions imposed in this decision to ensure the health, safety, and welfare of the community.

C. WAIVERS

The Applicant sought waivers from certain provisions of the Amesbury Zoning Ordinance. The Board has granted waivers from those provisions, only to the extent necessary, to construct the new structures and convert the existing structures for proposed uses as per approved plan, where the waivers are consistent with the purpose and intent of the regulations and would not threaten public health, safety or welfare and to minimize harm and disruption to the locus and real property abutting the locus.

Section(s) of the Amesbury Zoning Bylaw (AZB)	Requested Waiver	Decision of the Board
Section VI – Dimensional Requirements – <i>(Existing Historic Residential Structure)</i>	Request to waive certain setbacks for the existing historic residential structures to allow for approved site and building design improvements	Granted to the extent shown provided, 1) the landscape screening and vegetative buffers and other fences are installed as per approved final landscaping plan; and 2) review and approval of final architectural details for the building; 3) approval of a subdivision plan
Section VI – Dimensional Requirements – <i>(New Structures)</i>	Request to waive certain setbacks for the proposed new structure	Granted to the extent shown provided, 1) the landscape screening and vegetative buffers and other fences are installed as per approved final landscaping plan; and 2) review and approval of final architectural details for the building; 3) approval of a subdivision plan

D. APPROVAL OF THE SITE PLAN AND SPECIAL PERMIT APPLICATIONS AND CONDITIONS THERETO

After public hearing, upon notice in accordance with the statute (General Laws, Chapter 40A, section 11) and the Amesbury Zoning Ordinance, and after full consideration of the evidence presented, and upon the findings made by the Board as set forth herein, applications for Site Plan Review and the Historic Preservation Special Permit for property located at 38 – 40 Prospect Street in Amesbury, MA are hereby approved for the premises described in the application upon the conditions that follow:

1. COMPLIANCE WITH LOCAL, STATE AND FEDERAL REQUIREMENTS

The Project and all construction, utilities, roads, drainage, earth removal and filling and all related appurtenances with respect to the Project, shall comply with all applicable local, state and federal regulations except as waived specifically by this Decision. The Applicant shall be responsible for acquiring all other local, state and federal permits and approvals as necessary to construct the Project as approved by the Board. Final action on all other permits shall be submitted to the Board for record, including any renewals.

2. PRIOR TO START OF ANY CONSTRUCTION:

1. **Allowed Uses:** This Decision allows two existing units in each of the existing historic residential structures and a new single family residential structure for a total of five (5) residential units as shown on the final Site Plan. No other new structures, changes to building footprints or increase in the number of dwelling units except as shown on the approved plan set is allowed by this Decision. Any changes from the approved site plan or additional uses shall only be allowed after approval by the Board.
2. **Historic Preservation Restriction** – The Special Permit is granted subject to the terms of a permanent Historic Preservation Restriction on the existing residential buildings as

approved by the Amesbury Historical Commission (AHC) and accepted by the City of Amesbury and to be recorded herewith.

3. **Site and Building Design Guidelines** – The existing building renovations shall conform to the building design as per Exhibit #2 (Architectural Drawing Set) The new residential structure shall be built as per architectural drawings and details as approved by the Board and shown on preliminary drawings per Exhibit #2.
4. **Subdivision Plan:** The Final Site Plan shows the existing structures on one Lot and the proposed residential structure on a separate lot. The approval of the Site Plan shall not be deemed as approval of these new lots. The Applicant shall file a Subdivision Plan and application pursuant to the Amesbury Subdivision Rules and Regulations with the Board. Only upon approval of a subdivision plan for the modification of existing lot lines and subsequent to recording of such plan endorsed by the Board, can the construction of the proposed single family residential structure be released from covenant. The Site Plan may have to be modified pursuant the approval of a Subdivision Plan showing lots in substantial compliance with these lot lines.
5. **Setback Waivers:** The Board shall grant the requested waivers from Table VI – Dimensional Controls of the Zoning Ordinance for the setbacks shown based on the proposed lot lines. However, any waivers associated with any new or proposed lot lines or associated with any existing or new residential structures shown on the approved Site Plan, shall be effective upon the approval and recording of a Subdivision Plan by the Board.
6. **New Residential Structures on Proposed New Lot:** Prior to any construction activity associated with the single family residential structure, including but limited to, site grading, foundation, utility installation or issuance of a building permit, a Subdivision Plan approved and endorsed by the Board shall be put on record showing each of the proposed lots as approved per this Decision.
7. **Changes in Project Density or Design** - No further subdivision of the property or increase in density shall be allowed without further review and approval by the Board. Any change to the site plan or any of these conditions of approval, including, but not limited to, the

building footprint and driveway locations, landscaping plans, architectural design criteria and the approved building construction materials, site improvements and finished grades or to any recorded legal documents shall only be allowed after review and approval by the Board. Substantive revisions to the Final Plans, such as changes to the building design or any of its exterior façade details, addition of dwelling units, relocation of more than one property line, relocation of the access driveways or other substantive changes from the Final Plans shall not be permitted without further review and written approval of the Board;

8. **Major improvements:** The proposed project has been approved subject to the following improvements required for the project:
 - a. **Existing Historic Buildings** – Renovation of the existing buildings as per approved architectural drawings;
 - b. **Proposed new residential structure** – A single-family building shall be allowed as per architectural drawings and details approved by the Board.
9. **Notations -** The following notes shall be added to the Plan prior to endorsement:
 - a. A note shall be added that states that "*This property including the building is subject to a permanent Historic Preservation Restriction, held by the City of Amesbury in perpetuity, to be recorded herewith.*" and a notation to this effect shall also appear upon any deeds to any unit on for any structure located on "Lot 1" shown on the approved Site Plan;
 - b. A note shall be added that states that "*No further subdivision of any parcel or any change to the number of dwelling units, or site layout shall occur without the approval of a definitive subdivision plan and a further review and approval of a site plan modification by the Board*" and a notation to this effect shall also appear upon any deeds to any unit on the property; and
 - c. A note shall be added that states that "*This site plan layout and new residential structures are allowed subject to the Planning Board decision recorded herewith and conditions stated therein*";
10. **Notation on Deeds for specific Unit:** The Stormwater O & M Plan shall be referenced in the deeds for individual units and specific maintenance requirements and responsibilities shall be clearly stated in each deed. Draft deeds for these shall be provided to the Board for review prior to release of these units by the Board for sale and construction.

11. **Historic Preservation Restriction:** No exterior alterations, additions, modifications to the building footprint or removal of any of the architectural and character defining features of this structure shall be allowed except as approved by this Decision as shown on the plan. Any architectural element requiring repairs or replacement shall be done in a manner consistent with the historically correct details and materials and pursuant to a Preservation Restriction ("Restriction") that shall be placed on the premises, per the provisions of Section XI.J2. A proposed Historic Preservation Restriction shall be submitted to the City for acceptance by the Board within ninety (90) days of recording of this Decision.
12. **Compliance with Site Plan and Application Materials:** The Applicant or their assignees or future owners shall operate any proposed activities in compliance with this Special Permit and Site Plan approval decision, the approved Project Documents (Exhibit 1 and 2), and any representations made in the submitted Application materials.
13. **Landscaping and buffers along property lines:** All landscaped areas and vegetative buffers shall be planted in accordance with the approved landscape plan and shall be maintained by the Property owner(s) in perpetuity. Proposed fences and landscape buffers along property boundaries shall be perpetually maintained and kept in good condition. Any damaged or dead shrubs and trees shall be replaced with the same plant materials as per approved plan.
14. **Final Landscape Plan and Fences:** The preliminary plan includes landscape improvements on the Property. The final landscape plan shall enumerate the quantity and kind of all plant species. The Final Landscape Plan shall require review and approval by the Board prior to installation of any plants and trees on site.
15. **Final Release of the Performance Bond** - Final release of performance bond shall be made when all the following conditions have been met:
 - a) Upon completion of work as shown on the Final Plans, the Applicant shall furnish a report from the Board's construction observation consultant indicating that all work has been completed as per the Board's Decision and as shown on the Final Plans;

- b) All City Department and the Board's inspectional engineer have recommended release of bond funds;
 - c) Upon completion of all off-site improvements and stormwater management system, submission of an "As-Built Plan" to the Board along with a written confirmation from a Registered Professional Engineer (P.E.), indicating that construction complies with the approved site plans and conditions of approval, including drainage and utility plans; and
 - d) All landscaping plant materials (trees, shrubs, and other plants) have survived two (2) growing season and that dead/damaged plants have been replaced as per Final Plans;
16. **As-Built Plans and Repairs:** To ensure compliance with the terms and conditions of this Decision and any approval or order by any federal or state agency, the Applicant shall submit plans with a certification from a Professional Engineer or Architect registered in the Commonwealth of Massachusetts that the Project "As-Built Plan" complies in all substantive respects with this Decision and any other approval or order by any federal, state or local agency. Any damage to public roads and sidewalks/walkways shall be repaired and/or replaced to the satisfaction of the DPW Director and City Engineer.
17. **Indemnification:** The Applicant agrees that the City of Amesbury shall be free of any liability for any negligent acts or omissions by or of the Applicant, its employees, agents, subcontractors, beneficiaries or trustees with relation to this Project. The Applicant, on behalf of itself and its successors and assigns, further agrees to indemnify and hold harmless the City of Amesbury, its employees and officials for any harm, damage, injury or loss caused by negligent acts or omissions of the Applicant, its employees, agents, subcontractors, beneficiaries or trustees with regard to the construction of this Project.
18. **Right to Enter Site for Inspection:** The Applicant shall provide access to its operations to all City officials and its representatives as needed for them to carry out their responsibilities and to provide the necessary services in assisting the Board to ensure that activities are being performed pursuant to this Decision.

