

SITE DEVELOPMENT PLANS

FOR

201 ELM STREET & 6 MONROE STREET

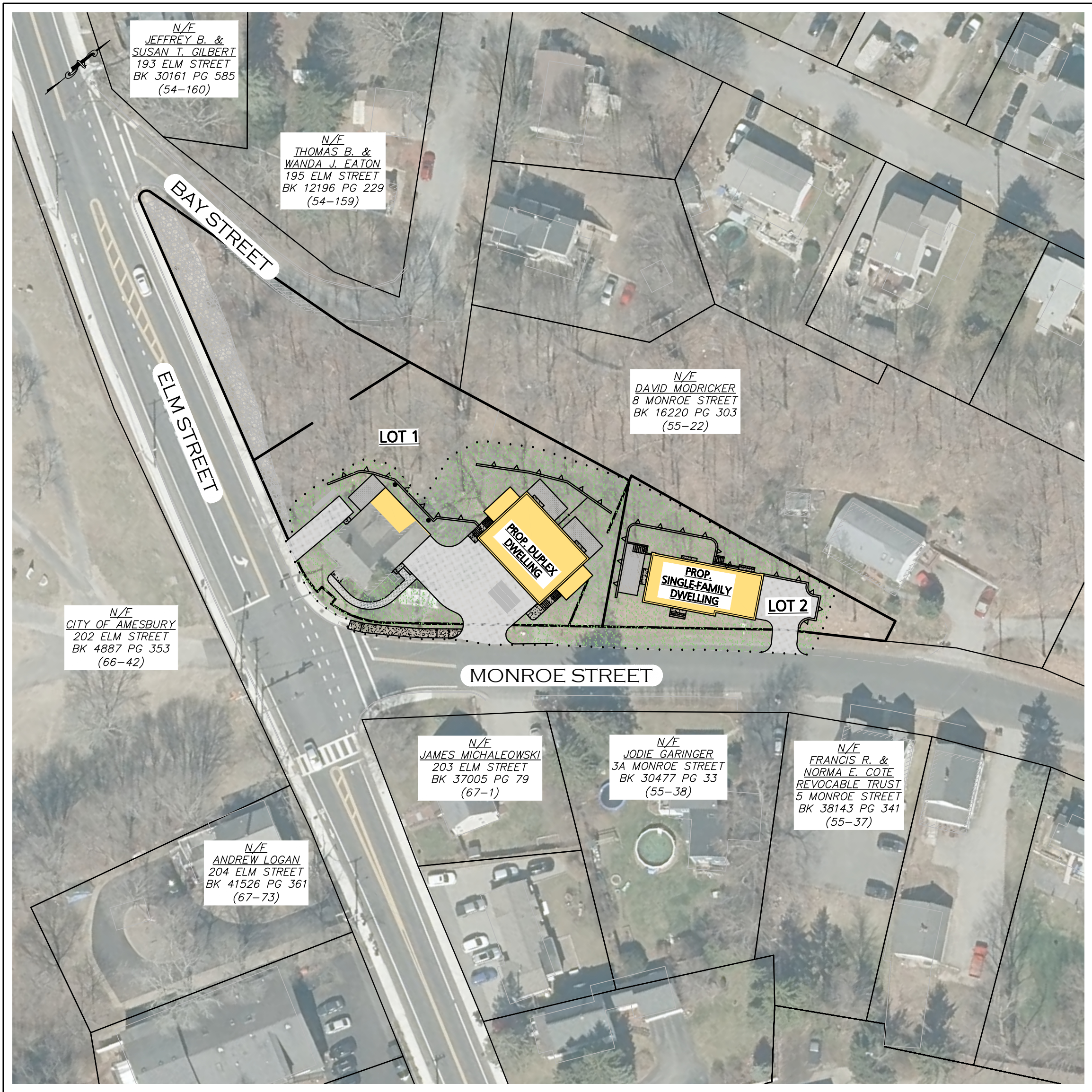
(MAP 66 / LOT 61 & MAP 55 / LOT 24)
AMESBURY, MASSACHUSETTS 01913

NOTES:

- LOCATION: 201 ELM STREET (PARCEL ID: 66-61)
6 MONROE STREET (PARCEL ID: 55-24)
- DEED: SOUTHERN ESSEX
REGISTRY OF DEEDS
BOOK 42186 PAGE 190
- ZONE: RESIDENCE 8 (R8)
- USE: SINGLE FAMILY RESIDENTIAL
- OWNER/APPLICANT 66-61/55-24
RIVERS EDGE DEVELOPMENT LLC
201 ELM ST.
AMESBURY, MA
- EXISTING CONDITIONS INFORMATION GENERATED FROM
RECORD DOCUMENTS, READILY AVAILABLE INFORMATION AS
WELL AS AN ON THE GROUND SURVEY PERFORMED BY
CIVIL DESIGN CONSULTANTS, INC. IN JULY 2024.
- PROPERTY IS NOT LOCATED WITHIN A DESIGNATED FLOOD
HAZARD AREA PER FLOOD INSURANCE RATE MAP NUMBER
25009C0106F DATED JULY 3, 2012.
- PLAN BEARINGS ARE BASED UPON THE MASSACHUSETTS
STATE PLANE COORDINATE SYSTEM (NAD83) - MAINLAND
ZONE, PER GPS OBSERVATIONS.
- ALL ELEVATIONS REFER TO THE NORTH AMERICAN
VERTICAL DATUM (NAVD88), PER GPS OBSERVATIONS.
- UTILITY LOCATIONS ARE SHOWN PER READILY AVAILABLE
RECORD INFORMATION AND OBSERVABLE FIELD EVIDENCE.
OTHER UNDERGROUND UTILITIES MAY EXIST WHICH ARE
NOT SHOWN ON THIS PLAN. CDCI MAKES NO CLAIM TO
THE ACCURACY OR COMPLETENESS OF UTILITY
INFORMATION. 72 HOURS PRIOR TO ANY EXCAVATION ON
SITE, THE CONTRACTOR SHALL CONTACT DIG-SAFE AT
811.
- UPON COMPLETION OF CONSTRUCTION ACTIVITIES, THE
CONTRACTOR SHALL PREPARE AND PROVIDE AS-BUILT
DRAWINGS CONFORMING TO THE CITY'S SUBMISSION
STANDARDS.
- PERMITS:
 - SITE PLAN REVIEW
 - HISTORIC PRESERVATION SPECIAL PERMIT
- WAIVERS TO TABLE OF DIMENSIONAL AND DENSITY
REGULATIONS (SECTION VI OF AMESBURY ZONING
ORDINANCE):
 - TO REDUCE MINIMUM FRONT YARD SETBACK ON BOTH
LOTS (EX. SINGLE-FAMILY HOUSE, PROP. DUPLEX, PROP.
SINGLE-FAMILY HOUSE)
 - TO REDUCE MINIMUM SIDE YARD SETBACK ON LOT 1
(PROP. DUPLEX)
 - TO REDUCE MINIMUM REAR YARD SETBACK ON LOT 2
(PROP. SINGLE-FAMILY HOUSE)
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONSTRUCT
ALL IMPROVEMENTS IN STRICT COMPLIANCE WITH THE
APPROVED PLANS AND PERMIT CONDITIONS. ANY
CHANGES TO THE PLANS SHOULD BE PRESENTED TO THE
PROJECT ENGINEER PRIOR TO CONSTRUCTION.
- THE PROJECT ENGINEER MUST BE ATTEND THE
PRE-CONSTRUCTION MEETING WITH THE SITE CONTRACTOR
AND THE TOWN.
- MINIMUM REQUIRED INSPECTION SCHEDULE TO ADDRESS
THE AS-BUILT SUBMITTAL REQUIREMENTS NOTED IN THE
PERMITS REFERENCED ABOVE, THE FOLLOWING ITEMS
REQUIRE CONSTRUCTION PERIOD DOCUMENTATION,
CONSTRUCTION LAYOUT, AS-BUILT LOCATION OR PHYSICAL
ON-SITE INSPECTION. THE CONTRACTOR SHALL PROVIDE
CDCI WITH A MINIMUM OF 48-HOURS NOTICE. FAILURE
TO COORDINATE WITH THIS OFFICE TO PERFORM THE
FOLLOWING SERVICES WILL RESULT IN AN INABILITY TO
ADDRESS THE AS-BUILT SUBMITTAL REQUIREMENTS.
- PRE-CONSTRUCTION
 - SET CONSTRUCTION CONTROL, SET TEMPORARY
BENCHMARKS AND LAYOUT LIMIT OF CLEARING AND/OR
EROSION CONTROL.
 - STAKE-OUT ALL PROPERTY CORNERS ADJACENT TO
PROPOSED CONSTRUCTION.
 - STAKE-OUT AND FLAG STORMWATER MANAGEMENT
SYSTEM.
- STORMWATER
 - STAKE-OUT ALL STORMWATER BMPS'S
 - OBSERVE AND LOCATE THE BOTTOM OF EXCAVATION FOR
STORMWATER MANAGEMENT SYSTEMS.
 - AS-BUILT BMP'S UPON THE COMPLETION OF ROUGH
GRADING (PRIOR TO PLACEMENT OF LOAM)
 - MONITOR PONDS DURING CONSTRUCTION TO ENSURE
DRAINS W/IN 72-HOURS.

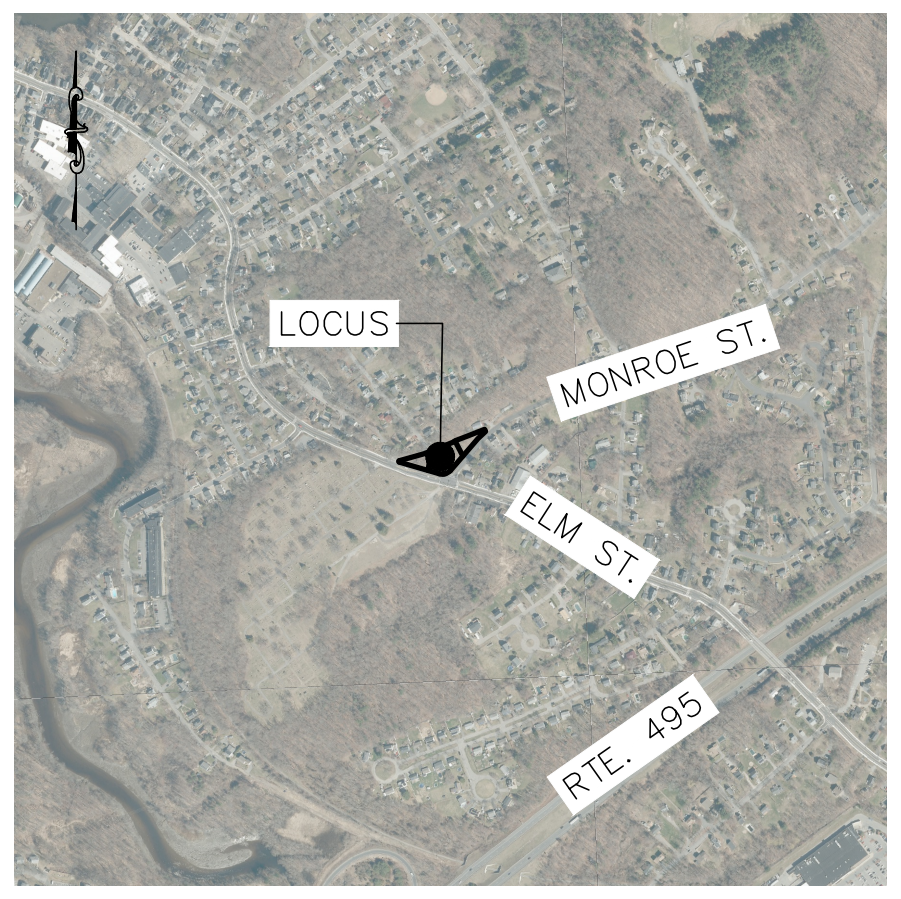
REFERENCE PLANS:

- "AMESBURY, MASS. SUBDIVISION OF LAND" BY REID LAND
SURVEYORS, DATED APRIL 25, 1989 AND RECORDED AT
THE SOUTHERN ESSEX REGISTRY OF DEEDS ON DECEMBER
15, 2004. AS PLAN BOOK 383 PAGE 50.
- DATE ISSUED:
 - C-1 COVER SHEET 02/24/25
 - C-2 EXISTING CONDITIONS PLAN 02/24/25
 - C-3 LAYOUT & MATERIALS PLAN 02/24/25
 - C-4 GRADING & DRAINAGE PLAN 02/24/25
 - C-5 UTILITIES PLAN 02/24/25
 - D-1 CONSTRUCTION DETAILS 02/24/25
 - D-2 CONSTRUCTION DETAILS 02/24/25



LOCUS MAP

(SCALE: 1:1,000)



USGS MAP

(SCALE: 1:1,000)



LEGEND

PROPERTY LINE	_____
ABUTTERS PROPERTY LINE	_____
PROPOSED DRAIN	— D — D — D —
PROPOSED SEWER	— S — S — S —
PROPOSED WATER	— W — W — W —
PROPOSED TREE LINE	~~~~~
PROPOSED PROPERTY LINE	_____
PROPOSED PAVEMENT	▨▨▨▨▨▨▨▨▨▨
PROPOSED CONCRETE	▨▨▨▨▨▨▨▨▨▨
PROPOSED CONTOUR	145
PROP. ELEC., TELE., COMM.	— ETC — ETC —
PROPOSED LANDSCAPE AREA	▨▨▨▨▨▨▨▨▨▨
PROPOSED STRUCTURE	▨▨▨▨▨▨▨▨▨▨
PROPOSED EDGE OF PAVE.	_____
PROPOSED SEWER MANHOLE	⊙
PROPOSED SEWER CLEANOUT	●
PROPOSED SILT FENCE	✱
PROPOSED SPOT GRADE	⌵ 61.00
PROPOSED WATER SHUT OFF	⌵ 61.00
PROPOSED RETAINING WALL	— Δ Δ Δ Δ —

DATE
REVISIONS

DESCRIPTION

APPLICANT: RIVER'S EDGE
DEVELOPMENT, LLC
88 ELM STREET
SALISBURY, MA 01952

PROJECT: 201 ELM STREET &
6 MONROE STREET
AMESBURY, MA 01913

DATE ISSUED: FEBRUARY 24, 2025

PROJECT #: 25-10704

PREPARED BY: MAC

ISSUED FOR REVIEW
FEBRUARY 24, 2025

PROFESSIONAL ENGINEER FOR CIVIL DESIGN
CONSULTANTS, INC.

CIVIL
DESIGN
CONSULTANTS, INC.

