

PLANNING BOARD DECISION

Property Ownership: **19 Prospect Street LLC
1 Apple Road, Beverly MA 01915**

Applicant: **19 Prospect Street LLC
1 Apple Road, Beverly MA 01915**

Application Type: **SITE PLAN REVIEW & SPECIAL PERMIT –
Historic Preservation.**

Project: **Historic Renovation of existing duplex and one (1) new 3 unit
structure**

Location: **19 Prospect Street, Amesbury, MA 01913**

Date: **April 13th, 2026**

A. GENERAL

On or about 2/25/2026, the Amesbury Planning Board (the “Board”) received applications for Special Permit and Site Plan Review (“Project”) at 19 Prospect Street in Amesbury MA. The application was submitted along with a Site Plan Set (the “Plan”) titled “Definitive Subdivision in Amesbury, MA at 19 Prospect Street”, consisting of 4 sheets, drawn on 1/16/2026 last revised on 4/6/2026 prepared by Millennium Engineering, Inc., 62 Elm Street, Salisbury MA 01952, Architectural Plan Set for the Historic House and the New Residence consisting of 11 sheets, dated 04/06/2026 prepared by Graf Architects, 76 State Street, 3rd Floor, Newburyport MA 01950 and other supporting documents by Aileen Graf on behalf of 19 Prospect LLC (the “Applicant”). The set of plans consists of eleven (11) sheets and includes civil and landscaping plans.

The initial public hearing was held on 3/27/2026 and continued to subsequent meetings. The public hearing was closed and a decision was rendered on 4/13/2026. This is the Final Action of the Board (“Decision”) on the Special Permit and Site Plan applications.

B. FINDINGS:

1. **Subject Property:** The Property is located at 19 Prospect Street and is identified on the Assessors Database as Map 40, Lot 71. The parcel is zoned residential (R-8). The subject property consists of a total area of approximately 18,757 sq. ft. The parcel has frontage along Prospect Street.
2. **Existing Conditions:** The Property currently has a 2- family residential structure. The Board finds that the plans have identified the existing site and building conditions adequately in the application.
3. **Project Description and Proposed Use:** The proposed site plan shows the existing property being subdivided into two lots. The existing duplex will occupy one of these lots and a new three family residential structure is proposed on the other lot as shown on the proposed site plan (Exhibit #1 and #2). Site improvements include repairs to the existing sidewalk along the frontage of both lots, access ways, new driveways, landscaping, fences and decks and patios as shown on the site plan.
4. **Site Layout, Grading and Building Location:** The general grading of the site does not change significantly. The new 3 family structure has been laid out to complement the streetscape and architecture scale and character of the existing historic structure. The architectural design of the new multifamily residential structure has also been reviewed by the Board (Exhibit #3) and Design Review Committee (DRC). Some of these changes have been made after deliberations during the application review process and comments from the Board. The Board finds that the changes to the site plan are desirable for the proposed historic preservation and the subdivision. The proposed site grading and building layout, including driveways and garages require minimum changes to existing grades (Exhibit #1).
5. **Architectural Design:** Building elevations and preliminary floor plans for existing and proposed new buildings have been provided to the Board along with the proposed site plan. The Board finds the architectural design satisfactory provided the final construction drawings are consistent with these architectural plans (Exhibit #3).

6. **Historic Preservation Proposal:** The application includes a historical assessment and documentation report (Exhibit #5) of the historical significance of the building and its character defining features. A historic preservation restriction approved by the Amesbury Historical Commission and the City of Amesbury will be placed on the lot and historic residential building and will be required to remain in place in perpetuity.
7. **Stormwater Management and infrastructure improvements:** The Applicant has proposed stormwater management structures on individual lots to control stormwater runoff. The sewer connection to the existing structure is proposed to be discontinued and new sewer connections are proposed to each building from existing services in Prospect Street. The sidewalk along the property frontage is proposed to be reconstructed as a bituminous concrete sidewalk at uniform grade. The DPW has indicated its support for these improvements.
8. **Public Impact:** The subject property is located in an area with existing municipal utility services. The approved site plan shows water and sewer infrastructure improvements that have been determined by DPW to be adequate for the proposed uses. The Board finds that the project will not create any undue burden on the utilities, municipal services or public infrastructure by the proposed changes to the existing property. The Board finds that the proposed use:
 - a) is desirable and compatible with the character of the neighborhood,
 - b) will not be an intensification of the existing uses, and
 - c) is not detrimental to the public health or welfare.
9. **Other Permits Needed:** The Applicant has not requested any other permit from the Planning Board and no other relief has been granted except as outlined in this decision. The Board finds that the Applicant may need the approval of the Amesbury Historical Commission if there are any changes proposed to the building design, improvements or repairs other than those that have been approved within the Preservation Restriction.

Based on the findings noted above, the Board finds that the Project satisfies the Special Permit Criteria under Section X.J, Section XI. J2 and Site Plan Review criteria under Section XI.C of the Amesbury Zoning Ordinance (the “Ordinance”).

C. WAIVERS

The Applicant requested waivers sought from the specific provisions of the Zoning Ordinance. The Board has endeavored to grant waivers from those rules and regulations, only to the extent necessary, where the waivers are consistent with the purpose and intent of the regulations and would not threaten public health, safety or welfare and to minimize harm and disruption to the locus and real property abutting the locus. In the event that further waivers are required, the Applicant shall submit a written request for such waiver(s) to the Board and the Board may grant or deny such additional waivers in accordance with applicable rules and regulations in effect at that time. The waivers listed in Table 1 are the only waivers granted to the extent necessary to construct the approved plan as submitted and revised:

TABLE 1:

Section(s) of the Zoning Bylaw (AZB)	Requested Waiver	Decision of the Board
Section VI – Dimensional Requirements – <i>(Existing Historic Residential Structure)</i>	To waive the dimensional controls for the pre-existing structure for the new lot as follows: Lot Area – 5,607sf Frontage – 72.19 feet front yard setback to 10.2 feet (existing, no change) side yard setback to 12.2 feet (existing, no change) rear yard to 26 feet Setbacks for Garage – as shown	A. Granted to the extent shown provided: 1) the landscape screening and vegetative buffers and other fences are installed as per approved final landscaping plan; 2) review and approval of final architectural details for the building; and 3) approval of a subdivision plan B. Granted to the extent necessary provided a Historic Preservation Restriction is recorded as approved by ACC and renovations of the existing building are done as per approved architectural plans approved by the Board.
Section VI – Dimensional Requirements – <i>(New Structure)</i>	To waive certain dimensional controls for the proposed new structure as follows: Frontage – 64.2 feet front yard setback-10.1 feet sideyard setback-10.1 feet rear yard to 19.1 feet Garage – as shown	Granted to the extent shown provided, 1) the landscape screening and vegetative buffers and other fences are installed as per approved final landscaping plan; 2) review and approval of final architectural details for the proposed buildings; and 3) approval of a subdivision plan

D. APPROVAL OF THE SITE PLAN AND CONDITIONS THERETO

Upon notice and after a public hearing in accordance with the statute (General Laws, Chapter 40A, section 11) the Amesbury Zoning Ordinance and Subdivision Rules and Regulations, and after full consideration of the evidence presented, and upon the findings made in Section B of this Decision, the Board granted a **Special Permit and Site Plan Approval for the proposed Historic Preservation application for property located at 19 Prospect Street** in Amesbury MA as shown on the approved Plan further upon the conditions and hereinafter set forth, for the premises described in the application.

I. COMPLIANCE WITH LOCAL, STATE AND FEDERAL REQUIREMENTS:

The Project and all construction, utilities, off-site improvements and all related appurtenances with respect to the Project, shall comply with all applicable local, state and federal regulations except as waived specifically by this Decision. The Applicant shall be responsible for acquiring all other local, state and federal permits and approvals as necessary to construct the Project as approved by the Board. Final action on all other permits shall be submitted to the Board for record.

II. GENERAL AND IN PERPETUITY CONDITONS

1. **Allowed Uses:** This Decision allows no more than five (5) residential units on the property and two proposed lots. This consists of the existing duplex and a new single car garage and a new three (3) unit multifamily residential structure with a three car garage on one of the new lots as shown on the final Site Plan. No other new structures, changes to building footprints or increase in the number of units or lots shall be allowed except as shown on the approved plan and as allowed by this Decision. Changes to uses or changes to the subdivision plan shall only be allowed after subsequent review and approval by the Board.
2. **Historic Preservation Restriction** – The Special Permit is granted subject to the terms of a permanent Historic Preservation Restriction as approved by the Amesbury Historical Commission and held by the City of Amesbury and to be recorded prior to issuance of any

occupancy permit or sale of the existing residential structure(s) on Lot 1, whichever is earlier. The Applicant shall be responsible for all legal costs associated with the review and approval of the legal documents and shall be required to provide the necessary funds in advance of the City's approval and acceptance of the final documents. No exterior alterations, additions, modifications to the building footprint or removal of any of the architectural and character defining features of this structure shall be allowed except as approved by this Decision as shown on the plan. Any architectural element requiring repairs or replacement shall be done in a manner consistent with the historically correct details and materials and pursuant to the Preservation Restriction ("Restriction") as per the provisions of Section XI.J2. The Historic Preservation Restriction shall be submitted to the City for acceptance within ninety (90) days of issuance of a building permit. In the event that the Restriction is not accepted by the City, the Restriction shall be placed on record at the registry of deeds as a perpetual covenant on the existing historic residential structure.

3. **Historic marker:** A historic plaque shall be installed on the building as per approval by the Amesbury Historical Commission.
4. **Site and Building Design Guidelines** –The existing building renovations shall conform to the building design as per Exhibit #3 (Architectural Drawing Set). The new residential structure shall be built as per architectural drawings and details as approved by the Board and shown on preliminary drawings per Exhibit #3. Garages proposed on either lot shall also be built as per approved details included in this Decision. Final architectural drawings and site plans shall be revised as per DRC comments prior to endorsement of site plans.
5. **Subdivision Plan:** The Final Site Plan shows the existing residential duplex on one Lot and the proposed multifamily residential structure on a separate lot. The approval of the Site Plan shall not be deemed as approval of these new lots. The Applicant shall file a Subdivision Plan and application pursuant to the Amesbury Subdivision Rules and Regulations with the Board. Only upon approval of a subdivision plan for the creation of the new lots and subsequent to recording of such plan endorsed by the Board, can commencement of any construction associated with the proposed new multifamily residential structure shall be allowed. The Site

Plan may have to be modified pursuant to the approval of a Subdivision Plan showing lots in substantial compliance with these lot lines.

6. **Setback Waivers:** The Board shall grant the requested waivers from Table VI – Dimensional Controls of the Zoning Ordinance for the setbacks shown based on the proposed lot lines. However, any waivers associated with any new or proposed lot lines or associated with any existing or new residential structures shown on the approved Site Plan, shall be effective upon the approval and recording of a Subdivision Plan endorsed by the Board.
7. **New Residential Structures on Proposed New Lot:** Prior to any commencement of any construction activity associated with the multifamily residential structure, including but limited to, site grading, foundation, utility installation or issuance of a building permit, a Subdivision Plan approved and endorsed by the Board shall be put on record showing each of the proposed lots as approved per this Decision.
8. **Compliance with Site Plan and Application Materials:** The Applicant or their assignees or future owners shall operate any proposed activities in compliance with this Special Permit and Site Plan approval decision, the approved Project Documents (Exhibits 1 - 5), and any representations made in the submitted Application materials.
9. **Landscaping and buffers along property lines:** All landscaped areas and vegetative buffers shall be planted in accordance with the approved landscape plan and shall be maintained by the Property owner(s) in perpetuity. Proposed fences and landscape buffers along property boundaries shall be perpetually maintained and kept in good condition. Any damaged or dead shrubs and trees shall be replaced with the same plant materials as per approved plan.
10. **Final Landscape Plan and Fences:** The preliminary plan (Exhibit #4) includes landscape improvements on the Property. The final landscape plan shall enumerate the quantity and kind of all plant species. The Final Landscape Plan shall require review and approval by the Board prior to installation of any plants and trees on site.

11. **Performance Bond:** The Applicant shall be required to post a surety with the Board for all improvements including but not limited to landscaping, patios, walkways, fencing, landscape buffers, driveways, parking areas and other drainage and utility improvements as shown on the Final Plans. The performance bond amount shall be established based on work not completed prior to the making request for an occupancy permit for residential structure on any lot. Prior to release of any Surety, the Board shall verify with its construction observation consultant and its staff that the work has been completed as per approved plans and approval by the Board of a Final As-Built Plan.
12. **Final Release of the Performance Bond** - Final release of performance bond shall be made when all the following conditions have been met:
 - a) Upon completion of work as shown on the Final Plans, the Applicant shall furnish a report from the Board's construction observation consultant or its representative indicating that all work has been completed as per the Board's Decision and as shown on the Final Plans.
 - b) All City Department and the Board's inspectional engineer have recommended release of surety.
 - c) Upon completion of all off-site improvements including but not limited to, stormwater management systems, driveways, walkways, trash enclosures, fences and off-site improvements and, submission of an "As-Built Plan" to the Board along with a written confirmation from a Registered Professional Engineer (P.E.), indicating that construction complies with the approved site plans and conditions of approval, including drainage and utility plans, and
 - d) all landscaping plant materials (trees, shrubs, and other plants) have survived two (2) growing season and that dead/damaged plants have been replaced as per Final Plans.
 - e) If applicable, a Certificate of Compliance (CoC) from the Conservation Commission has been recorded at the Registry of Deeds.
13. **As-built Plans:** To ensure compliance with the terms and conditions of this Decision and any approval or order by any federal or state agency, the Applicant shall submit to the Board complete and detailed Progress "As-Built" Plans with its request for a Certificate of

Occupancy for any of the new single family residential structures approved in this Decision. Before release of the performance guarantee, the Applicant shall have prepared and submitted Final As-Built Plans, which shall indicate the actual location of permanent monuments; inverts and location of required utilities and drainage; location of all underground utilities; and location of all permanent structures. The accuracy of such Final As-Built Plans shall be certified by a Land Surveyor or a Professional Engineer, Registered in the Commonwealth of Massachusetts, retained by the Applicant. Any damage to public roads and walkways shall be repaired and/or replaced to the satisfaction of the Director of Public Works.

