

SHEET LIST TABLE		
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ZONE: COMMERCIAL

CATEGORY	REQUIRED/ALLOWED	PROVIDE/PROPOSED
MINIMUM LOT AREA	20,000 s.f.	80,867 s.f.
MINIMUM LOT FRONTAGE	100 ft.	592.13 ft.
MINIMUM FRONT SETBACK	20 ft. *	10 ft.
MINIMUM SIDE SETBACK	15 ft.	7 ft.
MINIMUM REAR SETBACK	40 ft.	7 ft.
MAXIMUM BUILDING AREA	40%	30.3% (24,469 s.f./80,867 s.f. = 30.3%)
MINIMUM OPEN SPACE	30% **	28.6% (23,092 s.f./80,867s.f. = 28.6%)
MAXIMUM BUILDING HEIGHT	40 ft.	40 ft.
MAXIMUM BUILDING STORIES	4	4

* (2011–030) IN THE COMMERCIAL DISTRICT, THE FRONT–YARD SETBACK SHALL BE REDUCED TO FIVE (5) FEET IN INSTANCES WHERE A DEVELOPMENT INCLUDES A MIXED–USE BUILDING(S) OR INTEGRATES MULTIPLE PRINCIPLE STRUCTURES USING SHARED DRIVEWAYS, PARKING AND DRAINAGE FACILITIES.

** (2011–030) IN THE COMMERCIAL DISTRICT, THE MINIMUM OPEN SPACE SHALL BE REDUCED TO 15% IN INSTANCES WHERE A DEVELOPMENT INCLUDES: 1) ENHANCED PUBLIC, ON–SITE PEDESTRIAN USE AREAS SUCH AS BRICK PLAZAS, WALKWAYS, STREET FURNITURE (I.E. PERIOD LIGHTING, TRASH RECEPTACLES, BENCHES) AND SEATING AREAS, AND 2) A MIXED–USE BUILDING(S) OR MULTIPLE PRINCIPLE STRUCTURES USING SHARED DRIVEWAYS, PARKING AND DRAINAGE FACILITIES.

TABLE OF OFF–STREET PARKING (SECTION VIII)

DWELLING OR APARTMENT HOUSE	REQUIREMENT: 1.5 SPACES/DWELLING OR APARTMENT UNIT
REQUIRED	68 x 1.5 = 102 SPACES
PROVIDED	78 (1.15 PER UNIT)

SERVICE/DELIVERY: 2
COMPACT: 2
ACCESSIBLE: 4 (4 PER 76 – 100 SPACES)

PROJECT NOTES

- DATUM: ALL ELEVATIONS SHOWN ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88).
- SURVEY INFORMATION: TOPOGRAPHIC INFORMATION AND EXISTING UTILITIES SHOWN ARE BASED ON AN ACTUAL FIELD INSTRUMENT SURVEY PERFORMED BY WILLIAMS & SPARAGES, LLC ON FEBRUARY 26, 2024, WITH ADDITIONAL UTILITY INFORMATION COMPILED FROM PLANS ON FILE WITH THE CITY OF AMESBURY AND UTILITY COMPANIES.
- UTILITY VERIFICATION: THE CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES IN THE FIELD PRIOR TO THE START OF CONSTRUCTION. ANY DISCREPANCIES BETWEEN EXISTING CONDITIONS AND THOSE SHOWN ON THE PLANS THAT MAY AFFECT THE PROPOSED WORK SHALL BE REPORTED IMMEDIATELY TO THE OWNER'S REPRESENTATIVE.
- UTILITY CONFLICTS: IF CONFLICTS ARISE BETWEEN EXISTING UTILITIES AND PROPOSED CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE IN WRITING FOR RESOLUTION PRIOR TO PROCEEDING.
- DIG SAFE: THE CONTRACTOR SHALL CONTACT DIG SAFE (411) PRIOR TO CONSTRUCTION AND MAINTAIN A VALID TICKET. DIG SAFE TICKETS ARE VALID FOR 30 DAYS FROM THE DATE OF ISSUE AND REMAIN VALID THEREAFTER PROVIDED MARKINGS ARE MAINTAINED AND WORK IS CONTINUOUS.
- WATER CONNECTION: PROPOSED WATER CONNECTION SIZE, TYPE, AND LOCATION SHALL BE DESIGNED IN ACCORDANCE WITH 24B CMR 10.00, UNIFORM STATE PLUMBING CODE.
- DRAINAGE PIPING: ALL PROPOSED DRAIN PIPES SHALL BE HDPE OR APPROVED EQUIVALENT, UNLESS OTHERWISE NOTED.
- DRAINAGE INSTALLATION: INSTALLATION OF DRAINAGE STRUCTURES, INCLUDING HDPE PIPING AND UNDERGROUND DETENTION SYSTEMS, SHALL STRICTLY FOLLOW MANUFACTURER REQUIREMENTS TO MEET AASHTO LOADING STANDARDS.
- WATER AND SEWER SEPARATION: WHERE FEASIBLE, SEWER LINES SHALL BE INSTALLED WITH A MINIMUM HORIZONTAL SEPARATION OF 10 FEET FROM WATER MAINS.

WHERE THIS SEPARATION CANNOT BE ACHIEVED, SEWER LINES SHALL BE INSTALLED IN A SEPARATE TRENCH WITH THE CROWN OF THE SEWER AT LEAST 18 INCHES BELOW THE INVERT OF THE WATER MAIN.

WHERE SEWERS CROSS BENEATH WATER MAINS, THE SAME VERTICAL SEPARATION SHALL BE MAINTAINED.

IF REQUIRED SEPARATIONS CANNOT BE ACHIEVED, BOTH THE SEWER AND WATER MAIN SHALL BE CONCRETE ENCASED FOR 10 FEET ON EACH SIDE OF THE CROSSING.
- WATER DEPARTMENT COORDINATION: THE APPLICANT SHALL COORDINATE WITH THE AMESBURY WATER DEPARTMENT TO CONFIRM ADEQUATE DOMESTIC AND FIRE FLOW AVAILABILITY PRIOR TO ISSUANCE OF A BUILDING PERMIT.
- EROSION CONTROL: ALL EXISTING AND PROPOSED CATCH BASINS SHALL BE FITTED WITH SILT SACKS OR APPROVED EQUAL DURING CONSTRUCTION AND REMOVED AFTER INSTALLATION OF THE FINAL PAVEMENT COURSE.
- ELECTRICAL UTILITIES: ALL PROPOSED ELECTRICAL CONNECTIONS SHALL BE INSTALLED UNDERGROUND.
- LIGHTING DESIGN: SITE LIGHTING SHALL BE DESIGNED BY A LIGHTING DESIGNER OR CERTIFIED LIGHTING DESIGNER (CLD), AS REQUIRED BY THE CITY OF AMESBURY.