344 North Main Street | Andover - MA 01810
(978) 416-0920 | www.civildci.com

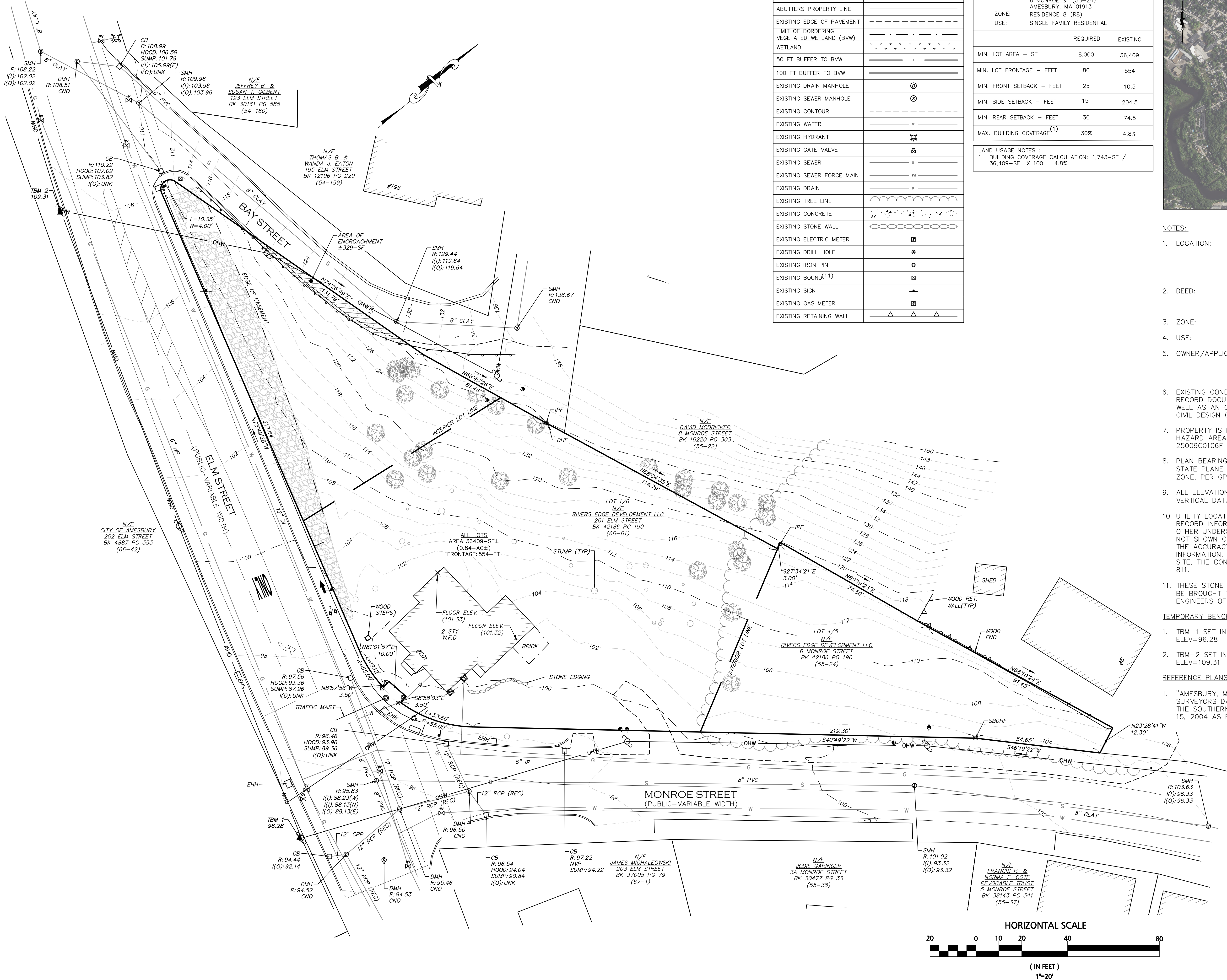
DRAWING TITLE:

COVER SHEET

DRAWING #:

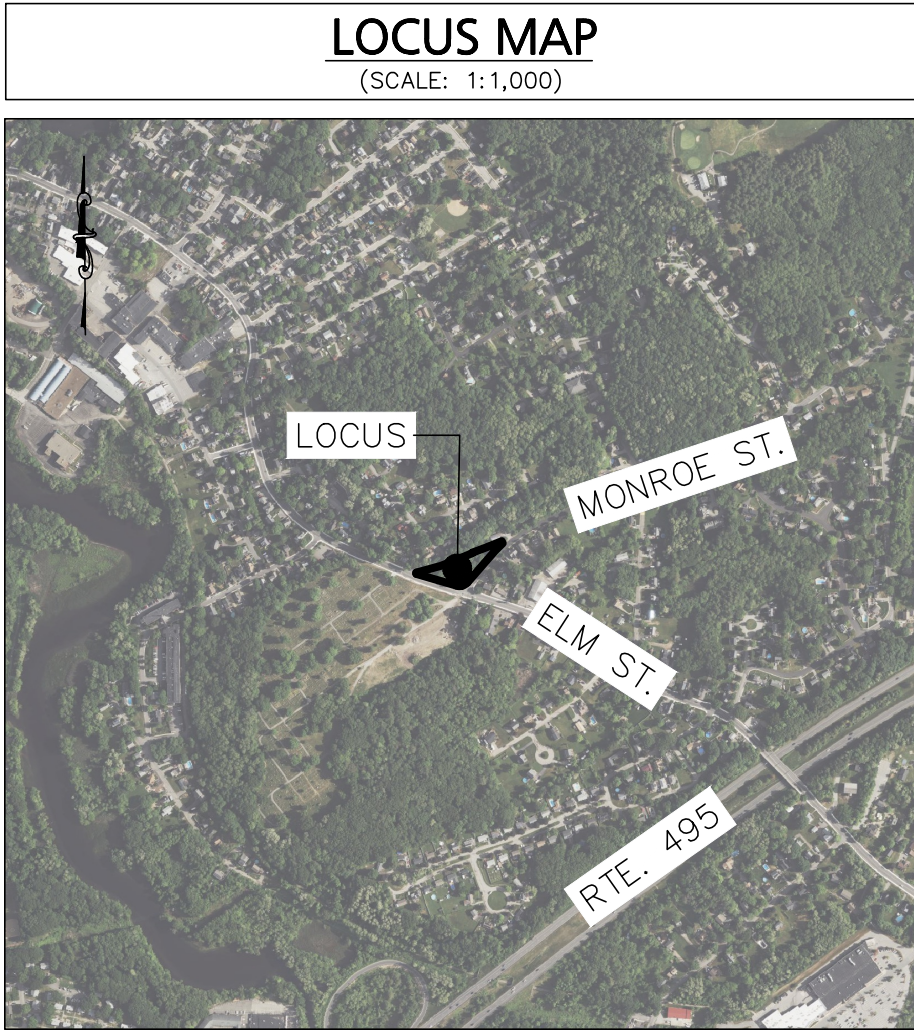
C-1

ISSUED FOR REVIEW: FEBRUARY 24, 2025



LEGEND	
PROPERTY LINE	—
ABUTTERS PROPERTY LINE	—
EXISTING EDGE OF PAVEMENT	- - - - -
LIMIT OF BORDERING VEGETATED WETLAND (BVW)	- · - · - · -
WETLAND	· · · · ·
50 FT BUFFER TO BVW	— · — · — · —
100 FT BUFFER TO BVW	— · — · — · —
EXISTING DRAIN MANHOLE	⊙
EXISTING SEWER MANHOLE	⊙
EXISTING CONTOUR	—
EXISTING WATER	—
EXISTING HYDRANT	⊕
EXISTING GATE VALVE	⊕
EXISTING SEWER	—
EXISTING SEWER FORCE MAIN	—
EXISTING DRAIN	—
EXISTING TREE LINE	—
EXISTING CONCRETE	—
EXISTING STONE WALL	—
EXISTING ELECTRIC METER	⊕
EXISTING DRILL HOLE	⊙
EXISTING IRON PIN	⊙
EXISTING BOUND ⁽¹⁾	⊕
EXISTING SIGN	—
EXISTING GAS METER	⊕
EXISTING RETAINING WALL	—

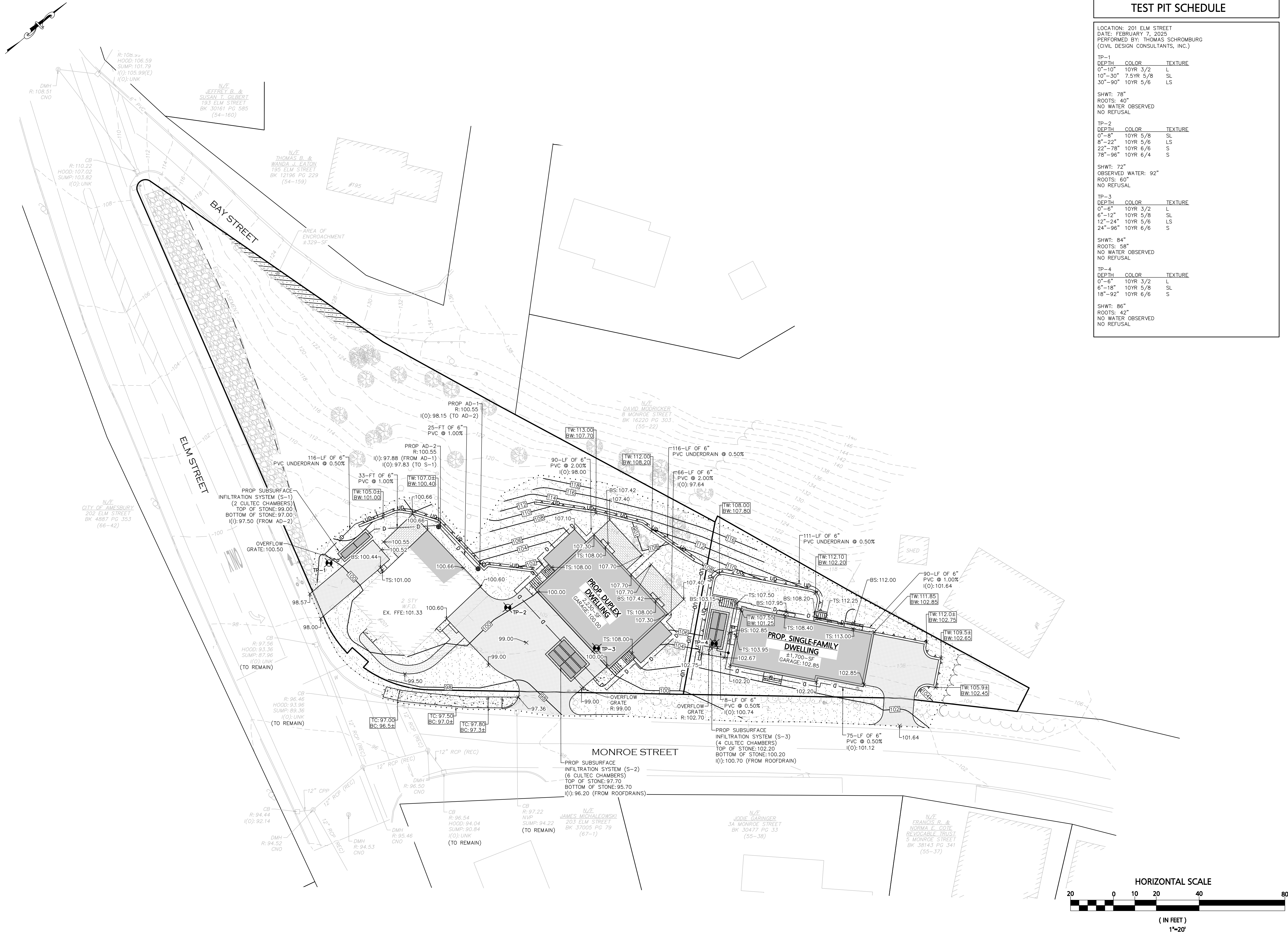
LAND USE TABLE		
LOCATION: 201 ELM ST (66-61) 6 MONROE ST (55-24) AMESBURY, MA 01913		
ZONE: RESIDENCE 8 (R8)		
USE: SINGLE FAMILY RESIDENTIAL		
	REQUIRED	EXISTING
MIN. LOT AREA - SF	8,000	36,409
MIN. LOT FRONTAGE - FEET	80	554
MIN. FRONT SETBACK - FEET	25	10.5
MIN. SIDE SETBACK - FEET	15	204.5
MIN. REAR SETBACK - FEET	30	74.5
MAX. BUILDING COVERAGE ⁽¹⁾	30%	4.8%
LAND USAGE NOTES : 1. BUILDING COVERAGE CALCULATION: 1,743-SF / 36,409-SF X 100 = 4.8%		



- NOTES:
- LOCATION: 201 ELM STREET (PARCEL ID: 66-61)
6 MONROE STREET (PARCEL ID: 55-24)
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 - ZONE: RESIDENCE 8 (R8)
 - USE: SINGLE FAMILY RESIDENTIAL
 - OWNER/APPLICANT: 66-61/55-24
RIVERS EDGE DEVELOPMENT LLC
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AMESBURY, MA
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 - THESE STONE BOUNDS (5) ARE INCORRECT AND SHOULD BE BROUGHT TO THE ATTENTION OF THE AMESBURY ENGINEERS OFFICE.