19. **Site Plan Modifications:** Prior to expansion, addition or alteration of uses allowed by this Approval, the Applicant shall provide detailed information and plans along with a formal written request for modification to the approved Site Plan for determination of minor or major modification and approval by the Board. Any substantial modifications to the Special Permit and Site Plan or changes that impact the Performance Standards under XI.C.8 or conditions of approval of this Decision shall be subject to review and approval of the Board. The Board shall, if it so determines, require the applicant to submit a new application for modification to the approved Site Plan or uses and hold a new public hearing for review of the requested modifications;
20. **Validity:** This permit is valid only for the uses and new structures to the extent approved in the Decision and shall expire within two years from the issuance date if construction is not started in that time period. Any changes to the site plan, uses or other improvements shown on the approved plan without the approval of the Board shall render those unauthorized improvements or changes null and void. This permit shall become final only upon 1) the recording of the Special Permit and Site Plan Approval granted by the Board for the final Site Plan and improvements shown on said Plan and accompanying Site Plan set (civil only); and 2) the issuance of all other state and federal permits required to start any construction activity allowed per this permit. The Site Plan Approval shall expire upon the expiration of the special permit, unless said permit(s) is extended by the permit granting authority.

3. PRIOR TO START OF ANY CONSTRUCTION:

The Applicant shall file with the Board and all other relevant public agencies for review and for consistency with this Decision any documents and shall have completed the following actions:

1. **Legal Documents:** The following documents shall be submitted to the Board and the Building Inspector:
 - a) **Documents Recorded at the Southern Essex Registry of Deeds:** The following documents as recorded at the Southern Essex Registry of Deeds after endorsement by the Board:

1. Planning Board Decision - A copy of this Decision certified by the City Clerk; and
 2. Final Site Plan Set – Upon making any required revisions per this decision, the final site plan set shall be endorsed by the Board and certified by the City Clerk.
- b) Covenant - Prior to the commencement of any construction activity for the proposed new single family residential structure and garage, a covenant shall be placed on the issuance of occupancy permit and sale of any residential unit in the Project. A release from the covenant may be requested upon completion of all the following requirements:
- 1) an Erosion Control and Sedimentation Bond has been established prior to start of any construction activity or disturbance on site.
 - 2) a Performance Bond has been established for any and all remaining work prior to seeking an occupancy permit for any dwelling unit.
 - 3) All exterior restoration, renovations and construction work of the historic buildings have been completed as per historic and period details and are consistent with the architectural plan set approved by the Board.
 - 4) the final preservation restrictions have been reviewed and approved by the Amesbury Historical Commission (AHC), city legal counsel and presented to the City Council for acceptance.
2. **CAD Drawings:** Three copies of all drawings and recorded site plans as approved by Board shall be provided as Computer Assisted Drawings (CAD) on Compact Disks to the Board.
3. **Submission of Architectural Drawings:** No less than 30 days prior to the submission of a building/foundation permit application for any proposed structure, a copy of the complete set of detailed architectural elevations and floor plans for the building(s) shall be submitted to the Board. The final architectural drawings shall be sufficiently annotated to describe in detail the building materials, details and color scheme for the building. The Board shall review the final construction drawings to establish conformance with architectural drawings

presented to the Board, which approval shall not unreasonably withheld, before making request for a building permit for said building;

4. **Revisions to the Final Site Plan and Supporting Documents:** The Final Site Plan shall be revised to address any outstanding issues through the supplemental review and approval process and as part of submission of Final Plans to the Board. The Applicant shall provide funds for peer review services as needed for review of any revised plans and supporting documents.
5. **Sedimentation and Erosion Control:**
 - a. **Surety Bond:** The Applicant shall be required to post Surety with the Board for Sedimentation and Erosion to ensure that all drainage and erosion control measures are implemented, including but not limited to, the proposed driveways, drainage system, and grading plan as per the Final Plans and other engineering drawings. Prior to release of any portion of the Surety, the Board shall verify that all finished grades have stabilized, and drainage have been installed and functioning as per approved design and that there is evidence of healthy mature grass and/or landscaping on the site. A request for any release of funds may only be made after the completion of two growing seasons from the installation of all landscape materials on the site and approval of a final As-built Plan; and
 - b. **Erosion Control Installation:** Prior to the commencement of any work at the site, an erosion control barrier (hay bales staked end to end and siltation fence firmly anchored with six (6) inches of soil on the uphill side) shall be installed in a location reasonably acceptable to the Board or its representative. The erosion control barrier shall be inspected by the Board or its representative prior to work commencing on the site and shall be maintained until all disturbed areas have been stabilized to the satisfaction of the Board or its representative;
6. **Performance Bond:** The Applicant shall be required to post a surety with the Board for all improvements including but not limited to landscaping, patios, walkways, fencing, landscape buffers, driveways, parking areas and other drainage and utility improvements as shown on the Final Plans. The performance bond amount shall be established based on work not

completed prior to the making request for an occupancy permit for the first residential unit. Prior to release of any Surety, the Board shall verify with its construction observation consultant and its staff that the work has been completed as per approved plans and approval by the Board of a Final As-Built Plan.

7. **Final Private Utility Layout:** The Applicant shall obtain all necessary private utility permits, including but not limited to gas pipeline, electric, telephone and cable service required by the respective utilities. The Applicant is responsible for all expenses associated with removal/relocation of electric poles and overhead wires servicing the existing building. Documentation of all Permits/approvals issued by private utilities pertaining to the development of the Project shall be provided to the Board for record.
8. **Request for Pre-construction Conference:** The request for a Pre-construction Conference shall be acted upon by the Board only AFTER the Board has received and reviewed ALL of the documents required per this Decision before start of construction and has received a final Construction Monitoring and Management Plan (CMMP) and also determined that the Project is ready to proceed to the construction phase. Upon authorization by the Board, its representatives shall schedule the Pre-construction Conference; and
9. **Pre-Construction Conference** - At least five (5) business days prior to any initial site work, a Pre-Construction conference shall be held with the Applicant, Applicant's contractor, a representative of the Board, its consulting engineer, and representatives of the City Departments having an interest in the Plan. Said meeting shall be for the purpose of familiarization with the project, the conditions of approval, and the project's construction sequence and timetable and for reviewing and approval of the CMMP. Copies of all other permits shall be provided to the Board in advance of this meeting.

4. **DURING CONSTRUCTION:**

The following shall apply to all construction activity as per approved Site Plan:

1. **Stockpiles:** All earth stockpiles shall be established in locations greater than fifty (50') feet from proposed stormwater management areas as approved by the Board or its designee.

Earth material stockpiles shall not be allowed immediately adjacent to perimeter siltation barriers or drain inlets. Long term stockpiles over 30 days shall be shaped stabilized and circled by siltation fence and hay bales and shall be stabilized by temporary seeding, sheeting or netting;

2. **Utility Trenches:** Utility trenches within the public Right of Way shall be saw-cut prior to excavation. Open trenches shall be backfilled with bank gravel and compacted to 95%. Trenches shall be paved with asphalt binder to a minimum depth of three (3) inches and overlaid curb to curb on Chester and Prospect Street to a minimum depth of one and half (1.5) inches. Water service trenches shall be infrared joint paved. The Director of DPW and the City Engineer shall have the final signoff on the right of way improvements and any change to these standards or those shown on approved plans shall be subject to their review and approval.
3. **Repair and Cleanup:** The existing roadways shall be kept clean of all earth materials during the construction phase. Any damage to public roads and walkways shall be repaired and/or replaced to the satisfaction of the DPW Director and City Engineer.
4. **Erosion Control and Stormwater Maintenance Requirement:** The Applicant's engineer of record shall submit monthly reports and supporting documents to the Board showing that requirements for stormwater system maintenance are being adhered according to the approved Stormwater Management Plan as approved by the Board and other regulations, as applicable.