AMESBURY COMMONS
68 UNIT RESIDENTIAL LAYOUT PLAN
230 MAIN STREET
AMESBURY, MA



LOCUS MAP
(NTS)

Owner/Applicant:
230 Main Street Amesbury, LLC
106 Main Street, Suite 6
Stoneham, MA 02180

PARCEL INFORMATION:
Address:

230 Main Street,
Assessors Map 77 lot 91
Assessors Map 65 lot 26

234 Main Street
Assessors map 77 lot 90

2 Macy Street
Assessors Map 77 lot 89

4 Rosedale Street
Assessors Map 77 lot 88



Owner/Applicant:
230 Main Street Amesbury, LLC
106 Main Street, Suite 6
Stoneham, MA 02180

Designed By: JST
Drawn By: JST
Reviewed By: PMB
Project Manager: PMB
Project File Number: AMES-0032
Drawing File Folder: AMES32

☒ Drawing Issued for Review
☐ Drawing Issued for Permit
☐ Drawing Issued for Construction

SEAL

LOCATION PLAN
AMESBURY COMMONS
230 MAIN STREET, AMESBURY, MA

DRAWING: C1.1

SHEET 1 OF 5

- REFER TO SURVEY SHEET FOR SURVEY LEGEND. ALL BIDDERS ARE REQUIRED TO INSPECT THE PROJECT SITE IN ITS ENTIRETY PRIOR TO SUBMITTING THEIR BID, AND BECOME FAMILIAR WITH ALL CONDITIONS AS THEY MAY AFFECT THEIR BID. CONTRACTOR AND SUB-CONTRACTOR SHALL BE FAMILIAR WITH ALL DRAWINGS AND SPECIFICATIONS PRIOR TO COMMENCING CONSTRUCTION.
- LOCATIONS OF ANY UTILITIES SHOWN ON THESE PLANS ARE APPROXIMATE ONLY. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF SUCH UTILITIES, PROTECTING ALL EXISTING UTILITIES AND REPAIRING ANY DAMAGE DONE DURING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ON-SITE COORDINATION WITH UTILITY COMPANIES AND PUBLIC AGENCIES AND FOR OBTAINING ALL REQUIRED PERMITS AND PAYING ALL REQUIRED FEES. IN ACCORDANCE WITH M.G.L. CHAPTER 82, SECTION 40, INCLUDING AMENDMENTS, CONTRACTORS SHALL NOTIFY ALL UTILITY COMPANIES AND GOVERNMENT AGENCIES IN WRITING PRIOR TO EXCAVATION.
- WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, THE LOCATION, ELEVATION AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR AND THE INFORMATION FURNISHED TO THE ENGINEER FOR RESOLUTION OF THE CONFLICT.
- THE CONTRACTOR SHALL MAKE ALL ARRANGEMENTS FOR THE ALTERATION AND ADJUSTMENT OF GAS, ELECTRIC, TELEPHONE AND ANY OTHER PRIVATE UTILITIES BY THE UTILITY OWNER AT NO ADDITIONAL COST TO THE OWNER.
- CONTRACTOR SHALL BE RESPONSIBLE FOR REVIEWING ALL DRAWINGS AND SPECIFICATIONS TO DETERMINE THE EXTENT OF EXCAVATION AND DEMOLITION REQUIRED TO RECEIVE SITE IMPROVEMENTS.
- ANY DISCREPANCIES OR CONFLICTS BETWEEN THE DRAWINGS AND THE EXISTING CONDITION, THE EXISTING CONDITION TO REMAIN, TEMPORARY CONSTRUCTION, PERMANENT CONSTRUCTION AND WORK OF ADJACENT CONTRACTS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER BEFORE PROCEEDING. ITEMS ENCOUNTERED IN AREAS OF EXCAVATION THAT ARE NOT INDICATED ON THE DRAWINGS, BUT ARE VISIBLE ON SURFACE, SHALL BE THE CONTRACTOR'S RESPONSIBILITY AND SHALL BE REMOVED AT NO ADDITIONAL COST TO THE OWNER.
- ANY ALTERATIONS TO THESE DRAWINGS MADE IN THE FIELD DURING CONSTRUCTION SHALL BE RECORDED BY THE GENERAL CONTRACTOR ON "AS-BUILT" DRAWINGS.
- ALL AREAS DISTURBED BY THE CONTRACTOR'S OPERATIONS OUTSIDE THE PROJECT LIMITS, SHALL BE RESTORED TO THE ORIGINAL CONDITION BY THE CONTRACTOR AT NO ADDITIONAL COST AND TO THE SATISFACTION OF THE OWNER.
- ALL WORK SHOWN ON THE PLANS AS BOLD SHALL REPRESENT PROPOSED WORK. THE TERM "PROPOSED (PROP)" INDICATES WORK TO BE CONSTRUCTED USING NEW MATERIALS OR, WHERE APPLICABLE, RE-USING EXISTING MATERIALS IDENTIFIED AS "REMOVE AND RESET (R&R)", OR REMOVE, RELOCATE, RESET, (R,R&R).
- ALL KNOWN EXISTING STATE, COUNTY AND TOWN LOCATION LINES AND PRIVATE PROPERTY LINES HAVE BEEN ESTABLISHED FROM AVAILABLE INFORMATION AND ARE INDICATED ON THE PLANS.
- THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT HIS EMPLOYEES, AS WELL AS PUBLIC USERS FROM INJURY DURING THE ENTIRE CONSTRUCTION PERIOD USING ALL NECESSARY SAFEGUARDS, INCLUDING BUT NOT LIMITED TO, THE ERECTION OF TEMPORARY WALKS, STRUCTURES, PROTECTIVE BARRIERS, COVERING, OR FENCES AS NEEDED.
- THE CONTRACTOR SHALL SUPPLY THE OWNER WITH THE NAME OF THE OSHA "COMPETENT PERSON" PRIOR TO CONSTRUCTION.
- FILLING OF EXCAVATED AREAS SHALL NOT TAKE PLACE WITHOUT THE PRESENCE OR PERMISSION OF THE OWNER.