- TEMPORARY BENCHMARKS:
- TBM-1 SET IN SOUTHWESTERLY FACE OF UP-43 ELEV=96.28
 - TBM-2 SET IN SOUTHEASTERLY FACE OF UP-45 ELEV=109.31
- REFERENCE PLANS:
- "AMESBURY, MASS. SUBDIVISION OF LAND" BY REID LAND SURVEYORS DATED APRIL 25, 1989 AND RECORDED AT THE SOUTHERN ESSEX REGISTRY OF DEEDS ON DECEMBER 15, 2004 AS PLAN BOOK 383 PAGE 50.

DATE	DESCRIPTION
REVISIONS	
OWNER / APPLICANT: RIVERS EDGE DEVELOPMENT LLC 88 ELM STREET AMESBURY, MA 01913	
PROJECT: 201 ELM STREET & 6 MONROE STREET AMESBURY, MA 01913	
DATE ISSUED:	FEBRUARY 24, 2025
PROJECT #:	25-10704
PREPARED BY:	GBB
ISSUED FOR REVIEW FEBRUARY 24, 2025	
PROFESSIONAL LAND SURVEYOR FOR CIVIL DESIGN CONSULTANTS, INC.	
CIVIL DESIGN CONSULTANTS, INC. 344 North Main Street Andover - MA 01810 (978) 416-0920 www.civildci.com	
DRAWING TITLE: EXISTING CONDITIONS PLAN	
DRAWING #: C-2	



TEST PIT SCHEDULE		
LOCATION: 201 ELM STREET DATE: FEBRUARY 7, 2025 PERFORMED BY: THOMAS SCHROMBURG (CIVIL DESIGN CONSULTANTS, INC.)		
TP-1		
DEPTH	COLOR	TEXTURE
0"-10"	10YR 3/2	L
10"-30"	7.5YR 5/8	SL
30"-90"	10YR 5/6	LS
SHWT: 78"		
ROOTS: 40"		
NO WATER OBSERVED		
NO REFUSAL		
TP-2		
DEPTH	COLOR	TEXTURE
0"-8"	10YR 5/8	SL
8"-22"	10YR 5/6	LS
22"-78"	10YR 6/6	S
78"-96"	10YR 6/4	S
SHWT: 72"		
OBSERVED WATER: 92"		
ROOTS: 60"		
NO REFUSAL		
TP-3		
DEPTH	COLOR	TEXTURE
0"-6"	10YR 3/2	L
6"-12"	10YR 5/8	SL
12"-24"	10YR 5/6	LS
24"-96"	10YR 6/6	S
SHWT: 84"		
ROOTS: 58"		
NO WATER OBSERVED		
NO REFUSAL		
TP-4		
DEPTH	COLOR	TEXTURE
0"-6"	10YR 3/2	L
6"-18"	10YR 5/8	SL
18"-92"	10YR 6/6	S
SHWT: 86"		
ROOTS: 42"		
NO WATER OBSERVED		
NO REFUSAL		