5. PRIOR TO MAKING REQUEST FOR AN OCCUPANCY PERMIT:

The Applicant shall file with the Board and all other relevant public agencies for review and for consistency with this Decision any documents and shall have completed the following actions:

1. **Recorded Documents:** The following documents shall be submitted:

- a) Historic Preservation Restriction - A copy of the Final Preservation Restriction pursuant to the provisions of Section XI.J2 as recorded at the Essex Registry of Deeds shall be submitted to the Board;
2. **Infrastructure Improvements:** The Applicant shall submit a letter from the Engineer of record that these improvements have been completed in accordance with the approved plans approved by the Board. An as-built plan certified by the Engineer of record shall also be submitted along with a written statement certifying that the improvements on all the lots have been completed as per approved site plan.
3. **Certification of Improvements:** The Applicant shall request the Board for a Certificate of Improvements and submit it to the Building Inspector from the Board verifying that conditions of approval have been met and that construction to date is per the approved plans.
4. **Landscape Improvements, Vegetative Buffers and Fencing:** All proposed trees shall be placed in position or staked out for approval by the Board (or its designated agent) prior to digging. All site improvements, including landscape plantings, vegetative buffers, lighting and fencing shall be completed and installed as per Final Plans prior to making application for the occupancy permit. The Board's construction observation consultant for the project shall submit a certification that the trees, shrubs and screening plants have been installed as per approved plans. Alternatively, the Board shall retain a landscape performance bond equivalent to twice the amount to make all approved landscape improvements at the time the first certificate of occupancy is officially requested by the Applicant. The Landscaped Architect for the project shall submit a certification that the trees, shrubs and screening plants have been installed as per approved Final plans prior to release of the landscape performance bond. All proposed trees shall be placed in position or staked out for approval by the Board prior to digging.
5. **Architect's Certification:** The Project Architect registered in the Commonwealth of Massachusetts shall submit a certification to the Board certifying that all repairs, restoration and improvements to the historic building have been done per historic and period details

and architectural drawings approved by the Board and the Amesbury Historical Commission;
and

6. **Public Way Repairs**: Any damage to public roads and walkways shall be repaired and/or replaced to the satisfaction of the DPW Director and City Engineer.

Chair, Amesbury Planning Board

EXHIBITS

Exhibit #1 – Site Plan

Proposed Site Plan for “Residences at 38-46 Prospect Street, Amesbury MA 01913,” dated 7-3-25, prepared by Scott Brown Architects, 48 Market Street, Newburyport MA 01950.

Exhibit #2 - Architectural Drawings

Existing Historic Residential Structures – Architectural Plan set consisting of eight (8) sheets and titled “Renovations/Alterations to 40 – 46 Prospect Street, Amesbury MA 01913,” dated 7-7-25, prepared by Scott Brown Architects, 48 Market Street, Newburyport MA 01950.

New Residential Structure – Architectural Plan set consisting of three (3) sheets and titled “Proposed new Residence, 38 Prospect Street, Amesbury MA 01913,” dated 6-27-25, prepared by Scott Brown Architects, 48 Market Street, Newburyport MA 01950.

Exhibit #3 - Landscape Plan, consisting of one (1) sheet and titled “Residences at 38-40 Prospect Street, Amesbury MA 01913,” dated 7-22-25

Exhibit #4

“Form B – Inventory Forms” for properties located at 40-42 Prospect St. and 44-46 Prospect St.



1 PROSPECT STREET ELEVATION
Scale: N/A

SCOTT BROWN

ARCHITECTS INC.

48 MARKET STREET

NEWBURYPORT, MA 01960

T 978 465 2535

WWW.SCOTTBROWN-ARCH.COM

AMESBURY, MA 01913

40-46 PROSPECT STREET

TO:

RENOVATIONS/ALTERATIONS

REVISION & RESERVE NOTES

No.	Date	Notes

Project #

2025-18

Project Manager

X.X.

Date

7-07-25

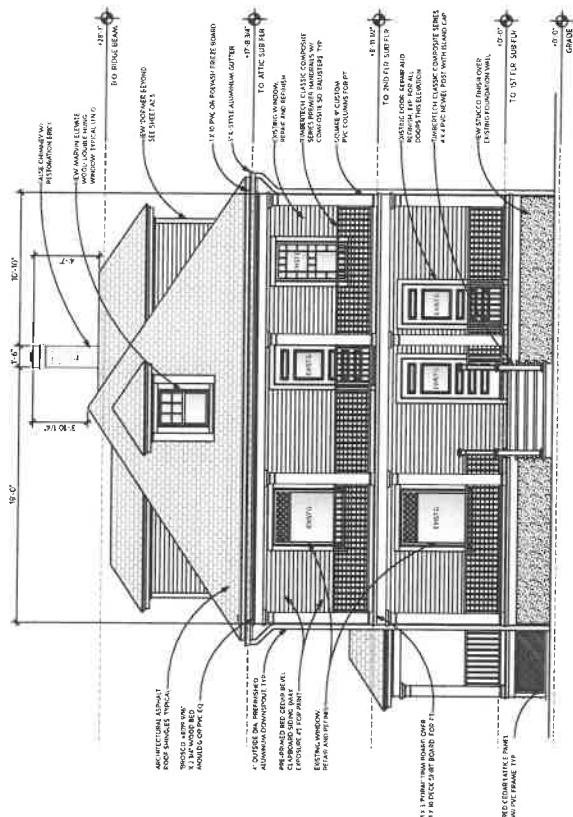
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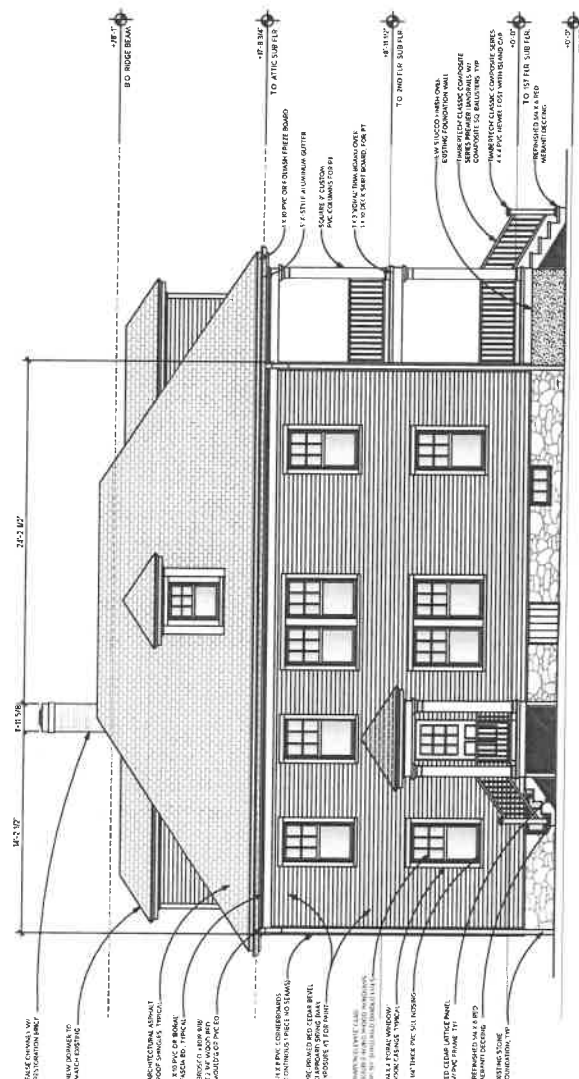
PROSPECT STREET ELEVATION

A2.0

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2 NORTH (FRONT) ELEVATION FOR 44-46 PROSPECT
Scale: 1/4" = 1'-0"