14. **Draft Deeds:** Draft deeds for the new lots shall be provided to the Board for review prior to release of these lots by the Board for sale.
15. **Indemnification:** The Applicant agrees that the City of Amesbury shall be free of any liability for any negligent acts or omissions by or of the Applicant, its employees, agents, subcontractors, beneficiaries or trustees with relation to this Project. The Applicant, on behalf of itself and its successors and assigns, further agrees to indemnify and hold harmless the City of Amesbury, its employees and officials for any harm, damage, injury or loss caused by negligent acts or omissions of the Applicant, its employees, agents, subcontractors, beneficiaries or trustees with regard to the construction of this Project.
16. **Right to Enter and Inspect Property:** The Applicant shall as a condition of approval grant to the Board, any representative of the Board, city officials responsible to inspect and review the construction activity, the right to enter the property until such time as the site improvements are complete as per approved plans.
17. **Changes to Site Plan, Project Density or Design** - No further subdivision of the property or increase in density shall be allowed without further review and approval by the Board. Any change to the site plan or any of these conditions of approval, including, but not limited to, the building footprint and driveway locations, landscaping plans, architectural design criteria and the approved building construction materials, site improvements and finished grades or to any recorded legal documents shall only be allowed after review and approval

by the Board. Substantive revisions to the Final Plans, such as changes to the building design or any of its exterior façade details, addition of dwelling units, relocation of more than one property line, relocation of the access driveways or other substantive changes from the Final Plans shall not be permitted without further review and written approval of the Board;

18. **Site Plan and Special Permit Modifications:** Prior to expansion, addition or alteration of uses not allowed by this Site Plan and Special Permit Approval, the Applicant shall provide detailed information and plans along with a formal written request for modification to the approved Site Plan and Special Permit for determination of minor or major modification and approval by the Board. Any substantial modifications to the approved Site Plan or changes that impact the criteria under Section X.J, Section XI.J2 or the Performance Standards under XI.C.8 or conditions of approval of this Decision shall be subject to review and approval of the Board. The Board shall, if it so determines, require the applicant to submit a new application for modification to the approved Site Plan and/or Special Permit and hold a new public hearing for review of the requested modifications; and
19. **Validity:** This special permit is valid only for the use and construction of new structures and redevelopment of existing structures to the extent approved in the Decision and shall expire within three years from the issuance date if construction is not started in that time period. Any changes to the site plan, uses or other improvements shown on the approved plan without the approval of the Board shall render those unauthorized improvements or changes null and void. This permit shall become final only upon 1) the recording of the Decision for the Special Permit and the final Site Plan; and 2) the issuance of all other state and federal permits required to start any construction activity allowed per this permit. The Site Plan Approval shall expire upon the expiration of the special permit, unless said permit(s) is extended by the permit granting authority.

IV. PRIOR TO ENDORSEMENT OF PLANS

The approved plans shall become Final Plans upon recording of the endorsed plans. The following conditions shall be met prior to endorsement of the approved plans:

1. **Notations** - The following notes shall be added to the Plans that will be endorsed and recorded:
 - a. A note shall be added that states that "*The existing building on Lot 1 is subject to a permanent Historic Preservation Restriction, held by the City of Amesbury in perpetuity, to be recorded herewith.*" and a notation to this effect shall also appear upon any deeds to any individual unit within the multi-family building on said property;
 - b. "*This subdivision of Land is subject to the Planning Board approval of a Historic Preservation Special Permit recorded herewith and conditions stated therein*";
 - c. A note shall be added to reference the Board's Decision and date of approval;
 - d. "*No further subdivision of any parcel or any changes to the number of residential lots or units thereon, the lot configuration, or the lot lines shall occur without a further review and approval from the Board*" and a notation to this effect shall also appear upon any deeds to any property within the subdivision;
2. **Easements and Covenants** - A copy of draft legal documents and plans describing all covenants, and easements affecting the use of the subject property shall be submitted to the Board for review and approval, said easements to be shown on the Plan to be recorded, and restrictions to be noted on such subdivision plan. The Applicant also shall submit to the Board any written or recorded instruments granting or agreeing to such easements and covenants;
3. **Lot Closure Calculations** - Final lot closure calculations shall be provided by the Applicant as required under the Subdivision Rules and Regulations;
4. **Revisions to the Final Site Plan and Supporting Documents**: The Final Site Plan and Architectural Plan set shall be revised pursuant to this Decision and final comments of the

Board and its representatives as part of submission of final plans for endorsement by to the Board, and

5. **CAD Drawings** - Three copies of all drawings and site plans as approved by Board shall be provided as Computer Assisted Drawings (CAD) on Compact Disks to the Board.

III. PRIOR TO START OF ANY CONSTRUCTION ACTIVITY ON SITE

The Applicant shall file with the Board and all other relevant public agencies for review and for consistency with this Decision any documents and shall have completed the following actions:

1. **Legal Documents:** The following documents shall be submitted to the Board and the Building Inspector:
 - a) **Documents Recorded at the Southern Essex Registry of Deeds:** The following documents as recorded at the Southern Essex Registry of Deeds after endorsement by the Board:
 - i. Planning Board Decision - A copy of this Decision certified by the City Clerk; and
 - ii. Final Site Plan Set – Upon making any required revisions per this decision, the final site plan set shall be endorsed by the Board and certified by the City Clerk.
 - iii. Covenant, as further outlined below.
 - b) **Covenant** - Prior to the commencement of any construction activity or building improvements, a covenant shall be placed on the issuance of occupancy permit and sale of any residential unit in the Project. A full release from the covenant may be requested upon completion of all the following requirements:
 - 1) Endorsement by the Board of a subdivision ANR plan in compliance with the Board's subdivision rules and regulations and recording of such plan at the registry of Deeds.
 - 2) an Erosion Control and Sedimentation Bond has been established prior to start of any construction activity or disturbance on site.

- 3) a Performance Bond has been established for any and all remaining improvements including but not limited to landscaping, patios, walkways, fencing, landscape buffers, driveways, parking areas and other drainage and utility improvements as shown on the Final Plans prior to seeking an occupancy permit for any dwelling unit on any lot.
 - 4) All exterior restoration, renovations and construction work of the historic building have been completed as per historic and period details and are consistent with the architectural plan set approved by the Board.
 - 5) the final Historic Preservation restriction has been reviewed and approved by the Amesbury Historical Commission (AHC), city legal counsel and presented to the City Council for acceptance.
2. **Erosion Control Barriers** - Prior to the commencement of any work at the site, an erosion control barrier (hay bales staked end to end and siltation fence firmly anchored with six (6) inches of soil on the uphill side) shall be installed in a location reasonably acceptable to the Board or its representative. The erosion control barrier shall be inspected by the Board or its representative prior to work commencing on the site and shall be maintained until all disturbed areas have been stabilized to the satisfaction of the Board or its representatives.
3. **Sedimentation and Erosion Control Surety** – The Applicant shall be required to post Surety with the Board for Sedimentation and Erosion to ensure that all drainage and erosion control measures are implemented, including but not limited to, the proposed impervious surfaces and grading plan as per the Final Plans and other engineering drawings. Prior to release of any portion of the Surety, the Board shall verify with its construction observation consultant or its staff representatives that all finished grades have stabilized, and drainage have been installed and functioning as per approved design and that there is evidence of healthy mature grass and/or landscaping on the site. A request for any release of funds may only be made after the completion of two growing seasons from the installation of all landscape materials on the site and approval of a final As-built Plan.
4. **Request for Pre-construction Conference:** The request for a Pre-construction Conference shall be acted upon by the Board only AFTER the Board has received and reviewed ALL of

the documents required per this Decision before start of construction and has received a final Construction Monitoring and Management Plan (CMMP) and also determined that the Project is ready to proceed to the construction phase. Upon authorization by the Board, its representatives shall schedule the Pre-construction Conference; and

5. **Pre-Construction Conference** - At least five (5) business days prior to any initial site work, a Pre-Construction conference shall be held with the Applicant, Applicant's contractor, a representative of the Board, its consulting engineer, and representatives of the City Departments having an interest in the Plan. Said meeting shall be for the purpose of familiarization with the project, the conditions of approval, and the project's construction sequence and timetable and for reviewing and approval of the CMMP. Copies of all other permits shall be provided to the Board in advance of this meeting.

V. PRIOR TO MAKING REQUEST FOR LOT RELEASE or BUILDING PERMIT

The Applicant shall file with the Board and all other relevant public agencies for review and for consistency with this Decision any documents and shall have completed the following actions:

1. **Legal Documents:** The following documents shall be submitted to the Board and the Building Inspector as recorded at the Southern Essex Registry of Deeds after endorsement by the Board:
 - i. Subdivision (ANR) Plan
 - ii. Lot Release Form; and
 - iii. Covenant
2. **Submission of Architectural Drawings:** No less than 30 days prior to the submission of a building/foundation permit application, a copy of the complete set of detailed architectural elevations and floor plans for the building(s) shall be submitted to the Board. The final architectural drawings shall be sufficiently annotated to describe in detail the building materials, details and color scheme for the building. The Board shall review the final construction drawings to establish conformance with architectural drawings presented to the

Board, which approval shall not unreasonably withheld, before making request for a building permit for said building.

3. **Retaining Walls:** Details of non-structural/decorative retaining walls shall be provided to the Board for review and approval prior to construction. Any retaining walls over four (4) feet shall be designed by a structural engineer and accompanied by supporting documentation indicating that the existing soils and fill are appropriate for the proposed design. Additional test pits and accompanying data shall be supplied with the retaining wall design and details, if necessary and requested by the City for review by the Board's Agent to establish consistency with Final Plans.
4. **Final Private Utility Layout:** The Applicant shall obtain all necessary private utility permits, including but not limited to gas pipeline, electric, telephone and cable service required by the respective utilities. Documentation of all Permits/approvals issued by private utilities pertaining to the development of the Project shall be provided to the Board for record.
5. **Building Permit Form** - The Applicant or their successors shall provide the Building Inspector with the form attached with this decision completed and signed off by each of the City officials listed on that form (PB200601-BUILDING).

VI. DURING CONSTRUCTION

The following shall apply to all construction activity as per approved Site Plan:

1. **Stockpiles** -Earth material stockpiles shall not be allowed immediately adjacent to perimeter siltation barriers, steep slopes or drain inlets. Long term stockpiles over 30 days shall be shaped stabilized and circled by siltation fence and haybales and shall be stabilized by temporary seeding, sheeting or netting;
2. **Repair and Cleanup**: The existing roadways shall be kept clean of all earth materials during the construction phase. Any damage to public roads and sidewalks shall be repaired and/or replaced to the satisfaction of the DPW Director and City Engineer;
3. **Utility Trenches** - Utility trenches within the public right of way shall be saw-cut prior to excavation. Open trenches shall be backfilled with bank gravel and compacted to 95%. Trenches shall be paved with asphalt binder to a minimum depth of three (3) inches and overlaid curb to curb to a minimum depth of one and half (1.5) inches. Water service trenches shall be infrared joint paved. The Director of DPW and the City Engineer shall have the final signoff on the right of way improvements and any change to these standards or those shown on approved plans shall be subject to their review and approval; and
4. **Construction Activities** - During construction, except within the individual building envelopes, the Applicant and its agents and employees shall conform to all local, state and federal laws regarding noise, vibration, dust and use of public roads and utilities. The Applicant shall at all times use all reasonable means to minimize inconvenience to residents in the general area and maintain safe and adequate vehicular access on Maple Street. Construction shall not commence on any day Monday through Saturday before 7:00 AM. Construction activities shall cease by 6:00 PM Monday through Friday and by Noon on Saturday. No construction or activity whatsoever (except for interior finishing) shall take place on Sunday;
5. **Police Detail** - The Applicant shall, if needed, pay for any police details associated with construction on the site along Maple Street;

VII. PRIOR TO MAKING REQUEST FOR AN OCCUPANCY PERMIT

The Applicant shall file with the Board and all other relevant public agencies for review and for consistency with this Decision any documents and shall have completed the following actions:

1. **Certification of Improvements** - The Applicant shall request the Board for a Certificate of Improvements and submit it to the Building Inspector from the Board verifying that all conditions of approval have been met and that construction to date is in conformance with the approved plans;
2. **Notation on Deeds for specific Unit:** The Stormwater O & M Plan shall be referenced in the deeds for individual units and specific maintenance requirements and responsibilities shall be clearly stated in each deed. Draft deeds for these shall be provided to the Board for review prior to release of these units by the Board for occupancy permit.
3. **Recorded Documents:** The following documents shall be submitted:
 - a) **Lot 1 - Historic Preservation Restriction** - A copy of the Final Preservation Restriction pursuant to the provisions of Section XI. J2 as recorded at the Essex Registry of Deeds shall be submitted to the Board;
4. **Landscape Improvements, Vegetative Screening and Fencing:** All proposed trees shall be placed in position or staked out for approval by the Board (or its designated agent) prior to digging. All site improvements, including landscape plantings, vegetative buffers, lighting and fencing shall be completed and installed as per Final Plans prior to making application for the occupancy permit. The Board's construction observation consultant or its representative shall submit a certification that the trees, shrubs and screening plants have been installed as per approved plans. Alternatively, the Board shall retain a performance bond equivalent to twice the amount to make all approved landscape and remaining site improvements prior to the request for the first certificate of occupancy by the Applicant. The Architect for the project shall submit a certification that the trees, shrubs and screening

plants have been installed as per approved Final plans prior to release of such performance bond.