DATE	DESCRIPTION
REVISIONS	
APPLICANT: RIVER'S EDGE DEVELOPMENT, LLC 88 ELM STREET SALISBURY, MA 01952	
PROJECT: 201 ELM STREET & 6 MONROE STREET AMESBURY, MA 01913	
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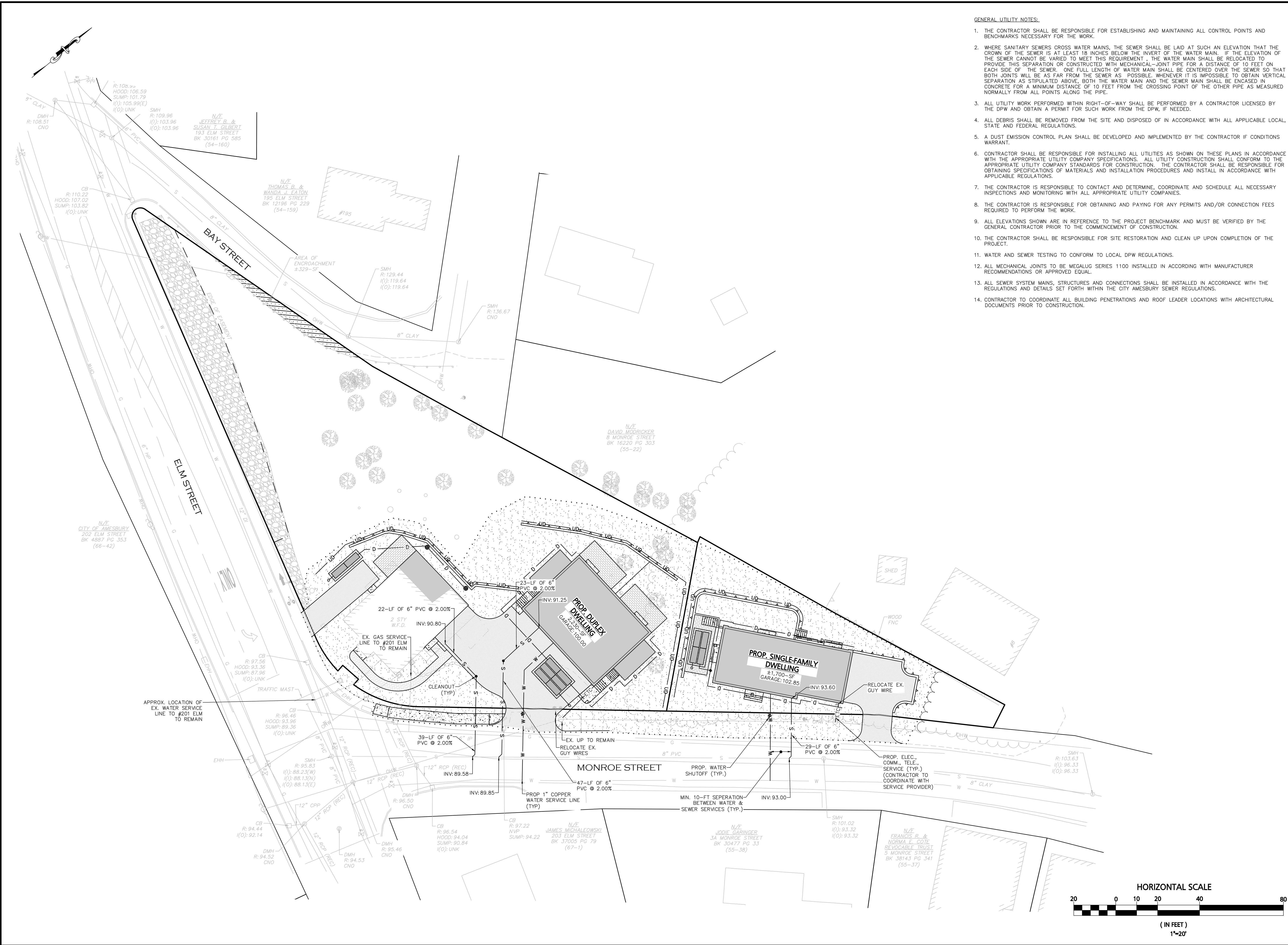
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DRAWING TITLE:
GRADING & DRAINAGE PLAN

DRAWING #:



- GENERAL UTILITY NOTES:
1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING ALL CONTROL POINTS AND BENCHMARKS NECESSARY FOR THE WORK.
 2. WHERE SANITARY SEWERS CROSS WATER MAINS, THE SEWER SHALL BE LAID AT SUCH AN ELEVATION THAT THE CROWN OF THE SEWER IS AT LEAST 18 INCHES BELOW THE INVERT OF THE WATER MAIN. IF THE ELEVATION OF THE SEWER CANNOT BE VARIED TO MEET THIS REQUIREMENT, THE WATER MAIN SHALL BE RELOCATED TO PROVIDE THIS SEPARATION OR CONSTRUCTED WITH MECHANICAL-JOINT PIPE FOR A DISTANCE OF 10 FEET ON EACH SIDE OF THE SEWER. ONE FULL LENGTH OF WATER MAIN SHALL BE CENTERED OVER THE SEWER SO THAT BOTH JOINTS WILL BE AS FAR FROM THE SEWER AS POSSIBLE. WHENEVER IT IS IMPOSSIBLE TO OBTAIN VERTICAL SEPARATION AS STIPULATED ABOVE, BOTH THE WATER MAIN AND THE SEWER MAIN SHALL BE ENCASED IN CONCRETE FOR A MINIMUM DISTANCE OF 10 FEET FROM THE CROSSING POINT OF THE OTHER PIPE AS MEASURED NORMALLY FROM ALL POINTS ALONG THE PIPE.
 3. ALL UTILITY WORK PERFORMED WITHIN RIGHT-OF-WAY SHALL BE PERFORMED BY A CONTRACTOR LICENSED BY THE DPW AND OBTAIN A PERMIT FOR SUCH WORK FROM THE DPW, IF NEEDED.
 4. ALL DEBRIS SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS.
 5. A DUST EMISSION CONTROL PLAN SHALL BE DEVELOPED AND IMPLEMENTED BY THE CONTRACTOR IF CONDITIONS WARRANT.
 6. CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING ALL UTILITIES AS SHOWN ON THESE PLANS IN ACCORDANCE WITH THE APPROPRIATE UTILITY COMPANY SPECIFICATIONS. ALL UTILITY CONSTRUCTION SHALL CONFORM TO THE APPROPRIATE UTILITY COMPANY STANDARDS FOR CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING SPECIFICATIONS OF MATERIALS AND INSTALLATION PROCEDURES AND INSTALL IN ACCORDANCE WITH APPLICABLE REGULATIONS.
 7. THE CONTRACTOR IS RESPONSIBLE TO CONTACT AND DETERMINE, COORDINATE AND SCHEDULE ALL NECESSARY INSPECTIONS AND MONITORING WITH ALL APPROPRIATE UTILITY COMPANIES.
 8. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND PAYING FOR ANY PERMITS AND/OR CONNECTION FEES REQUIRED TO PERFORM THE WORK.
 9. ALL ELEVATIONS SHOWN ARE IN REFERENCE TO THE PROJECT BENCHMARK AND MUST BE VERIFIED BY THE GENERAL CONTRACTOR PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
 10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SITE RESTORATION AND CLEAN UP UPON COMPLETION OF THE PROJECT.
 11. WATER AND SEWER TESTING TO CONFORM TO LOCAL DPW REGULATIONS.
 12. ALL MECHANICAL JOINTS TO BE MEGALUG SERIES 1100 INSTALLED IN ACCORDING WITH MANUFACTURER RECOMMENDATIONS OR APPROVED EQUAL.
 13. ALL SEWER SYSTEM MAINS, STRUCTURES AND CONNECTIONS SHALL BE INSTALLED IN ACCORDANCE WITH THE REGULATIONS AND DETAILS SET FORTH WITHIN THE CITY AMESBURY SEWER REGULATIONS.
 14. CONTRACTOR TO COORDINATE ALL BUILDING PENETRATIONS AND ROOF LEADER LOCATIONS WITH ARCHITECTURAL DOCUMENTS PRIOR TO CONSTRUCTION.