1 EAST (LEFT SIDE) ELEVATION FOR 44-46 PROSPECT
Scale 1/4" = 1'-0"



REVISION & REISSUE NOTES	
No.	Date Notes

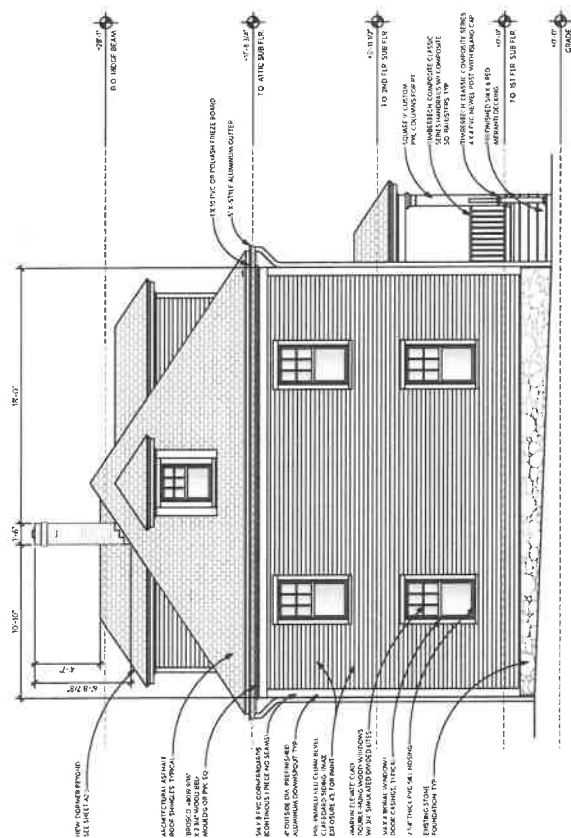
Project #	Project Manager	Date
2025-18	X.X.	7-07-25

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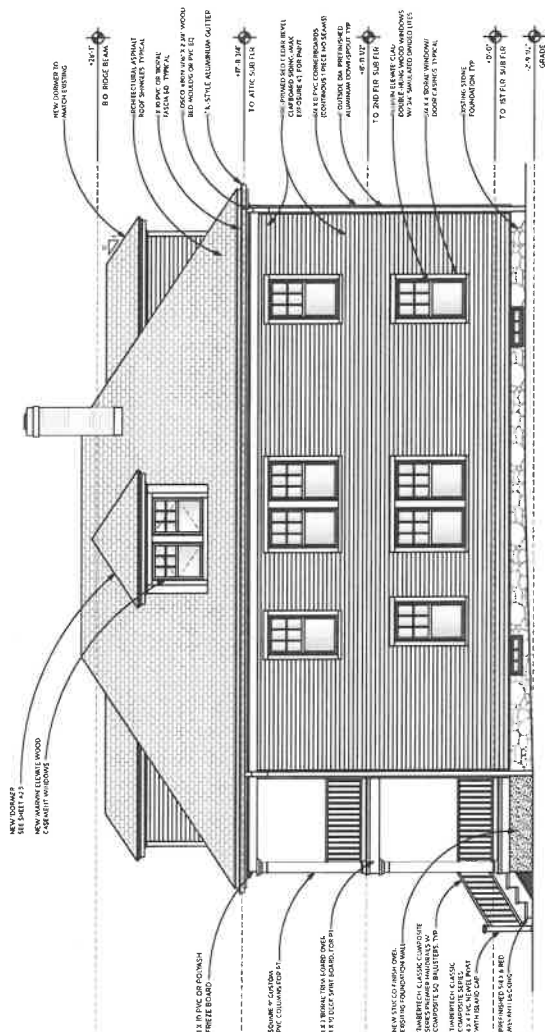
44-46 PROSPECT ELEVATIONS

A2.4

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2 SOUTH (REAR) ELEVATION FOR 44-46 PROSPECT
Scale: 1/4" = 1'-0"



1 WEST (RIGHT SIDE) ELEVATION FOR 44-46 PROSPECT
Scale: 1/4" = 1'-0"



SCOTT BROWN

BYD | ARCHITECTS | 1997

48 MARKET STREET

NEWBURYPORT, MA 01960

T 978.452.3035

WWW.SCOTTBROWNARCHITECT.COM

40-46 PROSPECT STREET

TO:

RENOVATIONS/ALTERATIONS

AMESBURY, MA 01913

Project #

2025-18

Project Manager

X.X.X.

Date

7-07-25

Scale

AS NOTED

PROPOSED DORMER DETAILS

A2.5

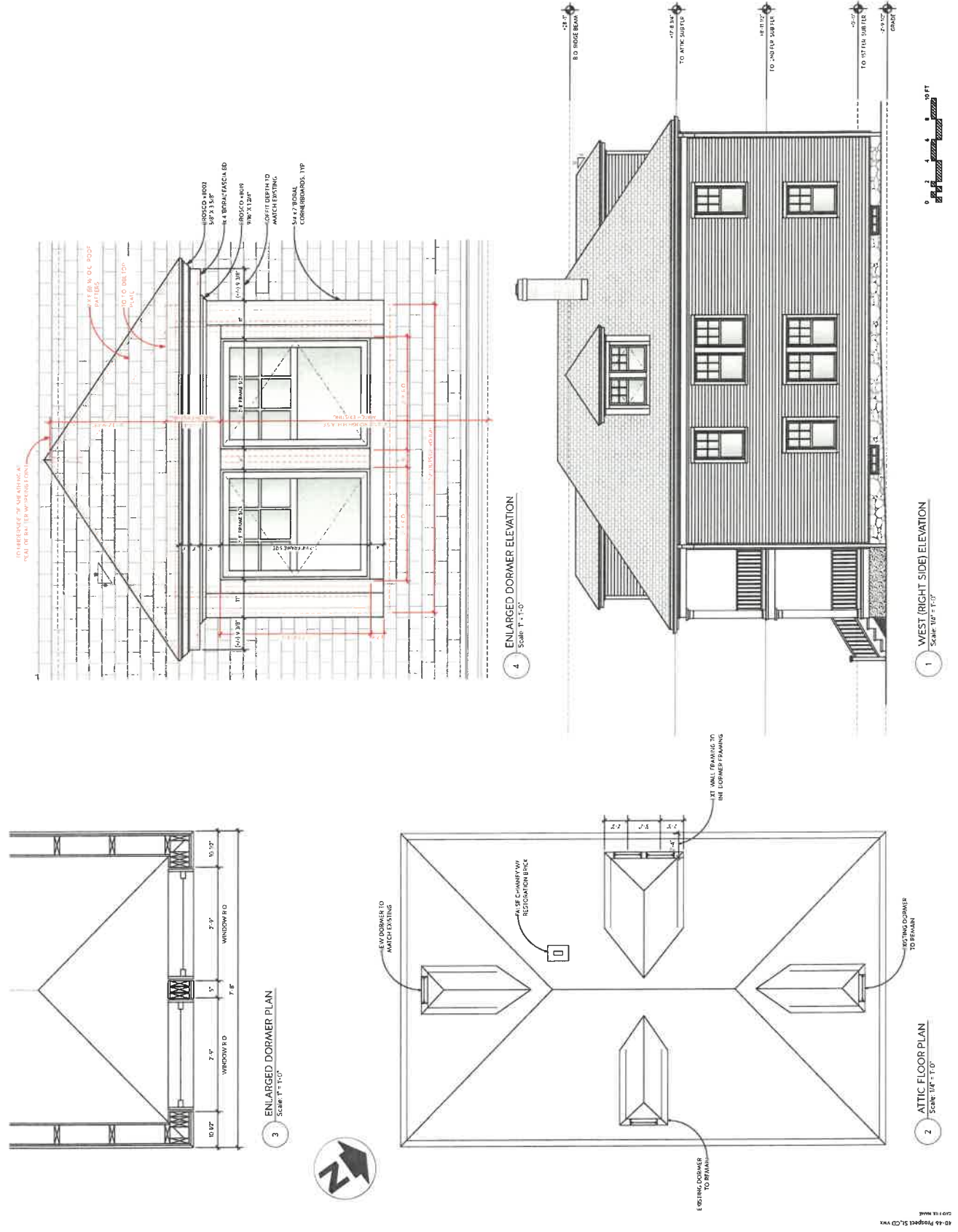
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REVISION & RESOLVE NOTES

Rev.

Date

Notes



2 VIEW FROM LEFT ELEVATION (EAST SIDE)
Scale: Actual Size



PROPOSED NEW RESIDENCE
38 PROSPECT STREET AMESBURY, MA 01913

38 PROSPECT STREET AMESBURY, MA 01913

REVISION & REISSUE NOTES	
No.	Date Notes

REVISION & REISSUE NOTES	
No.	Date Notes

Project #	Project Manager	Date
2025-18	X.X.	6-27-25

Project #	Project Manager
2025-18	X.X.