- EXISTING TREES TO REMAIN SHALL BE PROTECTED FROM CONSTRUCTION ACTIVITIES. NO STOCKPILING OF MATERIAL, EQUIPMENT OR VEHICULAR TRAFFIC SHALL BE ALLOWED WITHIN THE DRIP LINE OF TREES TO REMAIN. NO CUTS SHALL BE ATTACHED TO ANY TREE TO REMAIN. WHEN NECESSARY OR AS DIRECTED BY THE ENGINEER, THE CONTRACTOR SHALL ERECT TEMPORARY BARRIERS FOR THE PROTECTION OF EXISTING TREES DURING CONSTRUCTION.
- TREES AND SHRUBS WITHIN THE LIMITS OF WORK SHALL BE REMOVED ONLY UPON THE APPROVAL OF THE ENGINEER OR AS NOTED ON THE PLANS.
- THE CONTRACTOR SHALL CALL DISEASE AT 1-888-344-7233 AT LEAST 72 HOURS, SATURDAYS, AND HOLIDAYS EXCLUDED, PRIOR TO EXCAVATING AT ANY LOCATION. A COPY OF THE DISEASE PROJECT REFERENCE NUMBERS) SHALL BE GIVEN TO THE OWNER PRIOR TO EXCAVATION.
- NO FILLING SHALL OCCUR AROUND EXISTING TREES TO REMAIN WITHOUT THE APPROVAL OF THE OWNER OR OWNER REPRESENTATIVE.
- THE CONTRACTOR SHALL REMOVE ALL SURFACE VEGETATION PRIOR TO GRADING THE SITE. STUMPS SHALL BE STOCKPILED ON SITE FOR DISPOSAL BY THE GC. TEMPORARY EROSION CONTROL MEASURES SHOWN ON THE DRAWINGS (INCLUDING SILT FENCE, STRAW WATTLES, OR SILT SOCKS) SHALL BE INSTALLED BY THE CONTRACTOR UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THESE TEMPORARY EROSION CONTROL MEASURES THROUGHOUT THE PROJECT WHICH COST SHALL BE INCIDENTAL TO THE PROJECT.
- ALL UNSUITABLE UNCONTAMINATED EXCESS SOIL FROM CONSTRUCTION ACTIVITIES SHALL BE REMOVED AND DISPOSED OF AS DIRECTED BY THE OWNER. AT NO ADDITIONAL COST TO THE OWNER. REMOVAL ACTIVITIES SHALL BE IN ACCORDANCE WITH STATE AND LOCAL REGULATIONS AT NO ADDITIONAL COST TO THE OWNER. SUITABLE SOIL EXCAVATION AS PART OF THE PROJECT MUST MEET ONE OR MORE OF THE MATERIAL REQUIREMENTS SPECIFIED IN THE GEOTECHNICAL REPORT. ON-SITE FILL MATERIALS, WHICH DO NOT CONFORM TO THE GEOTECHNICAL REPORT, SHALL NOT BE USED BELOW ANY STRUCTURES. IF THE CONTRACTOR PROPOSES TO USE THE EXISTING FILL ON SITE BELOW PAVEMENT AREAS, HE MUST DEMONSTRATE THAT THE FILL MEETS THE REQUIREMENTS OF THE GEOTECHNICAL REPORT. ALL EXCAVATED FILL MATERIAL WHICH DOES NOT MEET THE REQUIREMENTS OF THE CONTRACT DOCUMENTS SHALL BE REMOVED AND DISPOSED OF OFF-SITE AT NO ADDITIONAL COST.
- CONTRACTOR IS RESPONSIBLE FOR STAKING CONSTRUCTION BASELINES IN FIELD. NO CONSTRUCTION WILL BE PERFORMED WITHOUT THE PROPOSED BASELINES AND LAYOUTS APPROVED BY THE ENGINEER.
- NO FILL SHALL CONTAIN HAZARDOUS MATERIALS.
- CONTRACTOR SHALL PROVIDE TEMPORARY FENCING AROUND PER METER OF WORK AREA (LIMIT OF WORK). FENCE SHALL NOT IMPEDE TRAVEL WAYS.
- ANY QUANTITIES SHOWN ON PLANS ARE FOR COMPARATIVE BIDDING PURPOSES ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VISIT THE PROJECT SITE TO VERIFY ALL QUANTITIES AND CONDITIONS PRIOR TO SUBMITTING BID.
- ALL EXISTING DRAINAGE FACILITIES TO REMAIN SHALL BE MAINTAINED FREE OF DEBRIS, SOIL, SEDIMENT, AND FOREIGN MATERIAL AND OPERATIONAL THROUGHOUT THE LIFE OF THE CONTRACT. REMOVE ALL SOIL, SEDIMENT, DEBRIS AND FOREIGN MATERIAL FROM ALL DRAINAGE STRUCTURES, INCLUDING BUT NOT LIMITED TO, DRAINAGE INLETS, MANHOLES AND CATCH BASINS WITHIN THE LIMIT OF WORK AND DRAINAGE STRUCTURES OUTSIDE THE LIMIT OF WORK THAT ARE IMPACTED BY THE WORK FOR THE ENTIRE DURATION OF CONSTRUCTION.
- CONTRACTOR'S STAGING AREA MUST BE WITHIN THE CONTRACT LIMIT LINE AND IN AREAS APPROVED BY OWNER. ANY OTHER AREAS THAT THE CONTRACTOR MAY WISH TO USE FOR STAGING MUST BE COORDINATED WITH THE OWNER.
- THE CONTRACTOR SHALL KEEP ALL STREETS, PARKING LOTS AND WALKS THAT ARE NOT RESTRICTED FROM PUBLIC USE DURING CONSTRUCTION BROOM CLEAN AT ALL TIMES. THE CONTRACTOR SHALL USE ACCEPTABLE METHODS AND MATERIALS TO MAINTAIN ADEQUATE DUST CONTROL THROUGHOUT CONSTRUCTION.
- CONTRACTOR SHALL COORDINATE ALL WORK WITH THE OWNER.
- CONTRACTOR SHALL Dewater AS NECESSARY TO PERFORM THE PROPOSED WORK. CONTRACTOR SHALL BE AWARE OF PERCHED GROUNDWATER. (SEE GEOTECHNICAL REPORT).
- THE LIMIT OF WORK SHALL BE DELINEATED IN THE FIELD PRIOR TO THE START OF SITE CLEARING OR CONSTRUCTION.
- DEEP SUMP CATCH BASINS SHALL BE CLEANED FOLLOWING CONSTRUCTION AND SHALL FOLLOW THE OPERATION AND MAINTENANCE PLAN THEREAFTER.
- HAULING OF EARTH MATERIALS TO AND FROM THE SITE SHALL BE RESTRICTED TO THE HOURS OF 7:00 AM TO 9:00 PM MONDAY THROUGH SATURDAY.
- ANY BUILDERS 3 CY OR SMALLER SHALL BE CONSIDERED UNDESIGNATED FILL AND SHALL BE DISPOSED OF AT NO ADDITIONAL COST TO THE OWNER.