5. **Infrastructure Improvements:** All off-site infrastructure improvements and the on-site stormwater drainage system shall be completed as per Final Plans. The Applicant shall request written confirmation from the City Engineer and DPW Director that the finished construction of all utilities that all municipal structures located within the public right of way are adjusted to appropriate finished grade and are adequately accessible for future maintenance.
6. **Architect's Certification:** The Project Architect, registered in the Commonwealth of Massachusetts, shall submit a written statement to the Board certifying that the renovation of existing structure(s) and construction of new residential structure(s) on each of the Lots is in conformance with the architectural drawings and details approved by the Board and the Amesbury Historical Commission.
7. **Public Way Repairs:** Any damage to public roads and walkways shall be repaired and/or replaced to the satisfaction of the DPW Director and City Engineer;
8. **As-Built Plans and Lot Closure Details** – The Applicant shall submit plans with a certification from a Professional Engineer or Architect registered in the Commonwealth of Massachusetts that the Site Improvement "As-Built Plan" complies in all substantive engineering details with this Decision and Final Site Plan. Final lot closure calculations shall be provided to the Board and the monuments shall be installed as appropriate for legal documentation purposes and transfer of properties to future owners;
9. **Occupancy Form** - The Applicant or their successors shall provide the Building Inspector with the form attached with this decision completed and signed off by each of the City officials listed on that form (PB200602-OCCUPANCY).

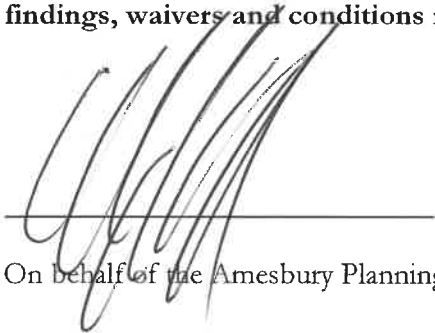
Chair, Amesbury Planning Board

TO:

Mark Mackiaz
19 Prospect Street LLC
1 Apple Road
Beverly MA 01913

PLANNING BOARD VOTE:

On 4/13/2026, the Amesbury Planning Board voted 6-0 in favor of the approval of the Site Plan & Special Permit, as amended, for the proposed Historic Preservation of the existing two (2) family residential structure and to build a new three (3) unit multi-family residential structure on the property located a 19 Prospect Street in Amesbury MA subject to the findings, waivers and conditions noted in this Decision.



On behalf of the Amesbury Planning Board

Filed with the City Clerk on

June 8, 2026



City Clerk

A Building Permit is required for any construction or remodeling. It is your responsibility to file this Decision with the Registry of Deeds and to record the plans after endorsement; forms may be obtained from the City Clerk's Office.

Any appeal of the Special Permit shall be made pursuant to M.G.L. Chapter 40A, Section 17. Any such appeal(s) shall be filed within twenty (20) days after the date of filing of such notice in the City Clerk's Office.

EXHIBITS

Exhibit #1

Site Plan Set titled “Definitive Subdivision in Amesbury, MA at 19 Prospect Street”, consisting of 4 sheets, drawn on 1/16/2026 last revised on 4/6/2026 prepared by Millennium Engineering, Inc., 62 Elm Street, Salisbury MA 01952

Exhibit #2

Plan Set titled “Zoning Plan at 19 Prospect Street”, consisting of two (2) sheets, drawn on 1/15/2026 last revised on 4/6/2026 prepared by Winter GEC, LLC 44 Merrimac Street, Newburyport, MA 01950

Exhibit #3

Architectural Plan Set for the Historic House and the New Residence consisting of 11 sheets, dated 04/06/2026 prepared by Graf Architects, 76 State Street, 3rd Floor, Newburyport MA 01950

Exhibit #4

Landscape Plan dated 04/06/2026 prepared by Graf Architects, 76 State Street, 3rd Floor, Newburyport MA 01950 and LJO Engineering, LLC, PO Box888, Essex MA 01929

Exhibit #5:

Historic Property Description – Form B

Compliance with Conditions Set Forth by the Amesbury Planning Board Decision prior to Issuance of a Building Permit

SIGN-OFF FORM (PB200601-BUILDING)

(IMPORTANT: IT IS THE RESPONSIBILITY OF THE PERSON SEEKING BUILDING PERMIT TO GET THE SIGN OFF FROM EACH OF THE DEPARTMENTS LISTED BELOW. THE TOWN WILL NOT BE HELD RESPONSIBLE FOR LACK OF ACTION ON THE APPLICANT'S BEHALF. BEFORE SIGNOFF, COPIES OF THE RECORDED DECISION AND THE APPROVED PLAN SET SHOULD BE SUBMITTED TO THE PLANNING OFFICE.)

By signing below, the following Town Department/Town Officials, agree that the conditions of this permit prior to making application for building permit have been completed and recommend that an application for a building permit for the units indicated below may be granted:

Engineering Department/Town Engineer _____

Department of Public Works/DPW Director _____

Planning Office/City Planner _____

Conservation Commission/Agent _____

Police Department _____

Fire Department _____

Compliance with Conditions of the Amesbury Planning Board Decision prior to Issue of Certificate of Occupancy

SIGN-OFF FORM (PB200602-OCCUPANCY)

(IMPORTANT: IT IS THE RESPONSIBILITY OF THE PERSON SEEKING CERTIFICATE OF OCCUPANCY TO GET THE SIGN OFF FROM EACH OF THESE DEPARTMENTS. THE TOWN WILL NOT BE HELD RESPONSIBLE FOR LACK OF ACTION ON THAT PERSON'S BEHALF)

The following Town Department/Town Officials, by signing below, agree that the conditions of this permit from the start of construction to prior to issue of occupancy permit have been completed and recommend that the Certificate of Occupancy be granted for the units indicated on this form.

Engineering Department/Town Engineer _____

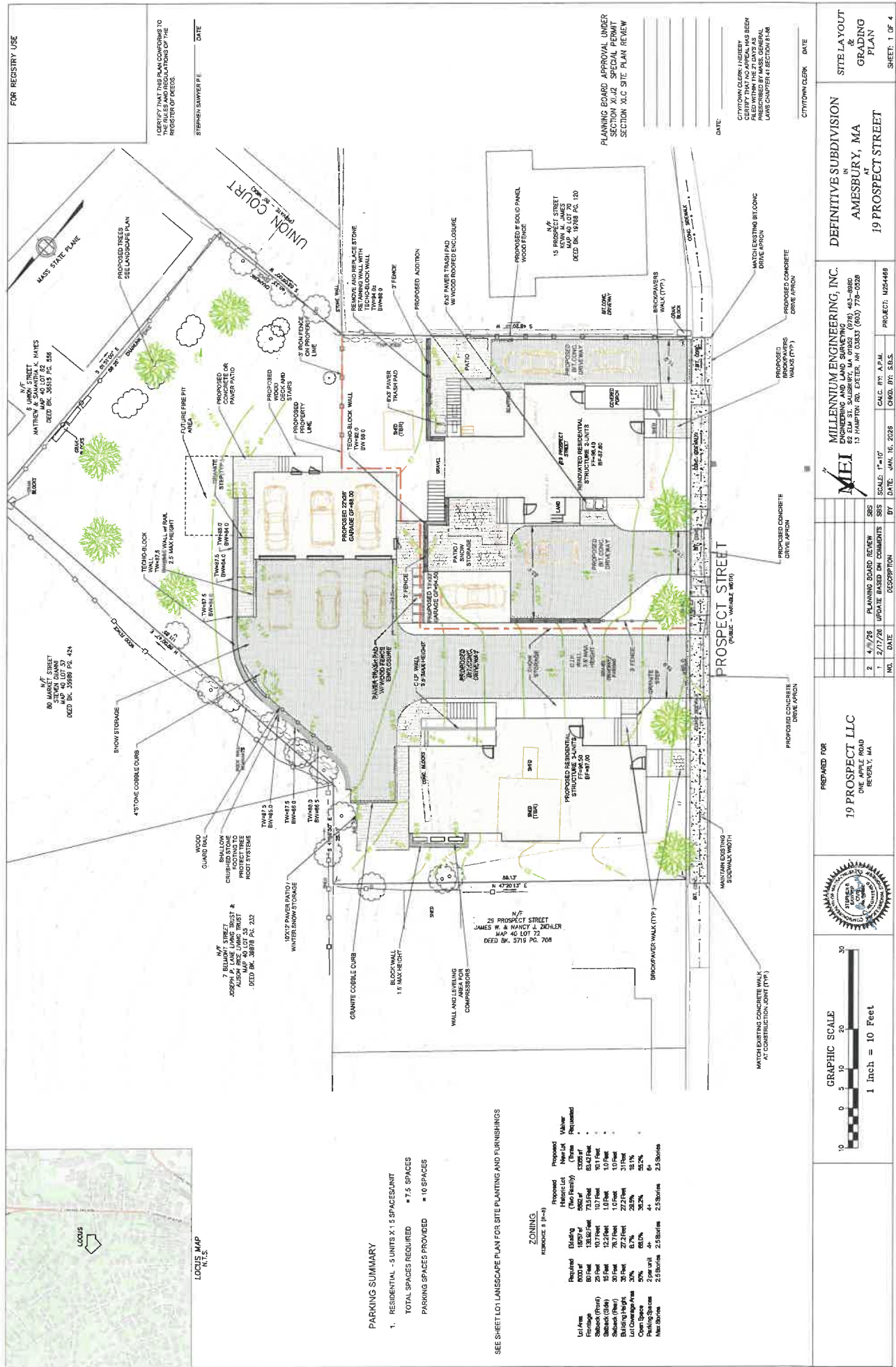
Department of Public Works/DPW Director _____

Planning Office/City Planner _____

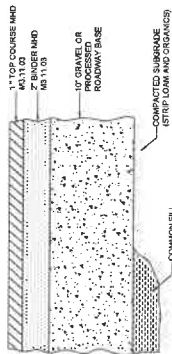
Conservation Commission/Agent _____

Police Department _____

Fire Department _____

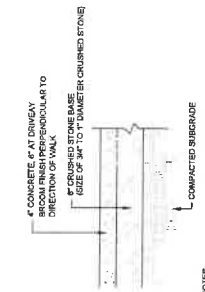


FOR REGISTRY USE



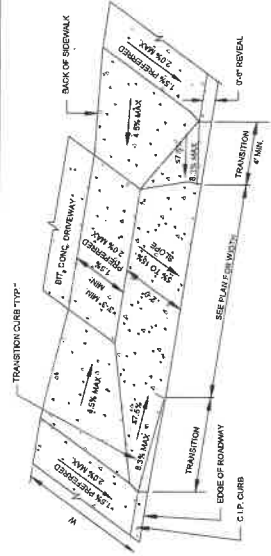
NOTE:
1. SEE LAYOUT PLAN FOR PAVEMENT WIDTH AND LOCATION.
2. SEE SHADING PLAN FOR PAVEMENT SLOPE AND CROSS-SLOPE.

1 BITUMINOUS CONCRETE PAVEMENT
NOT TO SCALE

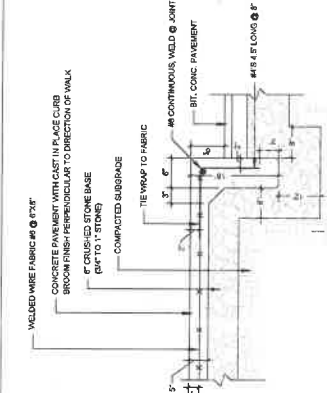


NOTES:
1. PROVIDE 1\"/>

2 CEMENT CONCRETE SIDEWALK
NOT TO SCALE

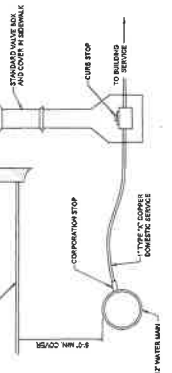


3 TYPICAL DRIVEWAY APRON
NOT TO SCALE

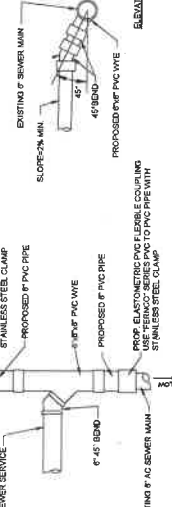


NOTES:
1. PROVIDE 1\"/>

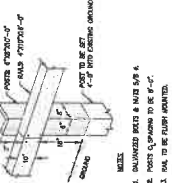
4 CEMENT CONCRETE SIDEWALK WITH CAST IN PLACE CURB
NOT TO SCALE



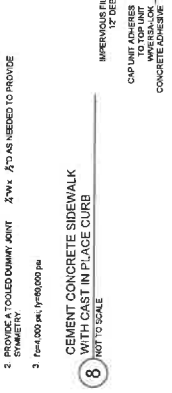
5 COPPER SERVICE CONNECTION
NOT TO SCALE



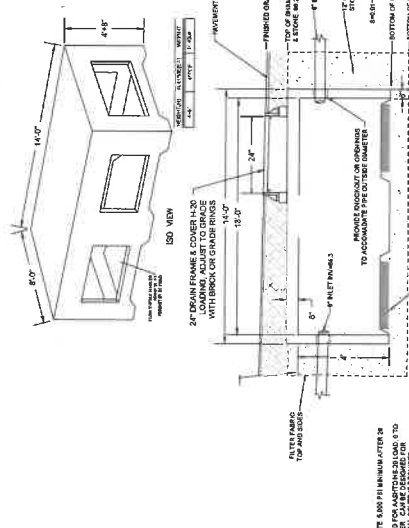
6 SANITARY SEWER MAIN SERVICE CONNECTION
NOT TO SCALE



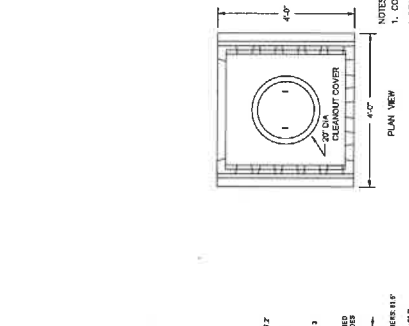
7 WOOD GUARD RAIL - TYPE 1
NOT TO SCALE



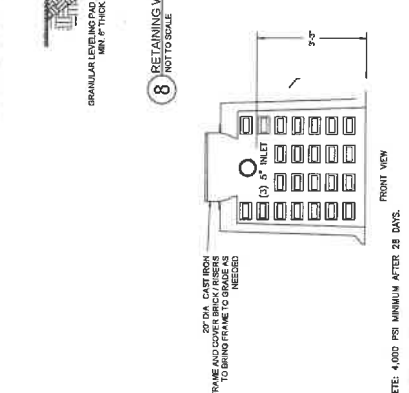
8 RETAINING WALL WITH GUARD RAIL
NOT TO SCALE