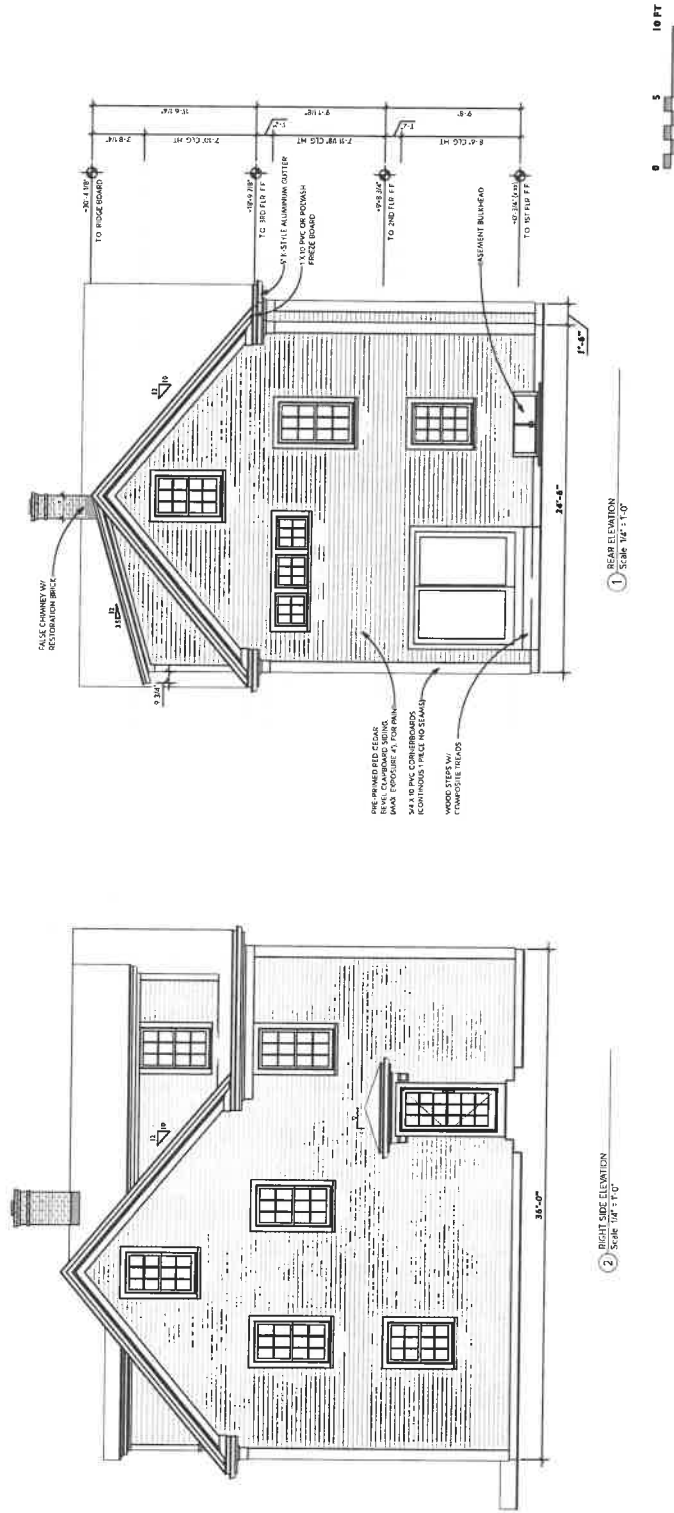
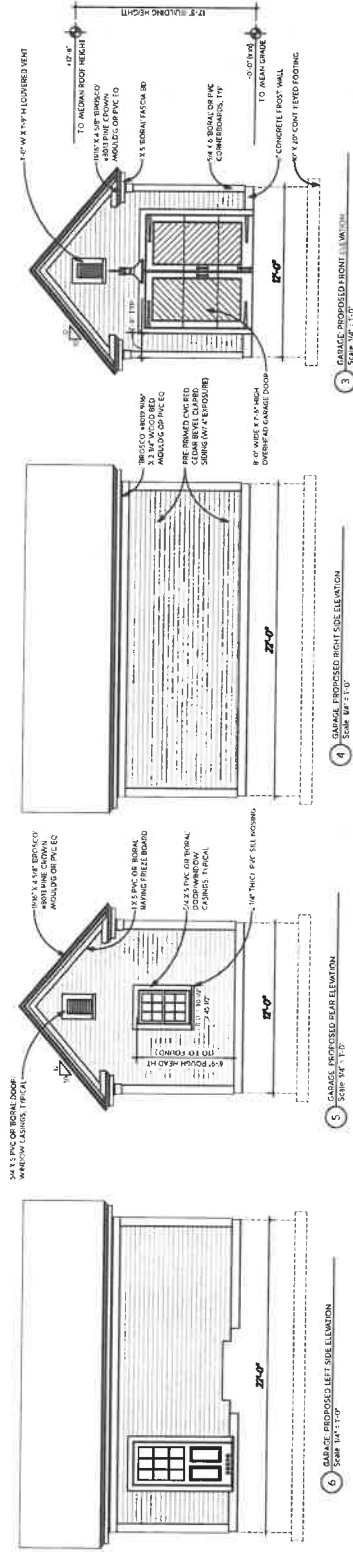
Project #	Project Manager	Date
2025-18	X.X.	6-27-25

Scale: AS NOTED

REAR/RIGHT SIDE &
GARAGE ELEVATIONS

A2.2

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PROPOSED NEW RESIDENCE
38 PROSPECT STREET AMESBURY, MA 01913

38 PROSPECT STREET AMESBURY, MA 01913

Rev.	Date	Notes
REVISION & REISSUE NOTES		

Revision &	Date	Notes
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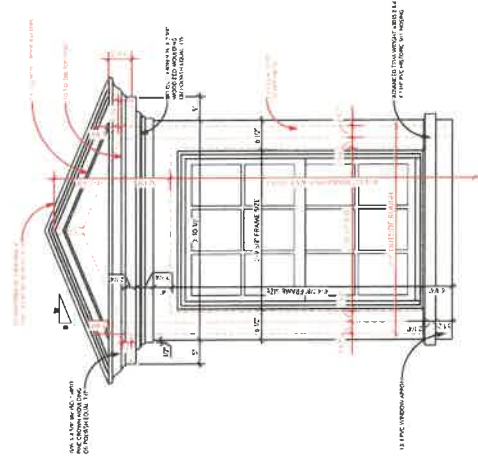
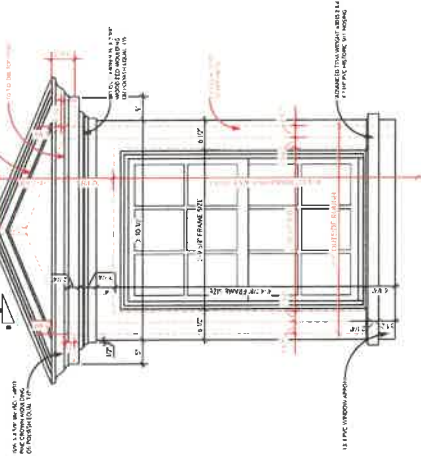
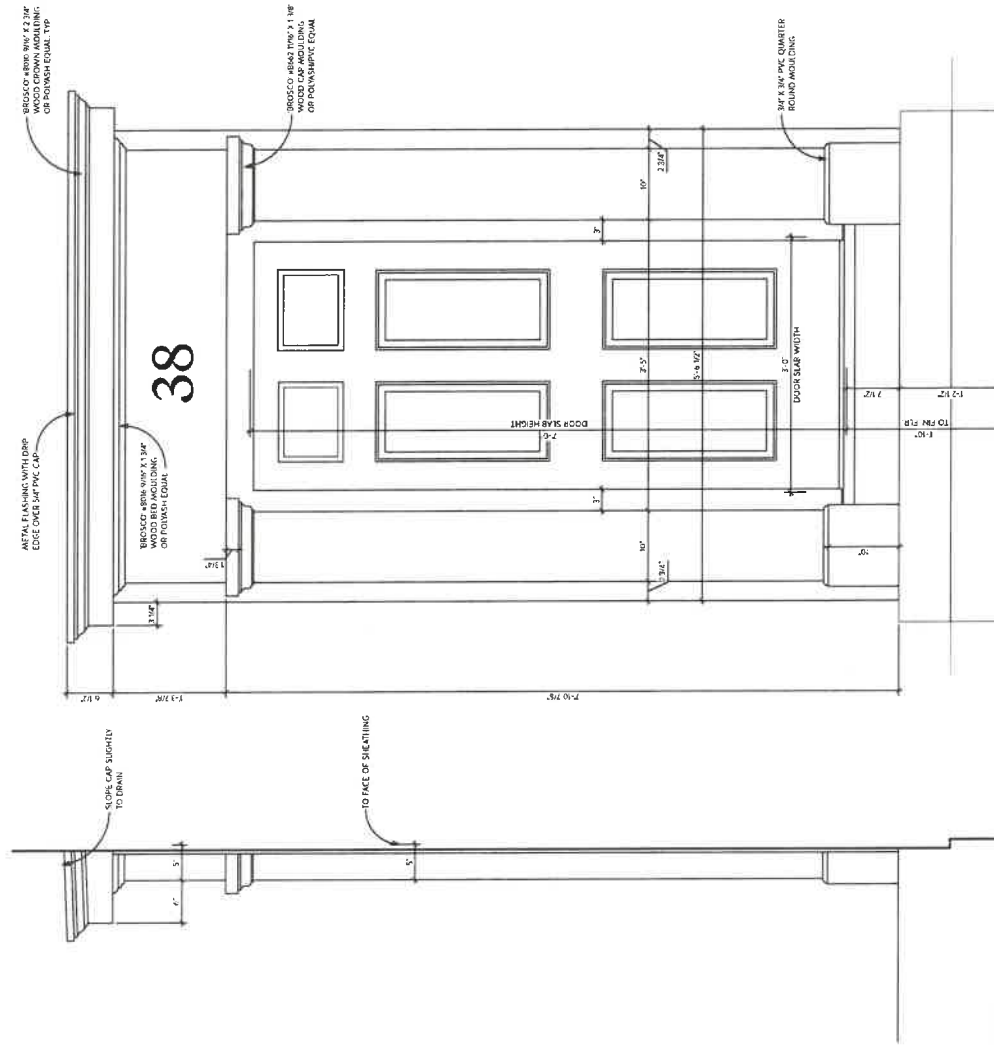
Project #	Project Manager	Date
2025-18	X.X.	6-27-25