1. ALL SEDIMENT AND EROSION CONTROL DEVICES SHALL BE PUT INTO PLACE PRIOR TO BEGINNING ANY CONSTRUCTION OR DEMOLITION. REFER TO PLAN FOR APPROXIMATE LOCATION OF EROSION AND SEDIMENT CONTROL. REFER TO SPECS AND DETAILS FOR TYPE OF EROSION AND SEDIMENT CONTROL.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTINUAL MAINTENANCE OF ALL CONTROL DEVICES THROUGHOUT THE DURATION OF THE PROJECT.
3. CONTRACTOR SHALL MEET ALL OF THE STATE OF MASSACHUSETTS D.E.P. AND THE CITY OF AMESBURY REGULATIONS FOR SEDIMENT AND EROSION CONTROL.
4. EXCAVATED MATERIAL STOCKPILED ON THE SITE SHALL BE SURROUNDED BY A RING OF UNBROKEN SEDIMENT AND EROSION CONTROL FENCE. THE LIMITS OF ALL GRADING AND DISTURBANCE SHALL BE KEPT TO A MINIMUM WITHIN THE APPROVED AREA OF CONSTRUCTION. ALL AREAS OUTSIDE OF THE LIMIT OF CONTRACT SHALL REMAIN TOTALLY UNDISTURBED UNLESS OTHERWISE APPROVED BY OWNER'S REPRESENTATIVE.
5. ALL CATCH BASINS AND DRAIN GRATES WITHIN LIMIT OF CONTRACT SHALL BE PROTECTED WITH FILTER FABRIC DURING THE ENTIRE DURATION OF CONSTRUCTION.
6. EROSION CONTROL BARRIERS TO BE INSTALLED AT THE TOE OF SLOPES. SEE SITE PREPARATION PLAN, NOTES, DETAILS AND SPECIFICATIONS.
7. ANY AREA OUTSIDE THE PROJECT LIMIT THAT IS DISTURBED SHALL BE RESTORED TO ITS ORIGINAL CONDITION AT NO COST TO THE OWNER.
8. THE CONTRACTOR SHALL PROVIDE DUST CONTROL FOR CONSTRUCTION OPERATIONS AS APPROVED BY OWNER.
9. ALL POINTS OF CONSTRUCTION EGRESS OR INGRESS SHALL BE MAINTAINED TO PREVENT TRACKING OR FLOWING OF SEDIMENT ON TO PUBLIC/PRIVATE ROADS.

1. THE CONTRACTOR SHALL INCLUDE IN THE BID THE COST OF REMOVING ANY EXISTING SITE FEATURES AND APPURTENANCES NECESSARY TO ACCOMPLISH THE CONSTRUCTION OF THE PROPOSED SITE IMPROVEMENTS. THE CONTRACTOR SHALL ALSO INCLUDE IN THE BID THE COST OF MATERIALS TO RESTORE SUCH ITEMS IF THEY ARE SCHEDULED TO REMAIN AS PART OF THE FINAL SITE IMPROVEMENTS. REFER TO PLANS TO DETERMINE EXCAVATION, DEMOLITION AND TO DETERMINE THE LOCATION OF THE PROPOSED SITE IMPROVEMENTS.
2. THE OWNER RESERVES THE RIGHT TO REVIEW ALL MATERIALS DESIGNATED FOR REMOVAL AND TO RETAIN OWNERSHIP OF SUCH MATERIALS. IF THE OWNER RETAINS ANY MATERIAL THE CONTRACTOR SHALL ALLOW ARRANGEMENTS WITH THE OWNER TO HAVE THOSE MATERIALS REMOVED OFF SITE AT NO ADDITIONAL COST.
3. UNLESS SPECIFICALLY NOTED TO BE SAVED / STOCKPILED (R&S) OR REUSED / RELOCATED (R&R), ALL SITE FEATURES CALLED FOR REMOVAL (REH) SHALL BE REMOVED WITH THEIR FOOTINGS, ATTACHMENTS, BASE MATERIAL, ETC., TRANSPORTED FROM THE SITE TO BE DISPOSED OF IN A LAWFUL MANNER AT AN ACCEPTABLE DISPOSAL SITE AND AT NO COST TO THE OWNER.
4. ALL EXISTING SITE FEATURES TO REMAIN SHALL BE PROTECTED THROUGHOUT THE CONSTRUCTION PERIOD. ANY FEATURES DAMAGED DURING CONSTRUCTION OPERATIONS SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE AT NO ADDITIONAL COST.
5. DURING EARTHWORK OPERATIONS, CONTRACTOR SHALL TAKE CARE TO NOT DISTURB EXISTING MATERIALS TO REMAIN, OUTSIDE THE LIMITS OF EXCAVATION AND BACKFILL AND SHALL TAKE WHATEVER MEASURES NECESSARY, AT THE CONTRACTOR'S EXPENSE, TO PREVENT ANY EXCAVATED MATERIAL FROM COLLAPSING. ALL BACKFILL MATERIALS SHALL BE PLACED AND COMPACTED AS SPECIFIED TO THE SUBGRADE REQUIRED FOR THE INSTALLATION OF THE REMAINDER OF THE CONTRACT WORK.
6. IT SHALL BE THE CONTRACTOR'S OPTION, WITH CONCURRENCE OF THE OWNER, TO REUSE EXISTING GRAVEL IF IT MEETS THE REQUIREMENTS OF THE SPECIFICATIONS FOR GRAVEL BORROW.
7. ALL ITEMS CALLED FOR REMOVAL SHALL BE REMOVED TO FULL DEPTH INCLUDING ALL FOOTINGS, FOUNDATIONS, AND OTHER APPURTENANCES, EXCEPT AS SPECIFICALLY NOTED OTHERWISE.
8. CLEAR AND GRUB VEGETATION SHALL INCLUDE REMOVAL OF GRASS, SHRUBS, AND UNDERBRUSH, REMOVAL OF ROOTS, ROUGH GRADING, INSTALLATION OF LOAM (IF APPLICABLE), FINE GRADING, SEEDING AND TURF ESTABLISHMENT BY THE CONTRACTOR.
9. TREES DESIGNATED FOR REMOVAL SHALL BE TAGGED BY CONTRACTOR AND APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO COMMENCEMENT OF CONSTRUCTION.
10. THE STORAGE OF MATERIALS AND EQUIPMENT WILL BE PERMITTED AT LOCATIONS DESIGNATED BY OWNER OR OWNER'S REPRESENTATIVE. PROTECTION OF STORED MATERIALS AND EQUIPMENT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
11. STRIP & STORE EXISTING TOPSOIL FOR LATER REUSE WHERE APPROPRIATE, AND AS NOTED ON PLAN, WITH APPROPRIATE EROSION AND SEDIMENT CONTROLS.
12. LOAM / TOP SOIL DESIGNATED FOR REUSE AS GENERAL FILL SHALL BE BLENDED WITH SUITABLE BORROW MATERIAL AS SPECIFIED.