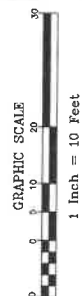
9 CATCH BASIN
NOT TO SCALE



10 TYPICAL INFILTRATION CHAMBER SYSTEM DETAIL
NOT TO SCALE



11 4' x 4' x 3.25' DRYWELL
NOT TO SCALE



PREPARED FOR
19 PROSPECT LLC
ADDRESS
QTY/TOWN, STATE



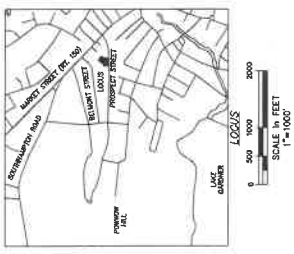
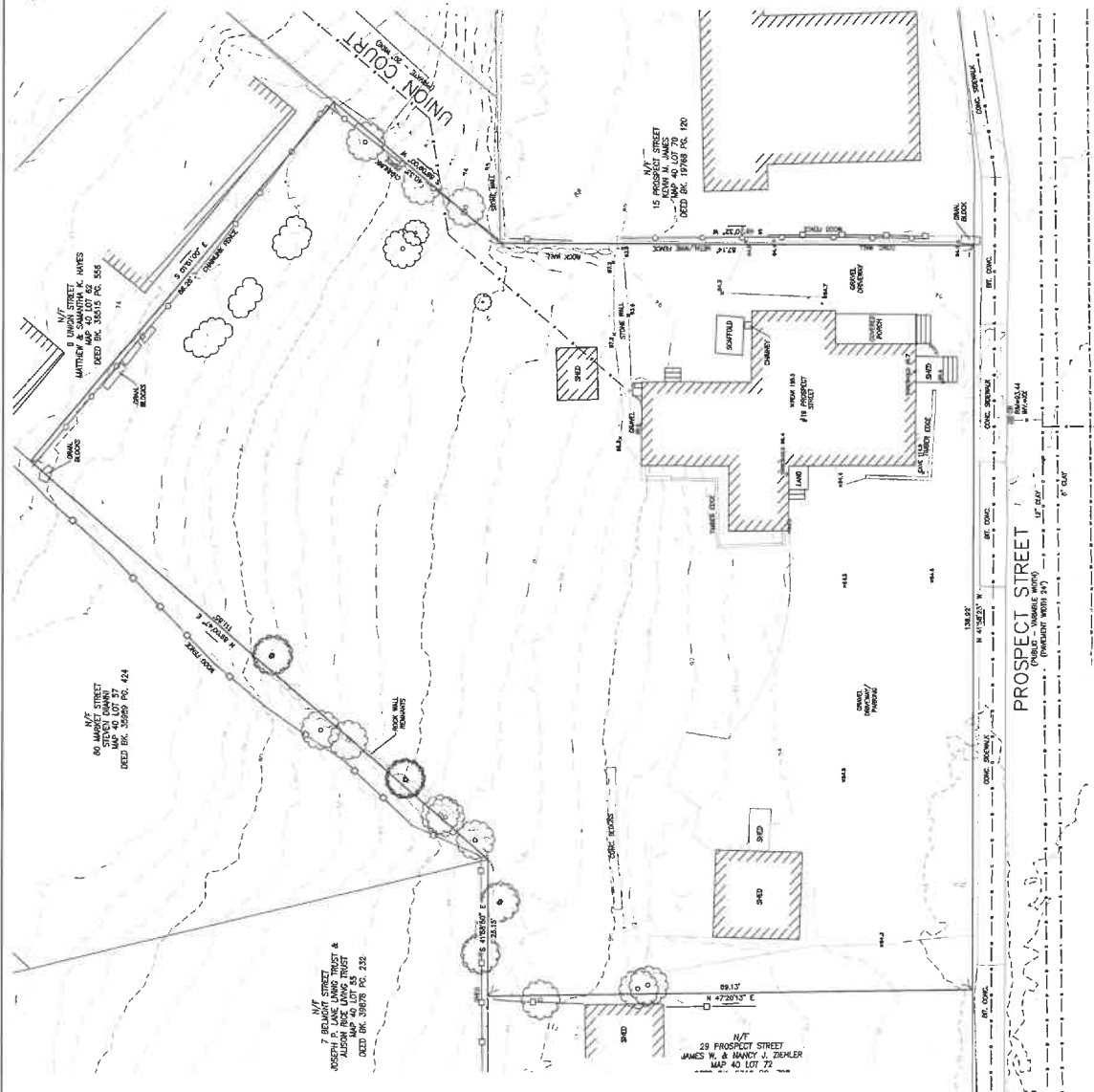
DATE: DEC. 18, 2025
BY: [Signature]

NO.	DATE	DESCRIPTION
1	2/27/25	UPDATE BASED ON COMMENTS
2	4/8/25	PLANNING BOARD REVIEW

MILLENNIUM ENGINEERING, INC.
ENGINEERING AND LAND SURVEYING
15 HAMPTON RD. EXETER, NH 03223 (603) 779-7925

DEFINITIVE SUBDIVISION
AMESBURY, MA
AT
19 PROSPECT STREET

SITE WORK
DETAILS
SHEET: 3 OF 4



RESERVED FOR REGISTERS USE ONLY

I CERTIFY THAT THIS PLAN CONFORMS TO THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.

NOTES

THIS PLAN IS A PART OF THE RECORD OF THE PROPERTY OWNED BY 19 PROSPECT, LLC AT 19 PROSPECT STREET INTO TWO SEVERAL LOTS AND SHOWN HEREON. BOUNDARY LINES ARE THE RESULT OF AN ON-THE-GROUND INSTRUMENT SURVEY PERFORMED ON AUGUST 20TH, SEPTEMBER 20TH & 15TH, 2022.

ELEVATIONS SHOWN HEREON ARE BASED ON MARKS AS ESTABLISHED BY PLY OPS.

THE CERTIFICATIONS SHOWN HEREON ARE NOT INTENDED AS CERTIFICATION TO TITLE OR OWNERSHIP OF PROPERTIES SHOWN. OWNERS OF ADJACENT PROPERTIES ARE ADVISED TO OBTAIN THEIR OWN SURVEY RECORDS AS OF SEPTEMBER 2022.

THIS PLAN DOES NOT SHOW ANY UNRECORDED ENCUMBRANCES WHICH MAY EXIST. A REASONABLE AND DILIGENT SEARCH OF THE RECORDS OF THE COMMONWEALTH OF MASSACHUSETTS, RECORDS OF THE CITY OF AMESBURY, AND RECORDS OF THE CITY OF AMESBURY HAS REVEALED NO SUCH ENCUMBRANCES EXIST.

BY GRANTING THIS PLAN, THE PROPERTY IS NOT LOCATED IN A SPECIAL FLOOD HAZARD AREA OF THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 2500000000 WHICH BEARS AN EFFECTIVE DATE OF 07/01/2022 AS SHOWN ON THE MASSACHUSETTS FLOOD INSURANCE RATE MAP. THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.

TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION AND BELIEF, THIS PLAN CONFORMS TO THE TECHNICAL AND PROCEDURAL STANDARDS FOR THE PRACTICE OF LAND SURVEYING IN THE COMMONWEALTH OF MASSACHUSETTS.

P.L.S. TOWN OF AMESBURY, MASS. REGISTRATION NO. 88963

LOCUS TITLE INFORMATION

19 PROSPECT STREET
OWNER: 19 PROSPECT LLC
DEED REFERENCE: BOOK 42948 PAGE 34
ASSESSORS: MAP 40 PARCEL 71

SCALE IN FEET
1"=10'

CITY/TOWN CLERK DATE

Copyright 2022 Winter GEC, LLC

Winter GEC, LLC

44 WINTER STREET
AMESBURY, MA 01850
978-270-8826

EXISTING CONDITIONS
PLAN

PLAN OF LAND IN
AMESBURY, MASSACHUSETTS
SURVEYED FOR
19 PROSPECT LLC

PROJECT NO.
2022-18PROSPECT
DATE: JUN 15, 2022
SHEET NO.
S1

FIELD	DATE	CHECKED	APPROVED
AL			
COLL			
CHKD			
APPRD			

SCALE: 1"=10'

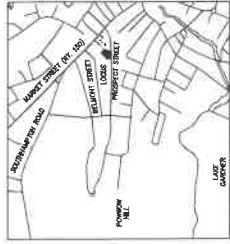
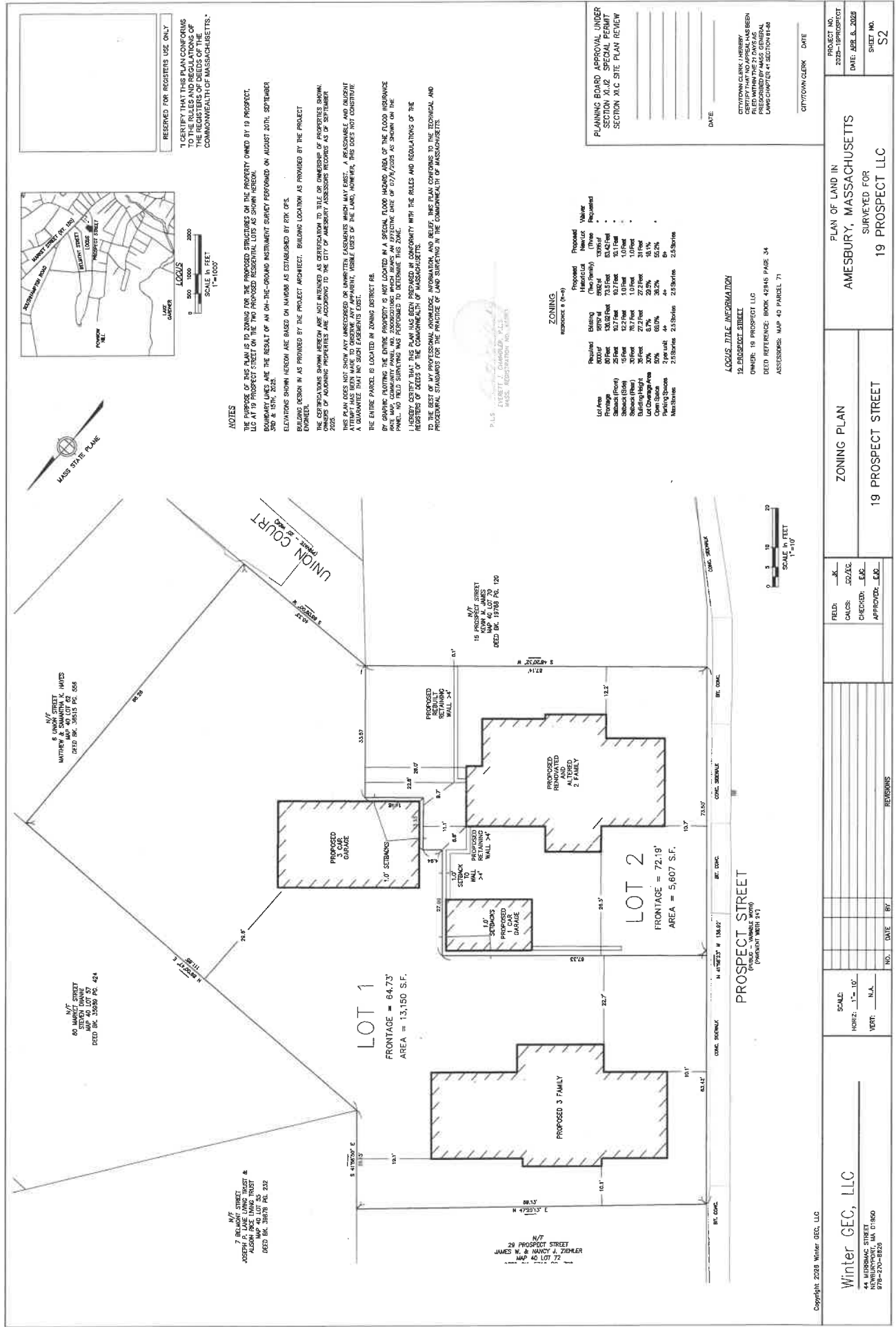
VERT: N.A.

NO. DATE BY

1 2/15/16 EJC
(PENDING WITH 24)

UPDATES BASED ON COMMENTS

REVISIONS



RESERVED FOR REGISTERS USE ONLY

1. CERTIFY THAT THIS PLAN CONFORMS TO THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.

NOTES

THE PURPOSE OF THIS PLAN IS TO ZONE FOR THE PROPOSED STRUCTURES ON THE PROPERTY OWNED BY 19 PROSPECT, LLC AT 19 PROSPECT STREET ON THE TWO PROPOSED RESIDENTIAL LOTS AS SHOWN HEREON. BOUNDARY LINES ARE THE RESULT OF AN ON-THE-GROUND INSTRUMENT SURVEY PERFORMED ON AUGUST 20TH, SEPTEMBER 20D & 15TH, 2025.

ELEVATIONS SHOWN HEREON ARE BASED ON NAVD83 AS ESTABLISHED BY ERK OFS. BUILDING LOCATION AS PROVIDED BY THE PROJECT ENGINEER.

THE CERTIFICATIONS SHOWN HEREON ARE NOT INTENDED AS CERTIFICATION TO TITLE OR OWNERSHIP OF PROPERTIES SHOWN. THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS ARE NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION OR ANY OTHER INFORMATION CONTAINED HEREIN. THIS PLAN DOES NOT SHOW ANY UNRECORDED OR UNWRITTEN EASEMENTS WHICH MAY EXIST. A REASONABLE AND DILIGENT ATTEMPT HAS BEEN MADE TO DISCLOSE ANY APPARENT, VISIBLE USES OF THE LAND, HOWEVER, THIS DOES NOT CONSTITUTE A GUARANTEE THAT NO SUCH EASEMENTS EXIST.

THE ENTIRE PARCEL IS LOCATED IN ZONING DISTRICT RL.

BY GRANTING PLACING THE ENTIRE PROPERTY IS NOT LOCATED IN A SPECIAL FLOOD HAZARD AREA OF THE FLOOD INSURANCE RATE MAP. THE SPECIAL FLOOD HAZARD MAP IS AVAILABLE FOR REVIEW AT THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.