Scale: AS NOTED

ELEVATION DETAILS

A2.3

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PLANT MATERIAL SCHEDULE

EXISTING TREES	SIZE	NOTES	QTY
SHADE TREES	24" - 30" DBH	25' - 35' CM	Zone 2 - 18
ORNAMENTAL TREES	24" - 30" DBH	25' - 35' CM	Zone 2 - 18
CONIFER TREES	24" - 30" DBH	25' - 35' CM	Zone 2 - 18
DECIDUOUS SHRUBS	24" - 30" DBH	25' - 35' CM	Zone 2 - 18
EVERGREEN SHRUBS	24" - 30" DBH	25' - 35' CM	Zone 2 - 18
PERENNIAL / ANNUALS	24" - 30" DBH	25' - 35' CM	Zone 2 - 18
GRASS	24" - 30" DBH	25' - 35' CM	Zone 2 - 18
GROUNDCOVERS	24" - 30" DBH	25' - 35' CM	Zone 2 - 18
LANDSCAPE MATERIALS	24" - 30" DBH	25' - 35' CM	Zone 2 - 18

NOTES:
1. All plant materials shall be installed in accordance with the American Standard for Nursery Stock, ANSI Z60.1.
2. No permanent irrigation system is proposed.

RESIDENCES
AT
38-40 PROSPECT STREET
AMESBURG, MA 01923

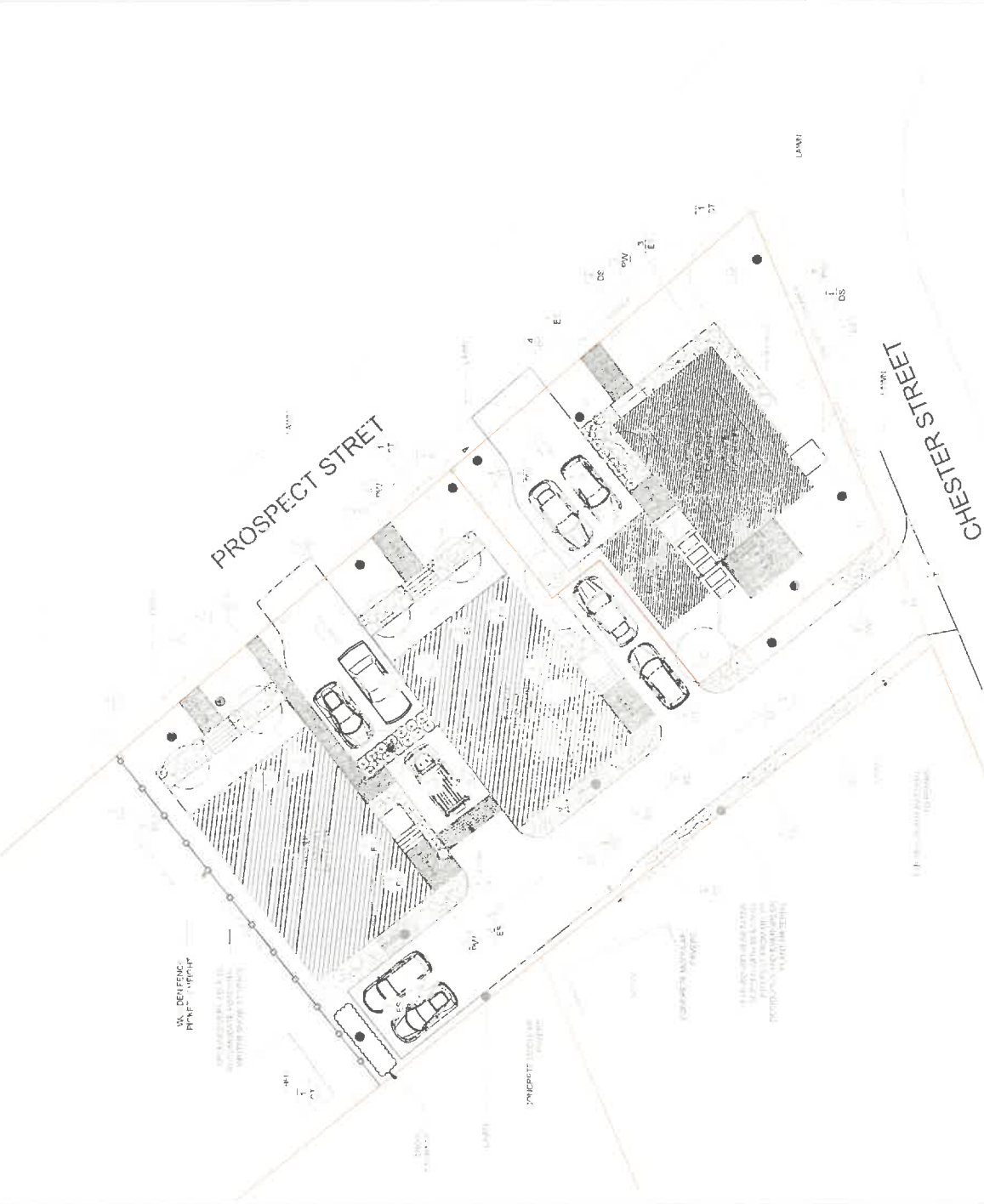
REVISION & RESOLVE NOTES

Project #
Project Manager
Date
2025-07-22

Scale 1" = 10' - 0"

CONCEPTUAL
PLANTING
PLAN

L0.0



FORM B – BUILDING

MASSACHUSETTS HISTORICAL COMMISSION
MASSACHUSETTS ARCHIVES BUILDING
220 MORRISSEY BOULEVARD
BOSTON, MASSACHUSETTS 02125

Photograph



Locus Map (north at top)



Recorded by: Lisa Mausolf

Organization: Preservation Consultant

Date (month / year): May 2025

Assessor's Number USGS Quad Area(s) Form Number

40-83

Newburyport
West

J

AME.544

Town/City: Amesbury

Place: (neighborhood or village):

Address: 40-42 Prospect Street

Historic Name: Thomas Watkins Duplex

Uses: Present: two family dwelling

Original: two family dwelling

Date of Construction: 1921-1922

Source: Amesbury Daily News

Style/Form: No style

Architect/Builder: Thomas Watkins, contractor

Exterior Material:

Foundation: Rubble

Wall/Trim: Wood Clapboard, Vinyl Siding/wood, vinyl

Roof: Asphalt Shingle

Outbuildings/Secondary Structures:
none

Major Alterations (with dates):

Ca. 2010 – vinyl siding

2025 – extensive renovations underway

Condition: fair

Moved: no ☒ yes **Date:**

Acreage: 0.184 acre

Setting: mixed residential neighborhood

INVENTORY FORM B CONTINUATION SHEET

AMESBURY

40-42 PROSPECT ST.

MASSACHUSETTS HISTORICAL COMMISSION

220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

Area(s) Form No.

J

AME.544

Recommended for listing in the National Register of Historic Places.

If checked, you must attach a completed National Register Criteria Statement form.

ARCHITECTURAL DESCRIPTION:

Describe architectural features. Evaluate the characteristics of this building in terms of other buildings within the community.