1. TO FURNISH EXISTING CONDITIONS PLAN FOR APPROXIMATE SURVEY INFORMATION (SHEET V100 IN THIS PLAN SET), CONTRACTOR TO FURNISH A GROUND SURVEY WITHIN THE LIMITS OF THE WORK PRIOR TO CONSTRUCTION.
2. COORDINATE ALL LAYOUT ACTIVITIES WITH THE SCOPE OF WORK CALLED FOR BY DEMOLITION, GRADING, AND UTILITIES OPERATIONS ENCOMPASSED BY THIS CONTRACT. SET, PROTECT AND REPLACE REFERENCE STAKES AS NECESSARY OR AS REQUIRED BY THE OWNER'S REPRESENTATIVE.
3. ALL WORK SHALL BE PERFORMED BY CONTRACTOR UNLESS SPECIFICALLY INDICATED THAT THE WORK WILL BE PERFORMED "BY OTHERS".
4. TO FACILITATE LAYOUT OF PROPOSED SITE FEATURES AND FACILITIES, LAYOUT INFORMATION FOR CERTAIN FUTURE WORK, WHICH IS NOT INCLUDED WITHIN THE SCOPE OF THIS CONTRACT HAS BEEN PROVIDED ON THE LAYOUT AND MATERIALS PLAN FOR INFORMATION ONLY. THE LAYOUT OF SITE AMENITIES AND FENCES MUST BE APPROVED BY THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION. SOME ITEMS ARE "NOT IN CONTRACT" (NIC) AND SHOWN FOR REFERENCE ONLY.
5. THE LAYOUT OF SITE AMENITIES AND FENCES MUST BE APPROVED BY THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
6. THE LAYOUT OF ALL NEW PATHWAYS / WALKWAYS AND THE GRADING OF ALL SLOPES AND CROSS SLOPES SHALL CONFORM TO THE COMMONWEALTH OF MASSACHUSETTS RULES AND REGULATIONS FOR HANDICAP ACCESS CMR 521, THE AMERICANS WITH DISABILITIES ACT (ADA), AND TITLE 3. THE CONTRACTOR SHALL NOTIFY THE OWNER IMMEDIATELY OF ANY DISCREPANCIES BETWEEN ACTUAL CONDITIONS AND THOSE REQUIRED.
7. ALL LAYOUT LINES, OFFSETS, OR REFERENCES TO LOCATING OBJECTS ARE EITHER PARALLEL OR PERPENDICULAR UNLESS OTHERWISE DESIGNATED WITH ANGLE OFFSETS NOTED.
8. ALL PROPOSED SITE FEATURES SHALL BE LAID OUT AND STAKED FOR REVIEW AND APPROVAL BY THE OWNER'S REPRESENTATIVE PRIOR TO COMMENCEMENT OF INSTALLATION. ANY REQUIRED ADJUSTMENTS TO THE LAYOUT SHALL BE UNDERTAKEN AS REQUIRED, AT NO ADDITIONAL COST TO THE OWNER.
9. ALL PROPOSED PAVEMENTS SHALL MEET THE LINE AND GRADE OF EXISTING ADJACENT PAVEMENT SURFACES AND SHALL BE TREATED WITH AN RS-1 TACK COAT AT POINT OF CONNECTION. ALL PATHWAY WIDTHS SHALL BE AS NOTED ON THE LAYOUT AND MATERIALS PLAN.
10. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND GRADES ON THE GROUND AND REPORT ANY DISCREPANCIES IMMEDIATELY TO THE OWNER.
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD MEASUREMENT OF ALL PROPOSED FENCES AND GATES.
12. THE DEPTH OF LOAM BORROW FOR ALL PROPOSED LAWN AREAS SHALL BE 6" MINIMUM. ALL DISTURBED AREAS SHALL BE RESTORED WITH LOAM AND SEED UNLESS OTHERWISE NOTED.
13. ALL REFERENCES TO LOAM AND SEED (L&S) REFER TO HYDROMULCH SEEDED LAWN.
14. REFER TO DETAIL DRAWINGS FOR CONSTRUCTION DETAILS.

1. ALL WORK RELATING TO INSTALLATION, RENOVATION OR MODIFICATION OF WATER, DRAINAGE AND/OR SEWER SERVICES SHALL BE PERFORMED IN ACCORDANCE WITH THE STANDARDS OF THE CITY OF AMESBURY.
2. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND GRADES ON THE GROUND AND REPORT ANY DISCREPANCIES IMMEDIATELY TO THE OWNER.
3. ALL GRADING IS TO BE SMOOTH AND CONTINUOUS WHERE PROPOSED GRAVEL SURFACE MEETS EXISTING SURFACE, BLEND THE TWO PAVEMENTS AND ELIMINATE ROUGH SPOTS AND ABRUPT GRADE CHANGES AND MEET LINE AND GRADE OF EXISTING CONDITIONS WITH NO IMPROVEMENTS.
4. CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE (1.5% MINIMUM) AWAY FROM ALL BUILDING FOUNDATIONS AND STRUCTURES.
5. CONTRACTOR SHALL ENSURE ALL AREAS ARE PROPERLY PITCHED TO DRAIN, WITH NO SURFACE WATER PONDING OR PUDDLING.
6. ALL NEW WALKWAYS / ACCESS PATHS MUST CONFORM TO CURRENT AMERICANS WITH DISABILITIES ACT (ADA) REGULATIONS. WALKWAYS SHALL MAINTAIN A CROSS PITCH OF NOT MORE THAN TWO PERCENT (2.0%) AND THE RUNNING SLOPE (PARALLEL TO THE DIRECTION OF TRAVEL) BETWEEN 1% MIN. AND 5% MAX.
7. MINIMUM SLOPE ON ALL WALKWAYS WILL BE 1:100 OR 1% TO PROVIDE POSITIVE DRAINAGE. ANY DISCREPANCIES NOT ALLOWING THIS TO OCCUR SHALL BE REPORTED TO THE OWNER PRIOR TO CONTINUING WORK.
8. ALL UTILITY GRATES, COVERS OR OTHER SURFACE ELEMENTS INTENDED TO BE EXPOSED AT GRADE SHALL BE FLUSH WITH THE ADJACENT FINISHED GRADE AND ADJUSTED TO PROVIDE A SMOOTH TRANSITION AT ALL EDGES.
9. THE CONTRACTOR SHALL SET SUBGRADE ELEVATIONS TO ALLOW FOR POSITIVE DRAINAGE AND PROVIDE EROSION CONTROL DEVICES, STRUCTURES, MATERIALS AND CONSTRUCTION METHODS TO DIRECT SILT MIGRATION AWAY FROM DRAINAGE AND OTHER UTILITY SYSTEMS, PUBLIC/PRIVATE STREETS AND WORK AREAS, CLEAN BASINS REGULARLY AND AT THE END OF THE PROJECT.
10. EXCAVATION REQUIRED WITHIN PROXIMITY OF KNOWN EXISTING UTILITY LINES SHALL BE DONE BY HAND. CONTRACTOR SHALL REPAIR ANY DAMAGE TO EXISTING UTILITY LINES OR STRUCTURES INCURRED DURING CONSTRUCTION OPERATIONS AT NO COST TO THE OWNER.
11. WHERE NEW EARTHWORK MEETS EXISTING EARTHWORK, CONTRACTOR SHALL BLEND NEW EARTHWORK SMOOTHLY INTO EXISTING, PROVIDING VERTICAL CURVES OR ROUNDS AT ALL TOP AND BOTTOM OF SLOPES.
12. WHERE A SPECIFIC LIMIT OF WORK LINE IS NOT OBVIOUS OR IMPLIED, BLEND GRADES TO EXISTING CONDITIONS WITHIN 5 FEET OF PROPOSED CONTOURS.
13. RESTORE ALL DISTURBED AREAS AND LIMITS OF ALL REMOVALS TO LOAM AND SEED (L&S) UNLESS OTHERWISE NOTED.
14. SEE GEOTECHNICAL REPORT FOR SPECIFIC EXCAVATION AND FILLING PROCEDURES.