1. HEREBY CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMANCE WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.

TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION AND BELIEF, THIS PLAN CONFORMS TO THE TECHNICAL AND PROFESSIONAL STANDARDS FOR THE PRACTICE OF LAND SURVEYING IN THE COMMONWEALTH OF MASSACHUSETTS.

P.L.S. EVERETT J. CAMERON, P.L.L.C.
MASS. REGISTRATION NO. 9080

ZONING

ZONING			
Proposed	Historical	Neighborhood	Value
Residential	Residential	Neighborhood	Value
80 Feet	80 Feet	80 Feet	80 Feet
10 Feet	10 Feet	10 Feet	10 Feet
20 Feet	20 Feet	20 Feet	20 Feet
30 Feet	30 Feet	30 Feet	30 Feet
40 Feet	40 Feet	40 Feet	40 Feet
50 Feet	50 Feet	50 Feet	50 Feet
60 Feet	60 Feet	60 Feet	60 Feet
70 Feet	70 Feet	70 Feet	70 Feet
80 Feet	80 Feet	80 Feet	80 Feet
90 Feet	90 Feet	90 Feet	90 Feet
100 Feet	100 Feet	100 Feet	100 Feet
110 Feet	110 Feet	110 Feet	110 Feet
120 Feet	120 Feet	120 Feet	120 Feet
130 Feet	130 Feet	130 Feet	130 Feet
140 Feet	140 Feet	140 Feet	140 Feet
150 Feet	150 Feet	150 Feet	150 Feet
160 Feet	160 Feet	160 Feet	160 Feet
170 Feet	170 Feet	170 Feet	170 Feet
180 Feet	180 Feet	180 Feet	180 Feet
190 Feet	190 Feet	190 Feet	190 Feet
200 Feet	200 Feet	200 Feet	200 Feet

LOCUS TITLE INFORMATION

12 PROSPECT STREET
OWNER: 19 PROSPECT LLC
DEED REFERENCE: BOOK 42846 PAGE 34
ASSESSOR MAP 40 PARCEL 71

Copyright 2028 Winter DEC, LLC

Winter DEC, LLC
44 MERRIMACK STREET
NEWBURYPORT, MA 01950
978-270-8820

PROJECT NO. 2025-18PROSPECT	PLAN OF LAND IN AMESBURY, MASSACHUSETTS
DATE: APR. 8, 2028	SURVEYED FOR 19 PROSPECT LLC
SHEET NO. S2	

SCALE: HORIZ. 1" = 10'	NO. DATE BY
VERT. N/A	REVISIONS

FIELD: K	DATE: 2024
CHECKED: EJC	APPROVED: EJC

SF CALCULATIONS				
UNIT 1		UNIT 2		
1ST FLOOR	1,101 SF	1ST FLOOR	103 SF	
GROUND FLOOR	780 SF	2ND FLOOR	1,107 SF	
TOTAL SF	1,881 SF	TOTAL SF	1,210 SF	

project
19 PROSPECT STREET
 Amesbury, MA

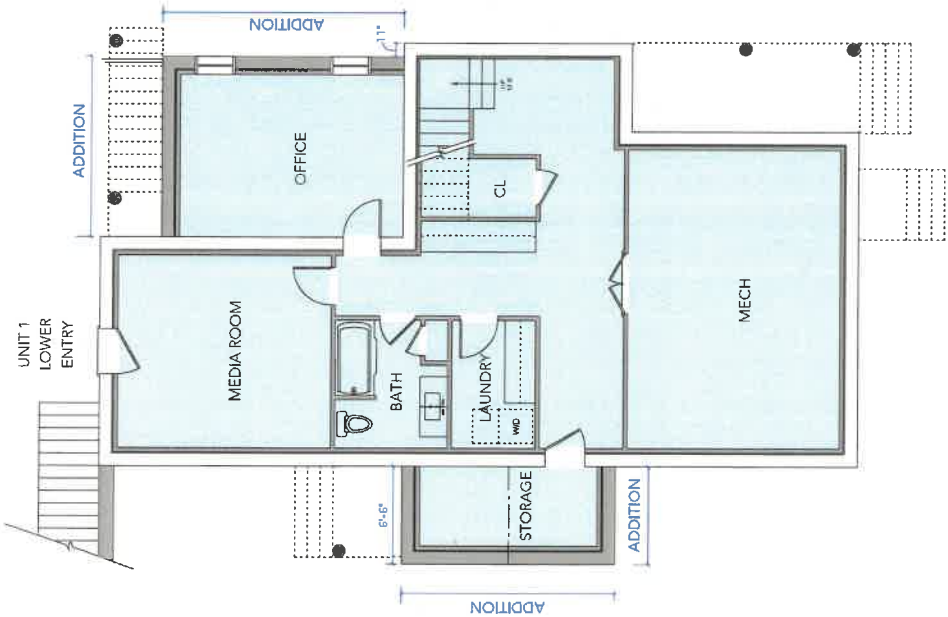
architect
GRAF ARCHITECTS
 76 State Street, 3rd Fl.
 Newburyport, MA
 01950
 T. 978.499.9442
 www.grafarch.com

title:
HISTORIC HOUSE
 Proposed
 Ground + First
 Floor Plans

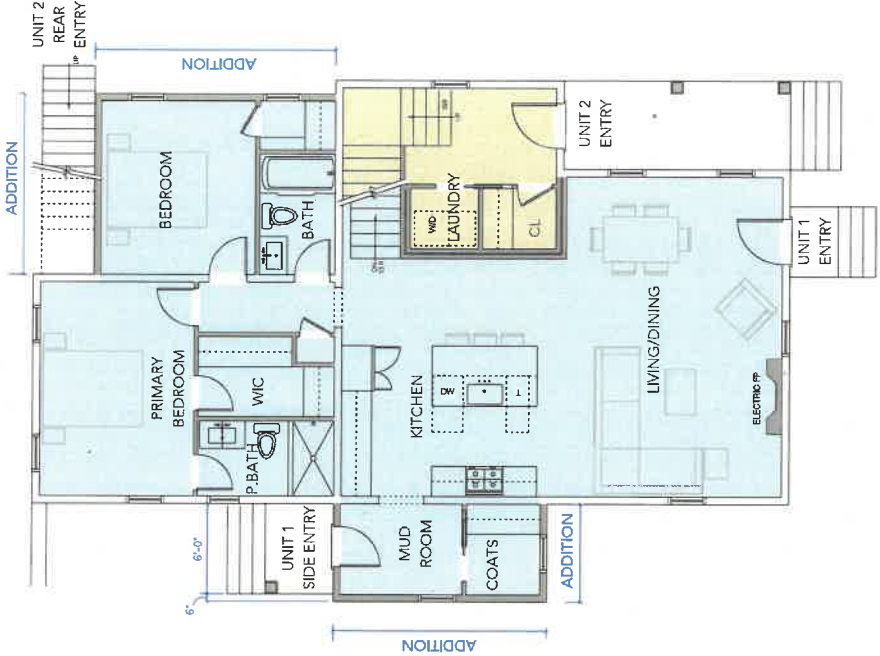
SCALE: 1/8" = 1'-0"
 9 april 2028

A01

19 PROSPECT STREET, AMESBURY, MA 01950



1 Ground Floor Plan - PROPOSED
 SCALE: 1/8" = 1'-0"



2 First Floor Plan - PROPOSED
 SCALE: 1/8" = 1'-0"

SF CALCULATIONS			
UNIT 1		UNIT 2	
1ST FLOOR	1,101 SF	1ST FLOOR	103 SF
GROUND FLOOR	780 SF	2ND FLOOR	1,107 SF
TOTAL SF	1,881 SF	TOTAL SF	1,210 SF

project
19 PROSPECT STREET
 Amesbury, MA

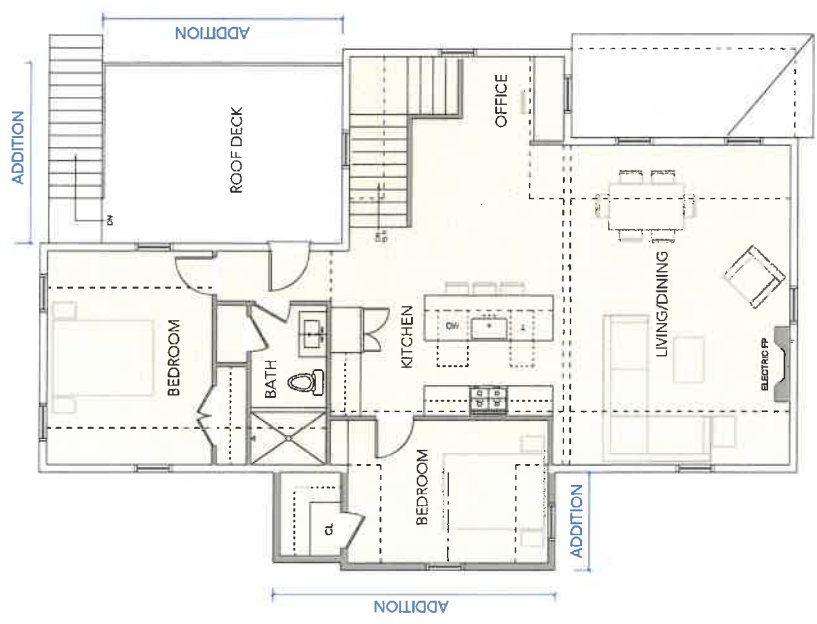
architect
GRAF ARCHITECTS
 76 State Street, 3rd Fl
 Newburyport, MA
 01950
 T: 978-497-9442
 www.grafarch.com

title:
HISTORIC HOUSE
 Proposed
 Second Floor Plan
 + Roof Plan

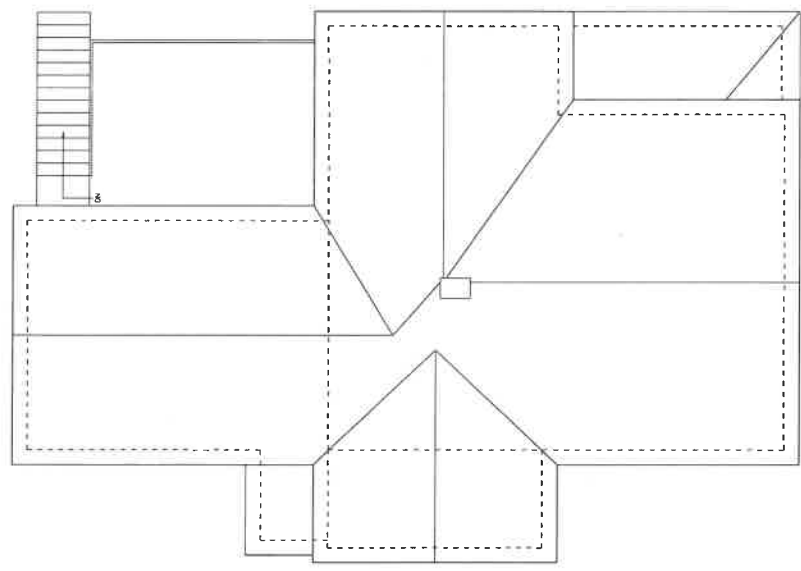
SCALE: 1/8" = 1'-0"
 6 april 2026

A02

19 Prospects Street
 01950
 10/26/2025



1 Second Floor Plan - PROPOSED
 SCALE: 1/8" = 1'-0"



2 Roof Plan - PROPOSED
 SCALE: 1/8" = 1'-0"

project:
19 PROSPECT
STREET
Amesbury, MA

19 PROSPECT
STREET
Amesbury, MA

GRAF
ARCHITECTS
76 State Street
Newburyport, MA
01950
T. 978.499.9442
www.grafarch.com



of ridge, exact locations TBD

Pella Clad 2/2 DH Windows, or equal

Architectural Roof Shingles

Cedar Clapboards, Keep Original If Extg and Salvagable, Restore as Needed, 4" to weather

Brick Veneer

Composite Newels + Railing

MAHOGANY DECKING + STEPS

Wood Newel Post + Railing

FRONT EXTERIOR LANTERNS - DARK SKY COMPLIANT JAMESTOWNE TRANSITIONAL LIGHT, BLACK, OR EQUAL

GAF ARCHITECTURAL ROOF SHINGLE, OR EQUAL

TITLE: HISTORIC HOUSE Existing + Proposed Exterior Elevations

SCALE: 1/8" = 1'-0"

6 APRIL 2026

HISTORIC HOUSE
Existing + Proposed
Exterior Elevations

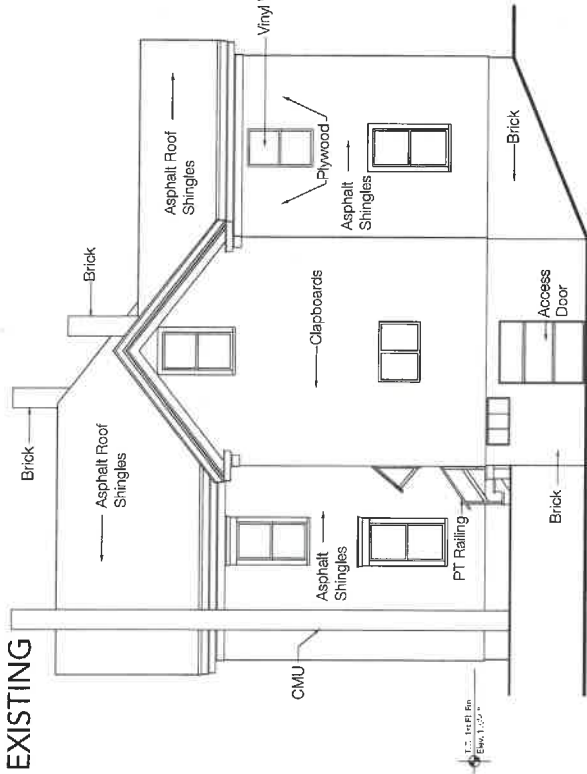
SCALE: 1/8" = 1'-0"