The building at 40-42 Prospect Street is a two-story, hip-roofed duplex constructed by a local contractor in the early 1920s and currently (1925) undergoing extensive renovation. It is set on a mortared stone foundation and is sheathed in a combination of wood clapboards and vinyl siding (the vinyl is being removed exposing clapboards underneath). The building is capped by an asphalt-shingled hip roof with eaves that overhang slightly and a hip-roofed dormer rising from the front and south roof slopes. The entire façade is fronted by a two-story recessed porch which is currently being reconstructed. It is supported by raw wooden posts and there is currently no balustrade and the flooring on the first floor has been removed leaving a poured concrete foundation. The entries to both the lower and upper units are located under the recessed porch and contain original glass-and-panel wooden doors and a door of the same configuration also accesses the upper porch. With the exception of a six light upper sash in the south dormer, all of the windows have been removed. Recent photos indicate that the openings were filled with picture windows with diamond transoms and 6/1 sash.

A secondary entrance is located toward the rear of the south elevation. The modern fiberglass door has 3 x 3-lights and is sheltered by a square, hip roof supported by simple posts on slightly larger bases spanned on two sides by a stick balustrade with wooden steps descending toward the street.

The building at 44-46 Prospect Street is a simple example of an early 20th century two-family building designed with a housing unit on each floor. In this case, the building lacks detailing linking it to a specific architectural style. A better preserved example is visible at 101-103 Friend Street in Amesbury (see continuation sheet 5).

HISTORICAL NARRATIVE

Discuss the history of the building. Explain its associations with local (or state) history. Include uses of the building, and the role(s) the owners/occupants played within the community.

This two-family building and the adjacent structure at 44-46 Prospect Street were constructed as income producing properties by local contractor Thomas Watkins (1881-1970) in 1921-1922. Thomas' wife, the former Florence Gandy, had bought the land containing 29 and 4 tenths square rods in April 1907, months before the couple married on December 11, 1907. She purchased the land from Harriet E. Cushing et al who had inherited the land from Mrs. Josiah Gale of Amesbury (Essex County Reg. of Deeds Book 1873, Page 509). The land was previously owned by Jacob Morrill.

The September 1918 Sanborn map indicates that at that time the land was still unbuilt upon. In September 1921 Thomas Watkins began the process of taking down the former Charles W. Long carriage factory next to the railroad passenger station (*Amesbury Daily News*, Sept. 3 & 8, 1921). According to the newspaper Watkins moved the lumber to the vacant lot at the corner of Prospect and Chester Streets where he "contemplates the erection of a large new home" (*Amesbury Daily News*, Sept. 16, 1921, p. 2). Watkins' plans apparently soon changed in favor of the construction of two buildings. Two months later the paper reported that "Thomas Watkins has got his second house on Prospect Street well along. The frame is up and boarded all ready for the rafters for the roof" (*Amesbury Daily News*, Nov. 22, 1921). By the following April the two new houses were nearly complete and "were rented shortly after building operations were begun and will be occupied immediately on completion" (*Amesbury Daily News*, April 4, 1922).

The Prospect Street duplexes were not Watkins' only rental properties. In 1919 he purchased the schoolhouse at the corner of Albion and Colchester Streets from the town and converted it into four tenements (*Amesbury Daily News*, Sept. 12, 1919). After their marriage Thomas and Florence Gandy were living in a house at 41 Powow Street, corner of Lake Street, and they continued to live there for the rest of their lives; the house is still owned and occupied by the family today. In addition to working as a general contractor, Watkins was also a road builder for more than 50 years, served two-terms as highway superintendent in

Continuation sheet 1

INVENTORY FORM B CONTINUATION SHEET

AMESBURY

40-42 PROSPECT ST.

MASSACHUSETTS HISTORICAL COMMISSION

220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

Area(s) Form No.

J

AME.544

the early 1920s, was a member of the Amesbury town finance committee and a 60-year member of the Amesbury Grange (*Boston Globe*, August 10, 1970, p. 22). Florence Watkins died in 1980. The Prospect Street duplexes remained in the Watkins family until 2012 when they were sold by granddaughter Emily Thomas Smedstad (Essex County Book 2854, Page 178).

At the time of the 1930 Census 40 Prospect Street was occupied by 41-year old Arthur Kimball who worked as a plant engineer at an automobile factory (occupation is listed as carpenter in the 1930 directory) and lived here with his wife Ethel, 22-year old son Clifford who worked as a woodworker at a boat shop, two younger children, and his mother. The family paid \$35/month in rent. The Kimballs were still living here at the time of the 1940 Census. In 1930 the unit at 42 Prospect Street was rented to 26 year old Walter Frickenworth who worked as a laundry superintendent and lived here with his wife, sister and niece. Herbert Stinson, a foreman at the laundry was living at 42 Prospect in 1940 and was still there in 1946. John Heatherman, chief of police in Amesbury was living at #42 in 1950 with his wife and son. The tenants at #40 Prospect in 1950 were James MacLean, his wife and three daughters. In 1959 #40 was occupied by Lewis & Beverly Megathlin. He worked as a clerk at the Massachusetts Port Authority. That year B. Arthur Roberts and his wife Mary were living at #42.

BIBLIOGRAPHY and/or REFERENCES

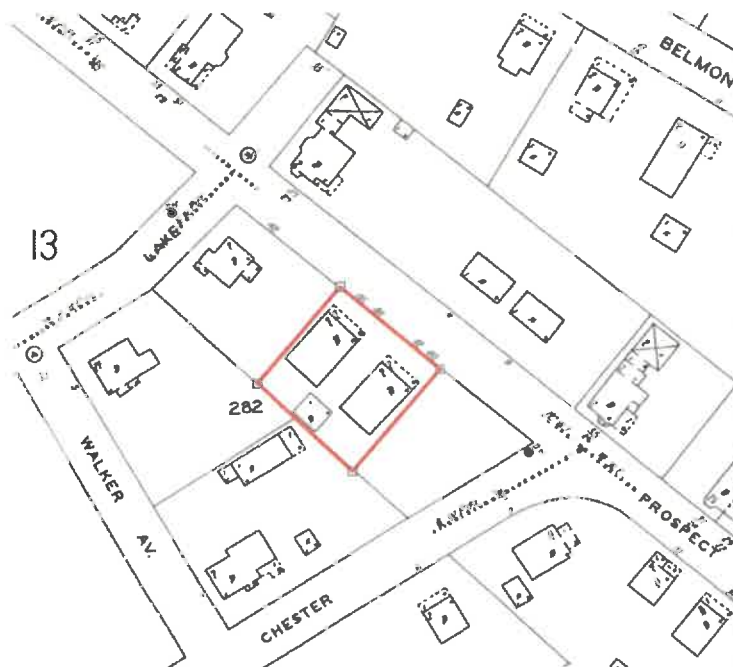
Amesbury Daily News, various dates.

Ancestry.com (U.S. Census, directories, etc.)

Boston Globe, August 10, 1970, p. 22 [obituary of Thomas W. Watkins]

Essex County Registry of Deeds, Beverly, MA

Sanborn Insurance Maps, Amesbury, 1918, 1930.



Sanborn Insurance Maps, Amesbury, 1930.

INVENTORY FORM B CONTINUATION SHEET

AMESBURY

40-42 PROSPECT ST.

MASSACHUSETTS HISTORICAL COMMISSION
220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

Area(s) Form No.

J

AME.544



Source: Googlemaps Oct. 2024 (prior to current construction)

INVENTORY FORM B CONTINUATION SHEET

AMESBURY

40-42 PROSPECT ST.

MASSACHUSETTS HISTORICAL COMMISSION
220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

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INVENTORY FORM B CONTINUATION SHEET

AMESBURY

40-42 PROSPECT ST.

MASSACHUSETTS HISTORICAL COMMISSION
220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

Area(s) Form No.

J	AME.544
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Comparable two-family example – 101-103 Friend Street

FORM B – BUILDING

MASSACHUSETTS HISTORICAL COMMISSION
MASSACHUSETTS ARCHIVES BUILDING
220 MORRISSEY BOULEVARD
BOSTON, MASSACHUSETTS 02125

Photograph



Locus Map (north at top)



INVENTORY FORM B CONTINUATION SHEET

AMESBURY

44-46 PROSPECT ST.

MASSACHUSETTS HISTORICAL COMMISSION

220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

Area(s) Form No.

J

AME.545

Recommended for listing in the National Register of Historic Places.

If checked, you must attach a completed National Register Criteria Statement form.

ARCHITECTURAL DESCRIPTION:

Describe architectural features. Evaluate the characteristics of this building in terms of other buildings within the community.