1. DATUM
ALL ELEVATIONS SHOWN ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88).

2. SURVEY INFORMATION
HYDROGRAPHIC INFORMATION AND EXISTING UTILITIES SHOWN ARE BASED ON AN ACTUAL FIELD INSTRUMENT SURVEY PERFORMED BY WILLIAMS & SPARAGES, LLC ON FEBRUARY 26, 2024, WITH ADDITIONAL UTILITY INFORMATION COMPILED FROM PLANS WITH THE CITY OF AMESBURY AND UTILITY COMPANIES.

3. UTILITY VERIFICATION
THE CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES IN THE FIELD PRIOR TO THE START OF CONSTRUCTION. ANY DISCREPANCIES BETWEEN EXISTING CONDITIONS AND THOSE SHOWN ON THE PLANS THAT MAY AFFECT THE PROPOSED WORK SHALL BE REPORTED IMMEDIATELY TO THE OWNER'S REPRESENTATIVE.

4. UTILITY CONFLICTS
IF CONFLICTS ARISE BETWEEN EXISTING UTILITIES AND PROPOSED CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE IN WRITING FOR RESOLUTION PRIOR TO PROCEEDING.

5. DIG SAFE
THE CONTRACTOR SHALL CONTACT DIG SAFE (411) PRIOR TO CONSTRUCTION AND MAINTAIN A VALID TICKET. DIG SAFE TICKETS ARE VALID FOR 30 DAYS FROM THE DATE OF ISSUE AND REMAIN VALID THEREAFTER UNTIL EXISTING MARKINGS ARE MAINTAINED AND WORK IS CONTINUOUS.

6. WATER CONNECTION
PROPOSED WATER CONNECTION SIZE, TYPE, AND LOCATION SHALL BE DESIGNED IN ACCORDANCE WITH 248 CMR 10.00, UNIFORM STATE PLUMBING CODE.

7. DRAINAGE PIPING
ALL PROPOSED DRAIN PIPES SHALL BE HDPE OR APPROVED EQUIVALENT, UNLESS OTHERWISE NOTED.

8. DRAINAGE INSTALLATION
INSTALLATION OF DRAINAGE STRUCTURES, INCLUDING HDPE PIPING AND UNDERGROUND RETENTION SYSTEMS, SHALL STRICTLY FOLLOW MANUFACTURER REQUIREMENTS TO MEET ASPECT LOADING STANDARDS.

9. WATER AND SEWER SEPARATION
WHERE FEASIBLE, SEWER LINES SHALL BE INSTALLED WITH A MINIMUM HORIZONTAL SEPARATION OF 10 FEET FROM WATER MAINS.

10. WHERE THIS SEPARATION CANNOT BE ACHIEVED, SEWER LINES SHALL BE INSTALLED IN A SEPARATE TRENCH WITH THE CROWN OF THE SEWER AT LEAST 18 INCHES BELOW THE INVERT OF THE WATER MAIN.

11. WHERE SEWERS CROSS BENEATH WATER MAINS, THE SAME VERTICAL SEPARATION SHALL BE MAINTAINED.

12. IF REQUIRED SEPARATIONS CANNOT BE ACHIEVED, BOTH THE SEWER AND WATER MAIN SHALL BE CONCRETE ENCASED FOR 10 FEET ON EACH SIDE OF THE CROSSING.

13. WATER DEPARTMENT COORDINATION
THE APPLICANT SHALL COORDINATE WITH THE AMESBURY WATER DEPARTMENT TO CONFIRM ADEQUATE DOMESTIC AND FIRE FLOW AVAILABILITY PRIOR TO ISSUANCE OF A BUILDING PERMIT.

14. EROSION CONTROL
ALL EXISTING AND PROPOSED CATCH BASINS SHALL BE FITTED WITH SILT SACKS OR APPROVED EQUIPMENT DURING CONSTRUCTION AND REMOVED AFTER INSTALLATION OF THE FINAL PAVEMENT COURSE.

15. ELECTRICAL UTILITIES
ALL PROPOSED ELECTRICAL CONNECTIONS SHALL BE INSTALLED UNDERGROUND.

16. LIGHTING DESIGN
SITE LIGHTING SHALL BE DESIGNED BY A QUALIFIED LIGHTING DESIGNER OR CERTIFIED LIGHTING DESIGNER (CLD), AS REQUIRED BY THE CITY OF AMESBURY.