A03

10. $\text{Fe} + \text{H}_2\text{SO}_4 \rightarrow \text{FeSO}_4 + \text{H}_2$

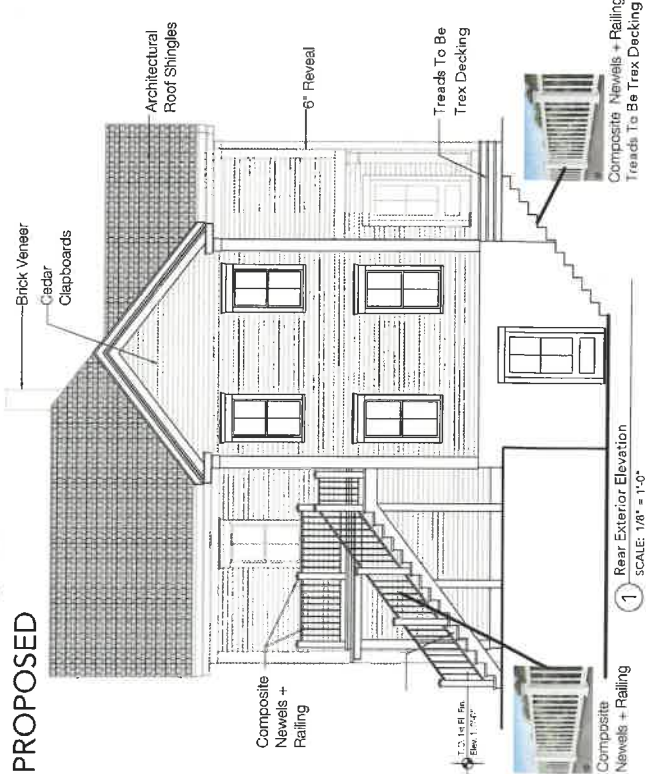


EXISTING



1 Rear Exterior Elevation
SCALE: 1/8" = 1'-0"

PROPOSED



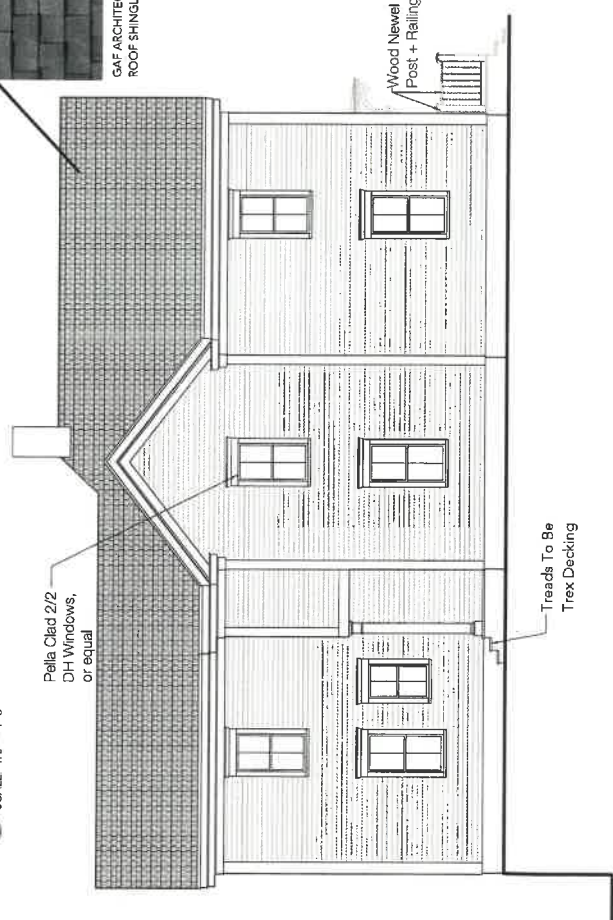
1 Rear Exterior Elevation
SCALE: 1/8" = 1'-0"



2 Side Exterior Elevation
SCALE: 1/8" = 1'-0"



GAF ARCHITECTURAL
ROOF SHINGLE, OR EQUAL



2 Side Exterior Elevation
SCALE: 1/8" = 1'-0"

project

19 PROSPECT
STREET
Amesbury, MA

architect

GRAF
ARCHITECTS
76 State Street
Newburyport, MA
01950
T 978 499 9442
www.grafarch.com

title

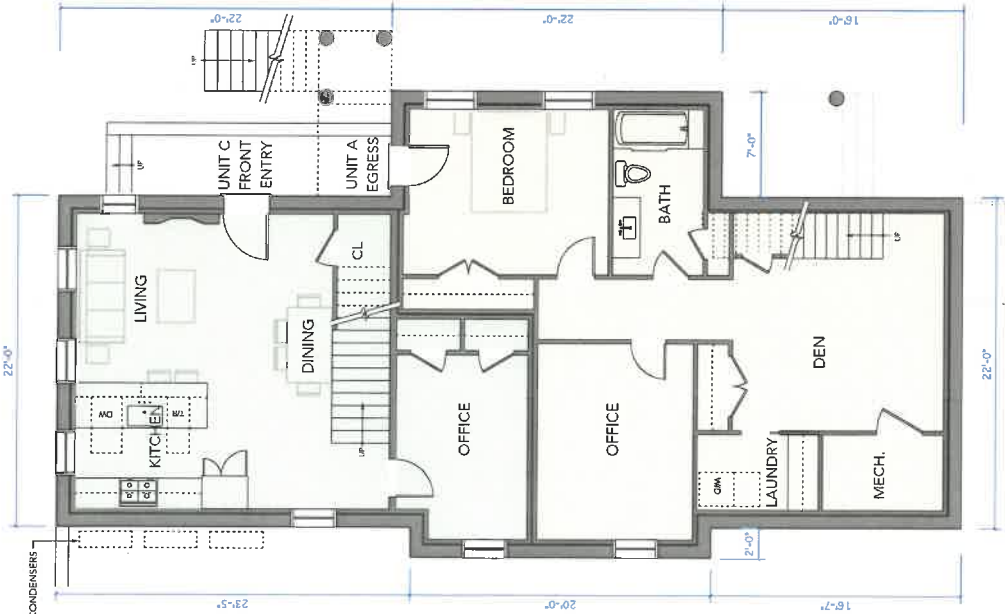
HISTORIC HOUSE
Existing + Proposed
Exterior Elevations

SCALE: 1/8" = 1'-0"
6 April 2026

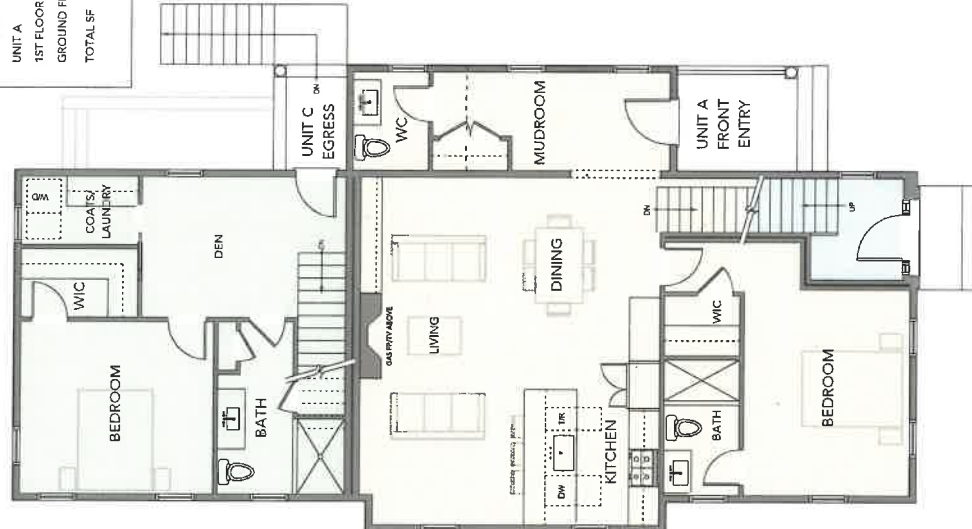
A04

19 Prospekt St. Amesbury, MA 01950

Project			
19 PROSPECT STREET			
Amesbury, MA			
architect			
GRAF ARCHITECTS 76 State Street, 3rd FL Newburyport, MA 01950 T. 978 499 9462 www.grafarch.com			
title: NEW RESIDENCE Ground Floor Plan + First Floor Plan			
SCALE: 1/8" = 1'-0" 6 april 2028			
A05			
SF CALCULATIONS UNIT A 1ST FLOOR 861 SF GROUND FLOOR 744 SF TOTAL SF 1,605 SF UNIT B 1ST FLOOR 41 SF 2ND FLOOR 1135 SF 3RD FLOOR 746 SF TOTAL SF 1,923 SF UNIT C 1ST FLOOR 454 SF LOWER LEVEL 536 SF TOTAL SF 990 SF			



1 Ground Floor Plan - PROPOSED
SCALE 1/8" = 1'-0"



2 First Floor Plan - PROPOSED
SCALE 1/8" = 1'-0"

project

19 PROSPECT
STREET
Amesbury, MA

architect

GRAF
ARCHITECTS
76 State Street, 3rd FL
Newburyport, MA
01950
T: 978 692 9442
www.grafarch.com

title

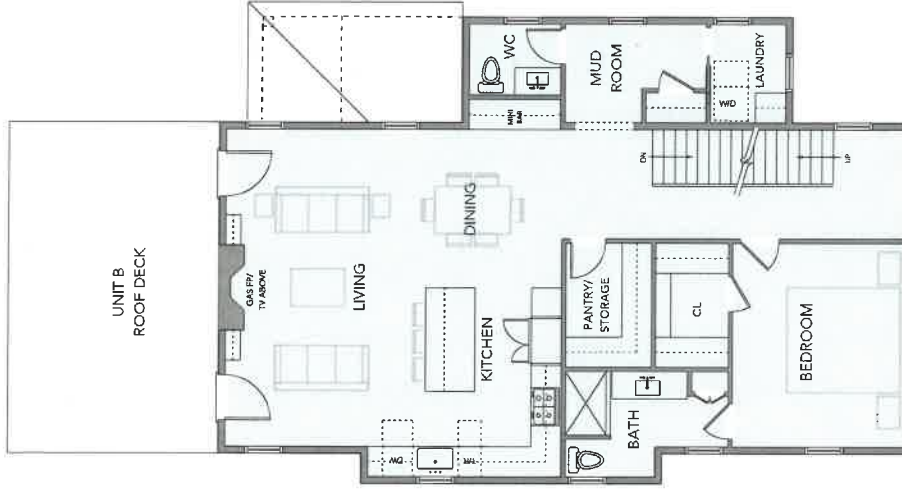
NEW RESIDENCE
Second + Third
Floor Plans

SCALE: 1/8" = 1'-0"
6 april 2026

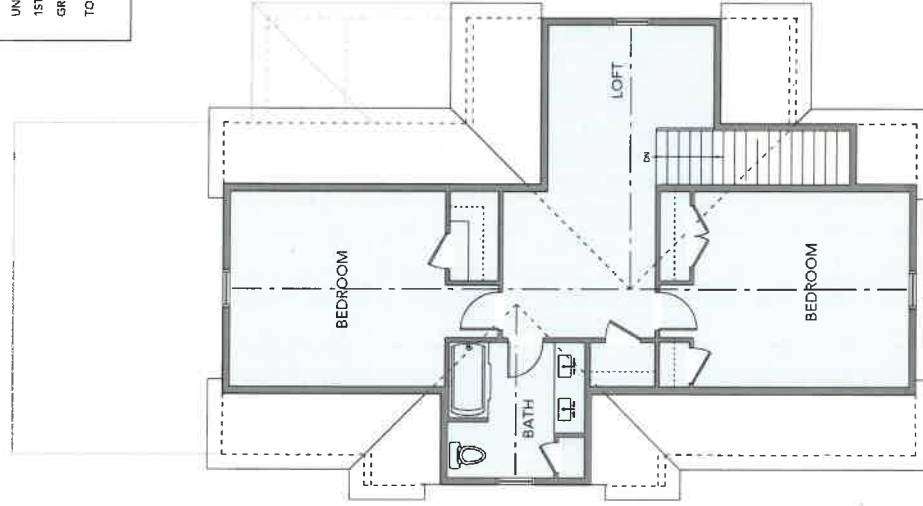
A06

SF CALCULATIONS

UNIT A	UNIT B	UNIT C
1ST FLOOR	1ST FLOOR	1ST FLOOR
861 SF	41 SF	454 SF
GROUND FLOOR	2ND FLOOR	LOWER LEVEL
744 SF	1136 SF	536 SF
TOTAL SF	3RD FLOOR	TOTAL SF
1,605 SF	746 SF	990 SF
	TOTAL SF	
	1,923 SF	



1 Second Floor Plan - PROPOSED
SCALE: 1/8" = 1'-0"



2 Third Floor Plan - PROPOSED
SCALE: 1/8" = 1'-0"

Project

19 PROSPECT
STREET
Amesbury, MA

architect

GRAPH
ARCHITECTS
76 State Street, 3rd FL
Newburyport, MA
01950
T 978 459 9442
www.grapharch.com