The building at 44-46 Prospect Street is a two-story, hip-roofed duplex constructed by a local contractor in the early 1920s and currently (1925) undergoing extensive renovation. It is set on a mortared stone foundation and is sheathed in a combination of wood clapboards and vinyl siding (the vinyl is being removed exposing clapboards underneath). The building is capped by an asphalt-shingled hip roof with eaves that overhang slightly and a hip-roofed dormer rising from the front slope. The entire façade is fronted by a two-story recessed porch supported by plain wooden posts spanned by a simple spindle balustrade. The original balustrade later saw the addition of an additional top railing for safety. The entries to both the lower and upper units are located under the recessed porch and contain original glass-and-panel wooden doors. The floor of the first floor porch has been removed. The upper unit has a single glass-and-panel door accessing the upper porch. Windows on the façade are slightly larger than on the rest of the building and consist of fixed glass with diamond transoms.

An additional entrance is located toward the rear of the south elevation. The modern fiberglass door has 3 x 3-lights and is sheltered by a square, hip roof supported by simple posts on slightly larger bases spanned on two sides by a stick balustrade with wooden steps descending toward the street. Windows on the lesser elevations consist primarily of double-hung 6/1 windows, individual and in pairs, fitted with storm windows and in some cases flanked by shutters. There are also two small hinged units on the rear elevation.

The building at 44-46 Prospect Street is a simple example of an early 20th century two-family building designed with a housing unit on each floor. In this case, the building lacks detailing linking it to a specific architectural style. A better preserved example is visible at 101-103 Friend Street in Amesbury (see continuation sheet 5).

HISTORICAL NARRATIVE

Discuss the history of the building. Explain its associations with local (or state) history. Include uses of the building, and the role(s) the owners/occupants played within the community.

This two-family building and the adjacent structure at 40-42 Prospect Street were constructed as income producing properties by local contractor Thomas Watkins (1881-1970) in 1921-1922. Thomas' wife, the former Florence Gandy, had bought the land containing 29 and 4 tenths square rods in April 1907, months before the couple married on December 11, 1907. She purchased the land from Harriet E. Cushing et al who had inherited the land from Mrs. Josiah Gale of Amesbury (Essex County Reg. of Deeds Book 1873, Page 509). The land was previously owned by Jacob Morrill.

The September 1918 Sanborn map indicates that at that time the land was still unbuilt upon. In September 1921 Thomas Watkins began the process of taking down the former Charles W. Long carriage factory next to the railroad passenger station (*Amesbury Daily News*, Sept. 3 & 8, 1921). According to the newspaper Watkins moved the lumber to the vacant lot at the corner of Prospect and Chester Streets where he "contemplates the erection of a large new home" (*Amesbury Daily News*, Sept. 16, 1921, p. 2). Watkins' plans apparently soon changed in favor of the construction of two buildings. Two months later the paper reported that "Thomas Watkins has got his second house on Prospect Street well along. The frame is up and boarded all ready for the rafters for the roof" (*Amesbury Daily News*, Nov. 22, 1921). By the following April the two new houses were nearly complete and "were rented shortly after building operations were begun and will be occupied immediately on completion" (*Amesbury Daily News*, April 4, 1922).

The Prospect Street duplexes were not Watkins' only rental properties. In 1919 he purchased the schoolhouse at the corner of Albion and Colchester Streets from the town and converted it into four tenements (*Amesbury Daily News*, Sept. 12, 1919). After their marriage Thomas and Florence Gandy were living in a house at 41 Powow Street, corner of Lake Street, and they continued to live there for the rest of their lives; the house is still owned and occupied by the family today. In addition to working

Continuation sheet 1

INVENTORY FORM B CONTINUATION SHEET

AMESBURY

44-46 PROSPECT ST.

MASSACHUSETTS HISTORICAL COMMISSION

220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

Area(s) Form No.

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AME.545

as a general contractor, Watkins was also a road builder for more than 50 years, served two-terms as highway superintendent in the early 1920s, was a member of the Amesbury town finance committee and a 60-year member of the Amesbury Grange (*Boston Globe*, August 10, 1970, p. 22). Florence Watkins died in 1980. The Prospect Street duplexes remained in the Watkins family until 2012 when they were sold by granddaughter Emily Thomas Smedstad (Essex County Book 2854, Page 178).

At the time of the 1930 Census 44 Prospect Street was occupied by 50-year old William Bannon, his younger brother George, their older sister Nellie and her husband George Bell. All three men worked as auto workers and the rent for the apartment was \$35/month in 1930. The unit at 46 Prospect was occupied by Edwin Creasey, his wife and three children. The Creaseys were living here in 1927. He was the proprietor of an electric store and the family paid \$28 in rent in 1930. By 1936 Laura Heroux, a French Canadian widow was living at 44 Prospect with her two grown daughters, one of who worked as a clerk in a hat factory and the other was a hairdresser. Mrs. Heroux occupied the unit for at least twenty years. The apartment at 46 Prospect Street was rented to Benjamin and Mary Freeman from about 1942 until at least 1957. He worked as a foreman at the Bailey Company. In 1959 Leonard & Arline Shute were living at 44 Prospect and Stephen Fogg, Jr. and his wife Mary were at #46.

BIBLIOGRAPHY and/or REFERENCES

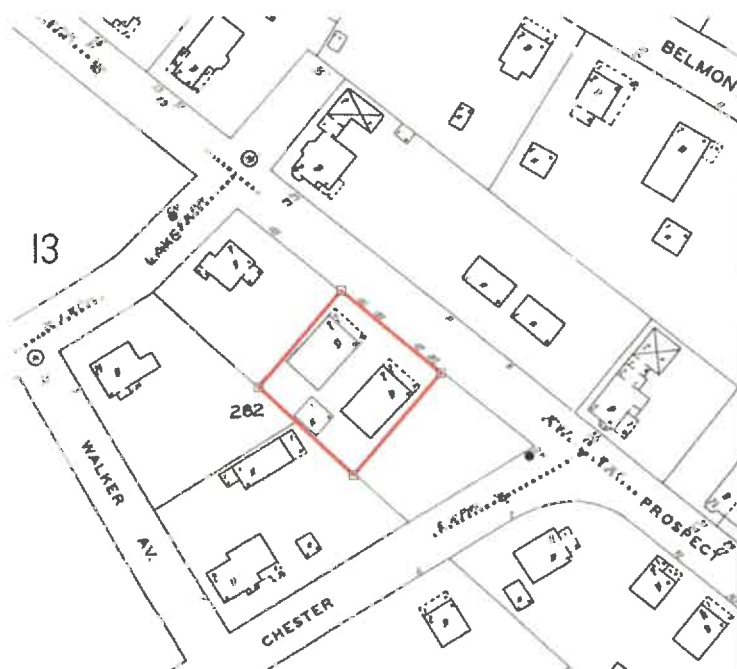
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INVENTORY FORM B CONTINUATION SHEET

AMESBURY

44-46 PROSPECT ST.

MASSACHUSETTS HISTORICAL COMMISSION
220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

Area(s) Form No.

J

AME.545



Source: Googlemaps Oct. 2024 (prior to current construction)

INVENTORY FORM B CONTINUATION SHEET

AMESBURY

44-46 PROSPECT ST.

MASSACHUSETTS HISTORICAL COMMISSION
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INVENTORY FORM B CONTINUATION SHEET

AMESBURY

44-46 PROSPECT ST.

MASSACHUSETTS HISTORICAL COMMISSION
220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

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AME.545



Comparable two-family example – 101-103 Friend Street

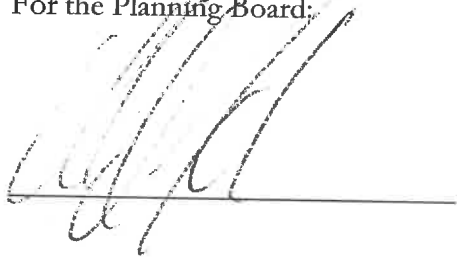
TO:

40 Prospect Street Development LLC
Geno Ranaldi
21 Low Street, Newburyport MA

PLANNING BOARD VOTE:

On 09/08/2025 the Amesbury Planning Board voted to approve the application for Site Plan Review (under Section XI.C) and a Historic Preservation Special Permit residential redevelopment under Section XI.J2 at 38-40 Prospect Street in Amesbury MA - subject to the findings and conditions noted in this Decision.

For the Planning Board:



Filed with the City Clerk on September 29, 2025



City Clerk

A Building Permit is required for any construction or remodeling. It is your responsibility to file this Special Permit Decision with the Registry of Deeds and to record the plans after endorsement; forms may be obtained from the City Clerk's Office.

Any appeal shall be made pursuant to Mass. General Laws, Section 17, Chapter 40A, and shall be filed within twenty (20) days after the date of filing of such notice in the City Clerk's Office.