ABBREVIATION	DESCRIPTION	EXISTING	PROPOSED	DESCRIPTION
TF	TOP OF FOUNDATION GRADE			CONTOUR
CF	CELLAR FLOOR GRADE			SPOT ELEVATION
GF	GARAGE FLOOR GRADE			DRAIN LINE
FF	FIRST FLOOR GRADE			DRAIN MANHOLE
TC	TOP OF CURB GRADE			UNDERDRAIN
BC	BOTTOM OF CURB GRADE			ROOF DRAIN
TW	TOP OF WALL GRADE			CATCH BASIN
BW	BOTTOM OF WALL GRADE			SEWER LINE
FG	FINISHED GRADE			SEWER MANHOLE
				WATER LINE
CLF	CHAIN LINK FENCE			WATER GATE
WCR	WHEEL CHAIR RAMP			WATER SHUTOFF
UP	UTILITY POLE			POST INDICATOR VALVE
CC	CONCRETE CURB			IRRIGATION CONTROL VALVE
SGC	SLOPED GRANITE CURB			WELL
VGC	VERTICAL GRANITE CURB			HYDRANT
CCB	CAPE COD BERM			GAS LINE
BB	BITUMINOUS BERM			GAS GATE
EP	EDGE OF PAVEMENT			GAS METER
CB	CATCH BASIN			GAS SHUTOFF
DMH	DRAIN MANHOLE			ELECTRIC LINE
SMH	SEWER MANHOLE			ELECTRIC MANHOLE
TMH	TELEPHONE MANHOLE			ELECTRIC METER
EMH	ELECTRIC MANHOLE			
RCP	REINFORCED CONCRETE PIPE			LIGHT
HDPE	HIGH DENSITY POLYETHYLENE			TELEPHONE LINE
DI	DUCTILE IRON			UTILITY POLE
DICL	DUCTILE IRON CEMENT LINED			TELEPHONE MANHOLE
PVC	POLYVINYL CHLORIDE			MANHOLE
CI	CAST IRON			ACCESSIBLE PARKING SPACE
DH	DRILL HOLE			BOLLARD
MHB	MASS HIGHWAY BOUND			SURFACE FLOW
MHLO	MASS HIGHWAY LAYOUT			MONITORING WELL
CB	CONCRETE BOUND			SIGN
SB	STONE BOUND			SOIL TEST PIT
PIL	PIN IN LEAD			OVERHEAD WIRES
FND	FOUND			EDGE OF PAVEMENT
IP	IRON PIPE			BIT. CURB LINE
RR	RAILROAD			CURB LINE
SF	SQURE FOOT			CURB LINE
AC	ACRE			CURB LINE
				RETAINING WALL

EXISTING	PROPOSED	DESCRIPTION
		CONTOUR
		SPOT ELEVATION
		DRAIN LINE
		DRAIN MANHOLE
		UNDERDRAIN
		ROOF DRAIN
		CATCH BASIN
		SEWER LINE
		SEWER MANHOLE
		WATER LINE
		WATER GATE
		WATER SHUTOFF
		POST INDICATOR VALVE
		IRRIGATION CONTROL VALVE
		WELL
		HYDRANT
		GAS LINE
		GAS GATE
		GAS METER
		GAS SHUTOFF
		ELECTRIC LINE
		ELECTRIC MANHOLE
		ELECTRIC METER
		LIGHT
		TELEPHONE LINE
		UTILITY POLE
		TELEPHONE MANHOLE
		MANHOLE
		ACCESSIBLE PARKING SPACE
		BOLLARD
		SURFACE FLOW
		MONITORING WELL
		SIGN
		SOIL TEST PIT
		OVERHEAD WIRES
		EDGE OF PAVEMENT
		BIT, CURB LINE
		CURB LINE
		CURB LINE
		CURB LINE
		RETAINING WALL

Designed By: JST
Drawn By: JST
Reviewed By: PMB
Project Manager: PMB
Project File Number: AMES-0032
Drawing File Folder: AMES32