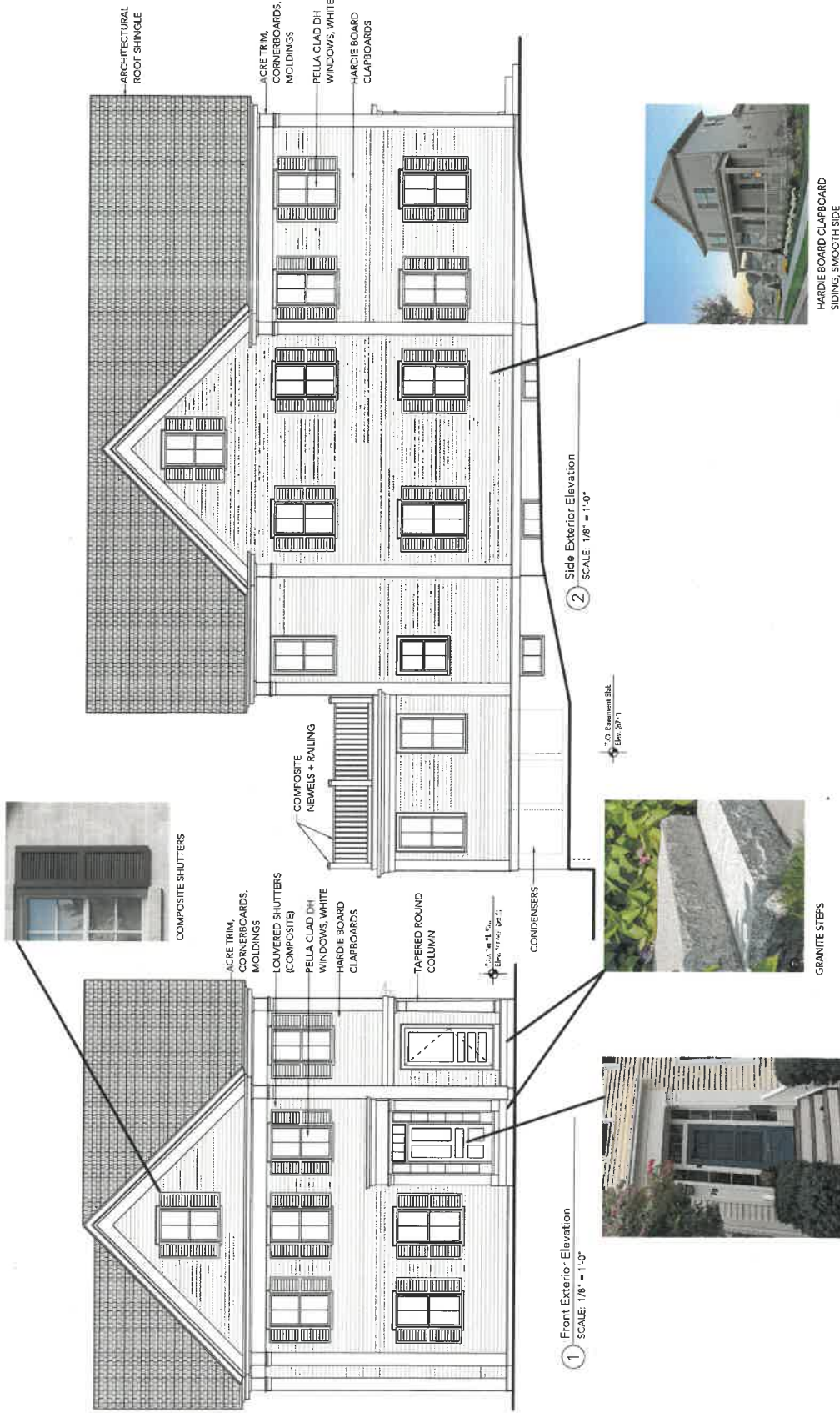
title:

NEW RESIDENCE
Exterior Elevations

SCALE: 1/8" = 1'-0"
6 april 2026

A07

Project: 19 Prospect Street, Amesbury, MA



19 PROSPECT
STREET
Amesbury, MA

architect:

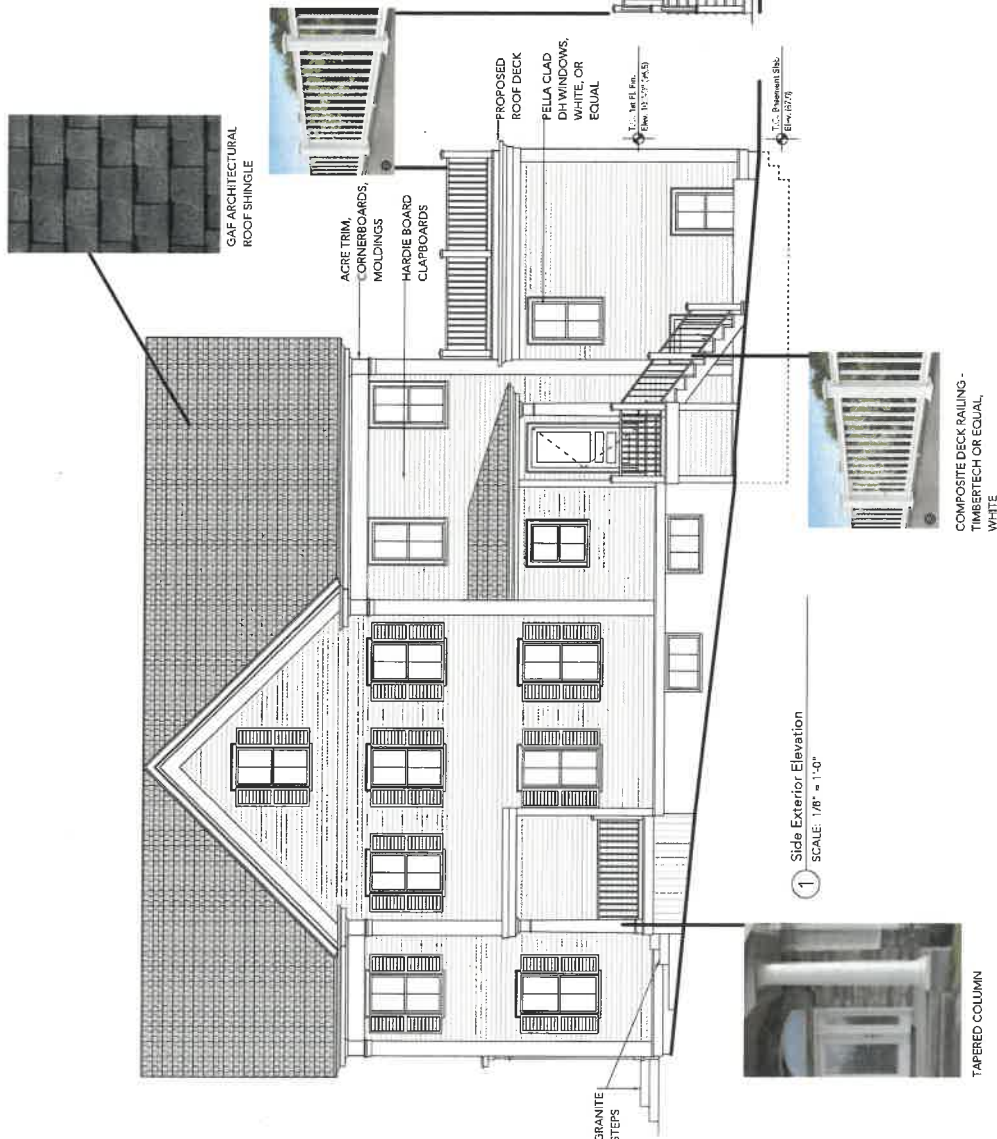
**GRAF
ARCHITECTS**
76 State Street, 3rd FL
Newburyport, MA
01950
T. 978.499.9442
www.grafarch.com

title: NEW RESIDENCE
Exterior Elevations

SCALE: 1/8" = 1'-0"

A08

Printed on acid-free paper



Project

19 PROSPECT STREET

Amesbury, MA

architect

GRAF
ARCHITECTS
76 State Street, 3rd FL
Newburyport, MA
01950
T 978 499 9442
www.grafarch.com

title

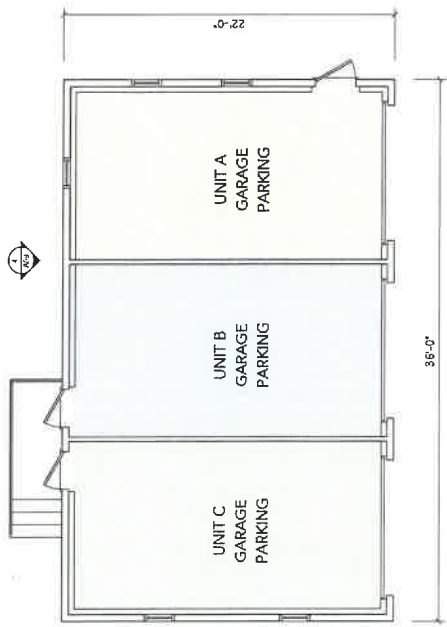
NEW RESIDENCE
GARAGE
Floor Plan +
Exterior Elevations

SCALE: 1/8" = 1'-0"
9 april 2026

A09

19 Prospect Street, Newburyport, MA 01950

SF CALCULATIONS			
UNIT A GARAGE	UNIT B GARAGE	UNIT C GARAGE	
242 SF	242 SF	242 SF	242 SF



COMPOSITE GARAGE DOORS,
ARTISAN CUSTOM
DOORWORKS, OR EQUAL

ARCHITECTURAL
ROOF SHINGLES



COMPOSITE GARAGE DOORS,
ARTISAN CUSTOM DOORWORKS,
OR EQUAL SWING STYLE
OVERHEAD CARRIAGE DOOR

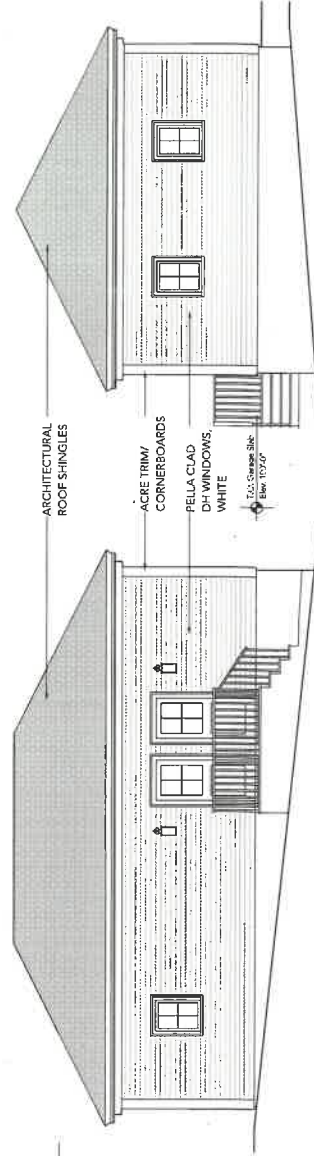
PELLA CLAD
DH WINDOWS,
WHITE

ACRE TRIM/
CORNERBOARDS
CEDAR
CLAPBOARDS

1/2" Garage Sill
Box 102.0"

2 Front Elevation
SCALE: 1/8" = 1'-0"

3 Side Elevation
SCALE: 1/8" = 1'-0"

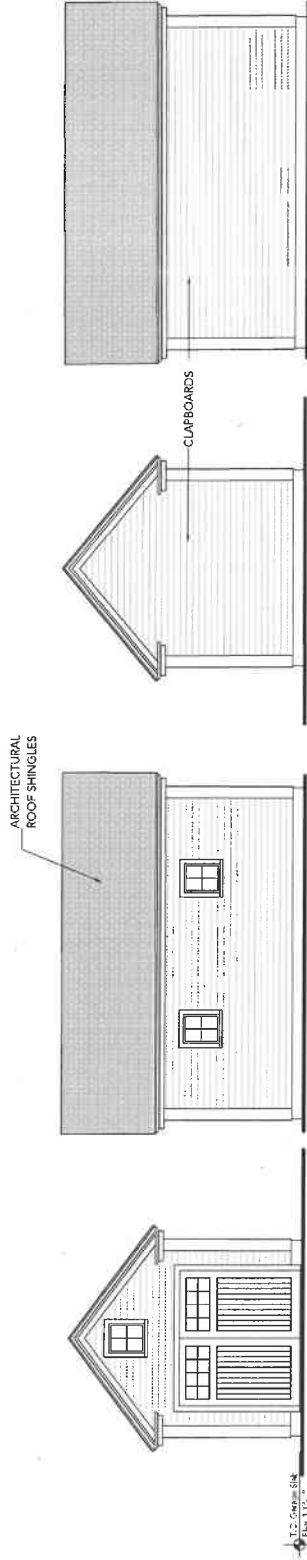


4 Rear Elevation
SCALE: 1/8" = 1'-0"

5 Side Elevation
SCALE: 1/8" = 1'-0"

MEAN BUILDING HEIGHT
13'

project:
19 PROSPECT STREET
Amesbury, MA



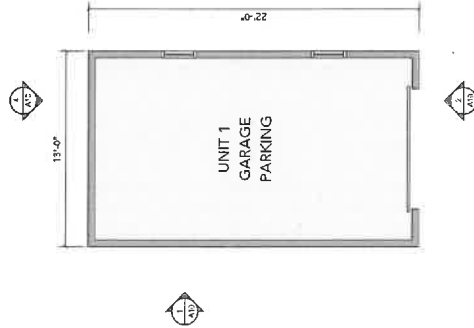
1 Front Exterior Elevation
SCALE: 1/8" = 1'-0"

2 Side Exterior Elevations
SCALE: 1/8" = 1'-0"

3 Rear Exterior Elevations
SCALE: 1/8" = 1'-0"

4 Side Exterior Elevations
SCALE: 1/8" = 1'-0"

architect:
GRAF
ARCHITECTS
76 State Street, 3rd FL
Newburyport, MA
01950
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5 1 Car Garage Floor Plan
SCALE: 1/8" = 1'-0"

title:
HISTORIC HOUSE
GARAGE
Floor Plan +
Exterior Elevations

SCALE: 1/8" = 1'-0"
6 April 2026

A10

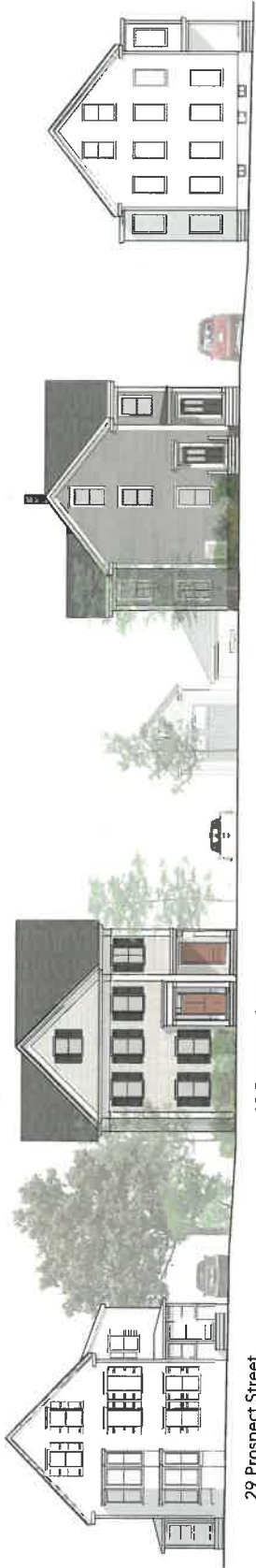
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Scale: 1/8" = 1'-0"

project

19 PROSPECT STREET
Amesbury, MA

architect

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29 Prospect Street

19 Prospect Street -
New Residence

19 Prospect Street -
Historic Home

15 Prospect Street

issued:

title:

Street Elevation

SCALE: 1/16" = 1'-0"
13 February 2026

A11

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project:
19 PROSPECT STREET
 Amesbury, MA

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 PO Box 888
 Essex, MA 01929
 T. 978.890.7100

issue #:

title:
Landscape Plan

SCALE: 1/16" = 1'-0"
 6 APRIL 2025

L01

DATE: 6 APRIL 2025



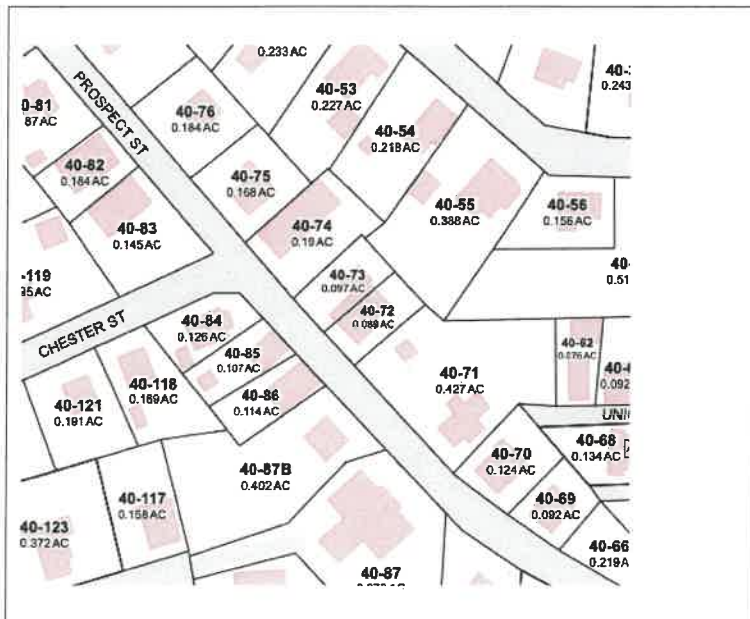
FORM B – BUILDING

MASSACHUSETTS HISTORICAL COMMISSION
MASSACHUSETTS ARCHIVES BUILDING
220 MORRISSEY BOULEVARD
BOSTON, MASSACHUSETTS 02125

Photograph



Locus Map



Recorded by: Aileen Graf

Organization: Graf Architects

Date (month / year): 1/2026

Assessor's Number USGS Quad Area(s) Form Number

40-71

Newburyport
West

Town/City: Amesbury

Place: (neighborhood or village):

Address: 19 Prospect Street

Historic Name: Albert W. Todd House

Uses: Present: Multiple Family Dwelling

Original: Multiple Family Dwelling

Date of Construction: c. 1870

Source: Assessor's database

Style/Form: Italianate

Architect/Builder: Not determined

Exterior Material:

Foundation: brick

Wall/Trim: wood clapboard, asphalt shingle

Roof: asphalt shingle

Outbuildings/Secondary Structures:
Shed

Major Alterations (with dates):

Left side wing addition (between 1880 & 1901) OR
AFTER 1909 per Sanborn.
Replacement sash & doors (early 21st c.)

Condition: Fair

Moved: no ☒ yes ☐ Date:

Acreage: .43

Setting: Mid-19th c. residential neighborhood

INVENTORY FORM B CONTINUATION SHEET

AMESBURY

19 PROSPECT STREET

MASSACHUSETTS HISTORICAL COMMISSION

220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

Area(s) Form No.

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☐ Recommended for listing in the National Register of Historic Places.

If checked, you must attach a completed National Register Criteria Statement form.

Use as much space as necessary to complete the following entries, allowing text to flow onto additional continuation sheets.

ARCHITECTURAL DESCRIPTION:

Describe architectural features. Evaluate the characteristics of this building in terms of other buildings within the community.

The building at 19 Prospect Street is a c. 1870 modest interpretation of the Italianate style, located in a predominantly late-19th and early-20th century neighborhood. The neighborhood is dominated by the Prospect Street School (AME.379) constructed directly across the street, sometime between 1872 and 1885.

The building is a two-family dwelling located on the northeast side of the road, just setback from the sidewalk, at the southeast corner of a large, irregular shaped lot. A paved driveway is located along the right (southeast) elevation; another paved driveway is located to the left (northwest) which is integral to a large, paved parking area that extends along the road, roughly to the northwest property line. The remainder of the property is lawn which slopes down to the rear.

The two-and-a-half story, cross-gable building is comprised of a prominent, gabled elevation facing the street (southwest), a side gabled wing to the right (southeast), and a gabled rear span (northeast) which is shorter in height and narrower in width than the front. Sometime after 1909, a gabled wing was added to the left (northwest) side of the house which is also slightly shorter and narrower than the front span.¹ A single-story porch occupies the full depth and width between the primary elevation and the right wing.

The overhanging roof gables feature a heavy cornice with returns and a plain wood frieze. A narrow red brick chimney punctuates the asphalt shingle roof and the foundation is red brick. Throughout, cladding is beige asphalt shingle over painted wood clapboard. Windows are replacement vinyl, one-over-one, double hung with flat, wood surrounds and shallow hoods. Entrance doors are replacement metal doors except for the side porch door in the southeast elevation which is likely original and features tall, narrow glazed arches in the upper portion and wood panels below.

By 1885 a two-story, wood framed stable had been constructed just off the northeast corner of the dwelling. By 1909, it appears that the stable was replaced with, or adapted for use as, a two-story, wood framed dwelling which was linked to the main house by a small addition to the rear. The dwelling had an address of 9 Prospect at this time, while the new dwelling to the northeast was identified as 9 ½ and a one-and-a-half story wood frame shed in the rear yard was identified as 9 ¼. At least by 1971, the dwelling to the northeast was removed. The small addition at the rear of 19 Prospect is also no longer extant.

HISTORICAL NARRATIVE

Discuss the history of the building. Explain its associations with local (or state) history. Include uses of the building, and the role(s) the owners/occupants played within the community.

According to deed research, Albert W. Todd purchased three pieces of land, two on the northeast side of what is now Prospect Street and one behind, at the end of Union Court, in 1868 and 1869. Soon after, he constructed the dwelling, one of the first on the street. At that time, this neighborhood was part of Salisbury; it was annexed to Amesbury in 1886.

Albert W. Todd (b. 1842 – d. 1925) was married to Emily Bradbury from 1868 until her death in 1875. They had three children - William, Albert, and Emily. Todd was a carpenter and floor manufacturer who presumably constructed this, and other Amesbury dwellings. He operated the A.W. Planing Mill from the steam powered Colchester Mill, located at 85 Elm Street, now demolished. Todd's mill was one of several that supported Amesbury's carriage, and later auto body, businesses.

¹ The wing to the northwest does not appear on the 1909 Sanborn map. It is evident in a 1956 historic aerial view.

INVENTORY FORM B CONTINUATION SHEET

AMESBURY

19 PROSPECT STREET

MASSACHUSETTS HISTORICAL COMMISSION

220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

Area(s) Form No.

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By at least 1894, Albert and his brother, Charles V., were both living at 19 Prospect (then 9 Prospect) with their families. It is likely that one of the families occupied the wood framed dwelling to the rear. During the early 20th century, both dwellings functioned as boarding houses. The 1912 directory, for example, listed Francis (stenographer), John (clerk), and Peter J. Moran (painter) as boarders at 9 Prospect. That same year, Alfred (civil engineer), Florence (shoe packer), and Robert Bradshaw (carpenter) were boarders at 9 ½ Prospect. By then, Alfred W. Todd had relocated to 31 Cedar Street, where he lived until his death in 1925. He had been an Amesbury resident for over 60 years. Albert's son, William M. Todd, ultimately acquired the dwelling at 19 Prospect and the three original parcels from his father and siblings, and in 1947 sold it out of the family.

BIBLIOGRAPHY and/or REFERENCES

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Amesbury Daily News, May 11, 1925
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Ancestry.com (U.S. Marriage Records, Census, Directories, etc.)
Bird's Eye View, 1880, E.H. Bigelow, Framingham, MA
Essex County Atlas, 1884
MHC MACRIS database
Newburyport, Amesbury, and Salisbury Directory, 1874
Sanborn Maps, 1885, 1909, 1918

INVENTORY FORM B CONTINUATION SHEET

MASSACHUSETTS HISTORICAL COMMISSION
220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

AMESBURY

19 PROSPECT STREET

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View from Prospect Street, looking east.

INVENTORY FORM B CONTINUATION SHEET

AMESBURY

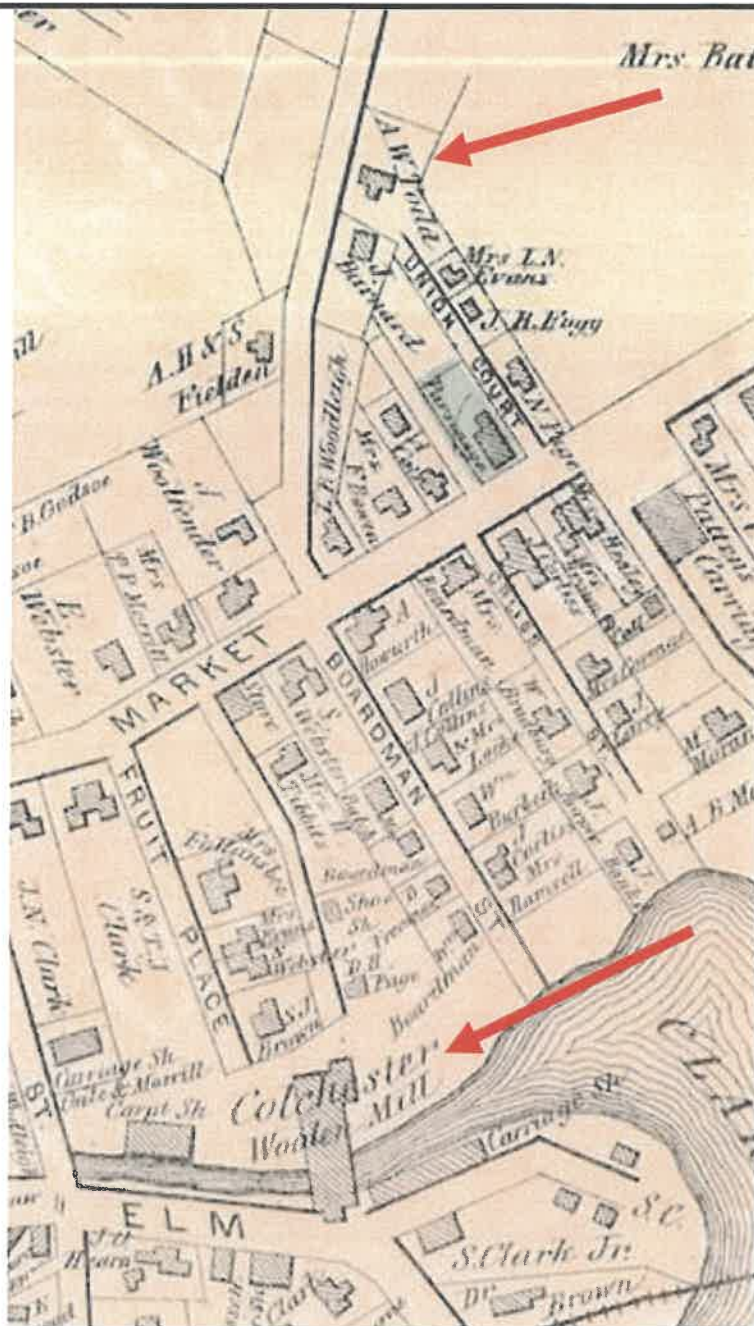
19 PROSPECT STREET

MASSACHUSETTS HISTORICAL COMMISSION

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Detail of 1872 D.G. Beers Atlas showing 19 Prospect Street labeled "A.W. Todd" (top arrow) and "Colchester Woolen Mill," (bottom arrow) where Todd operated the A.W. Planning Mill.

INVENTORY FORM B CONTINUATION SHEET

AMESBURY

19 PROSPECT STREET

MASSACHUSETTS HISTORICAL COMMISSION

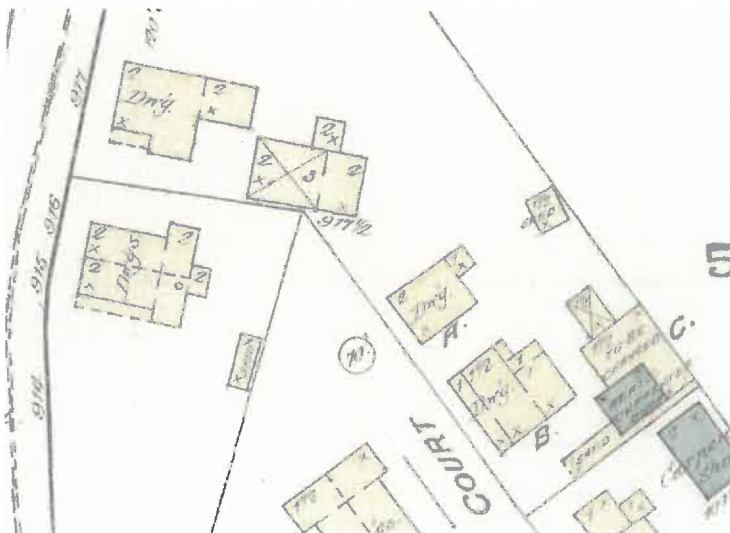
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Detail of 1880 Bird's Eye View.



Detail of 1885 Sanborn Map showing 19 Prospect with an address of 917 and a stable to rear with an address of 917 1/2.



Detail of 1909 Sanborn Map showing 19 Prospect with an address of 9 and the addition of a dwelling to rear with an address of 9 1/2. Note the small, two-story addition to the rear of 19 Prospect.