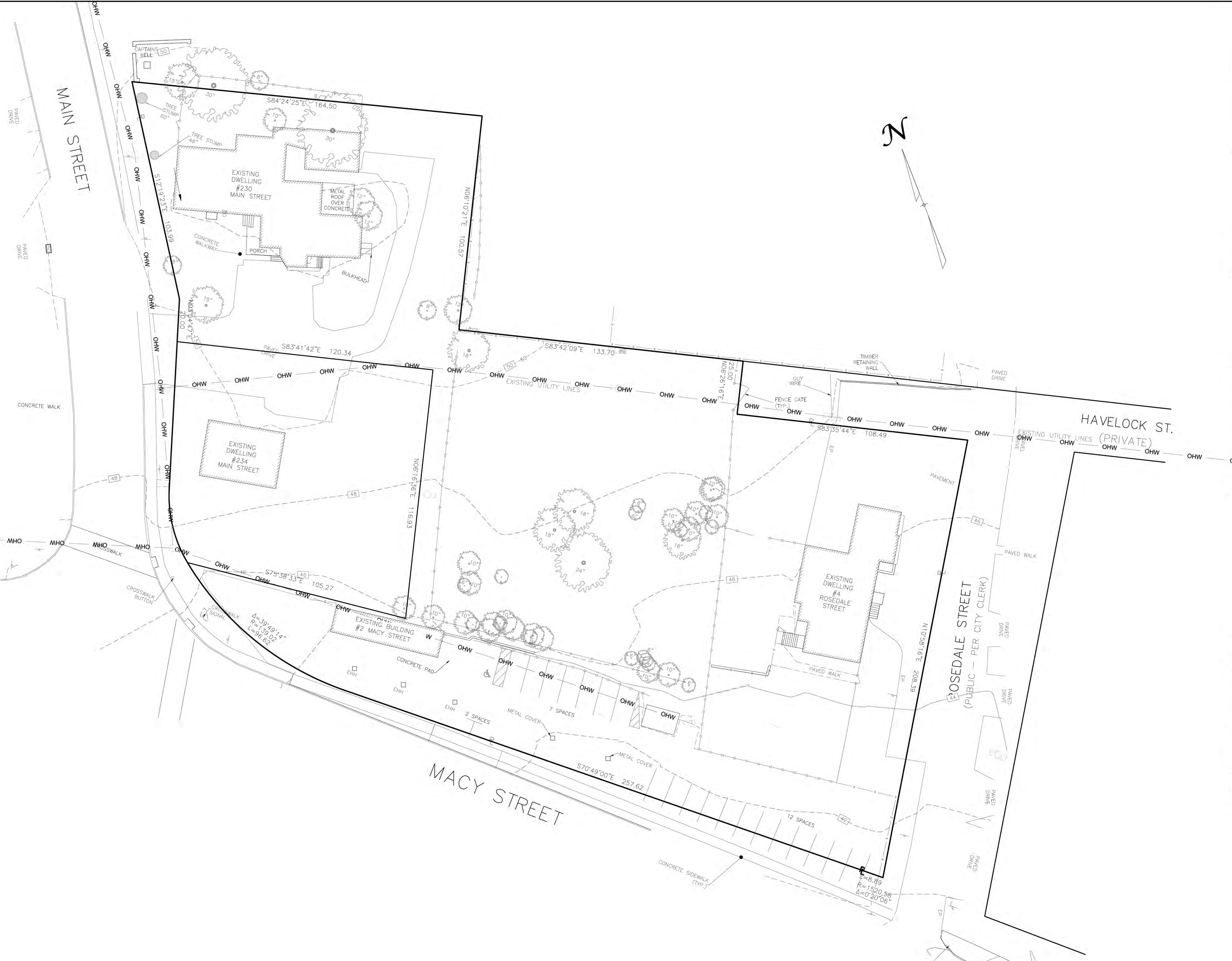
PLAN NOTES
AMESBURY COMMONS
230 MAIN STREET, AMESBURY, MA

6	12
5	11
4	10
3	9
2	8
1	7

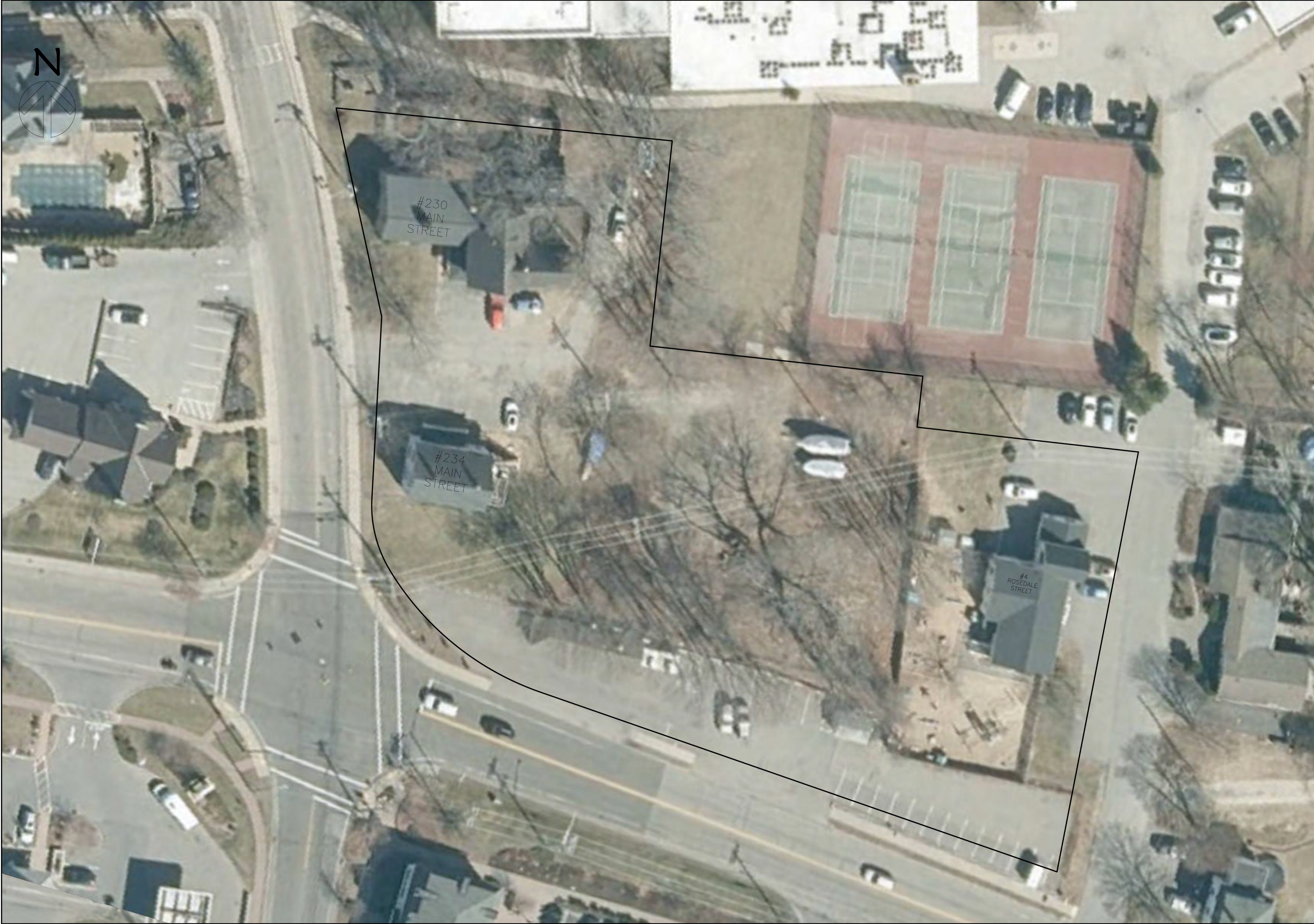
JANUARY 9, 2026

DRAWING: C2.1

SHEET 2 OF 5



DRAWING: C3.1	EXISTING CONDITIONS PLAN AMESBURY COMMONS 230 MAIN STREET, AMESBURY, MA					SEAL		Designed By: JST Drawn By: JST Reviewed By: PMB Project Manager: PMB Project File Number: AMES-0032 Drawing File Folder: AMES32 ☒ Drawing Issued for Review ☐ Drawing Issued for Permit ☐ Drawing Issued for Construction	Owner/Applicant: 230 Main Street Amesbury, LLC 106 Main Street, Suite 6 Stoneham, MA 02180	 WILLIAMS & SPARAGES 189 NORTH MAIN STREET AMESBURY, MA 01810 PHONE: (978) 539-8088 FAX: (978) 539-8200 WWW.WSINCORP.COM
	SHEET 3 OF 5	0' 10' 20' 40'  SCALE: 1"=20' JANUARY 9, 2026	6 5 4 3 2 1	12 11 10 9 8 7						



AERIAL PLAN
AMESBURY COMMONS
230 MAIN STREET, AMESBURY, MA

DRAWING: C4.1

SHEET 4 OF 5

0' 10' 20' 40'

SCALE: 1"=20'

JANUARY 9, 2026

6	5	4	3	2	1
12	11	10	9	8	7

SEAL

Designed By: JST
Drawn By: JST
Reviewed By: PMB
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Project File Number: AMES-0032
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☒ Drawing Issued for Review
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230 Main Street Amesbury, LLC
106 Main Street, Suite 6
Stoneham, MA 02180