DATE	DESCRIPTION
REVISIONS	

APPLICANT:
**RIVER'S EDGE
DEVELOPMENT, LLC**
88 ELM STREET
SALISBURY, MA 01952

PROJECT:
**201 ELM STREET &
6 MONROE STREET**
AMESBURY, MA 01913

DATE ISSUED:	FEBRUARY 24, 2025
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PREPARED BY:	MAC

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PROFESSIONAL ENGINEER FOR CIVIL DESIGN
CONSULTANTS, INC.

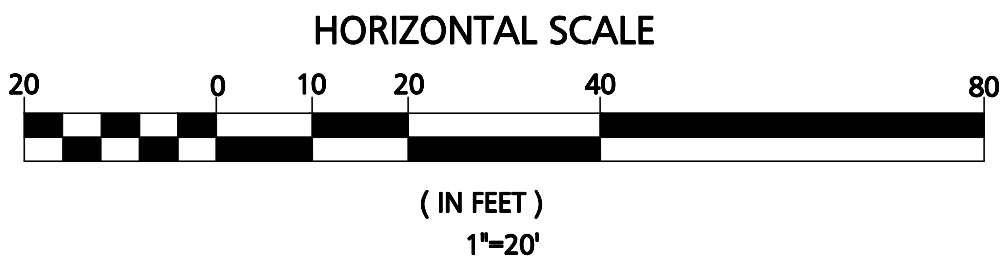
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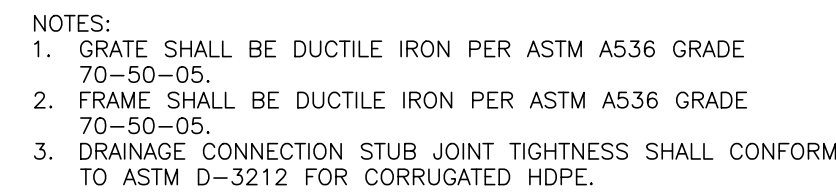
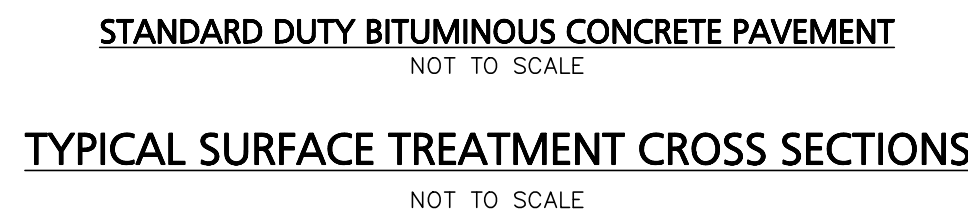
DRAWING TITLE:

UTILITIES PLAN

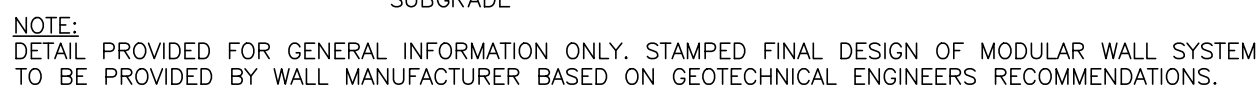
DRAWING #:

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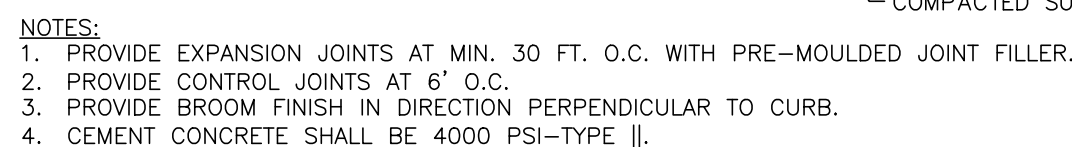




INLINE DRAIN BASIN DETAIL
NOT TO SCALE

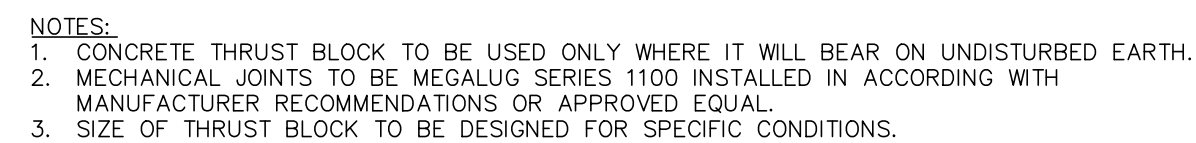


TYPICAL MODULAR RETAINING WALL DETAIL
NOT TO SCALE



TYPICAL CONCRETE SIDEWALK DETAIL

NOT TO SCALE



TYPICAL TAPPING SLEEVE AND VALVE DETAIL
NOT TO SCALE

WATER TRENCH DETAIL
NOT TO SCALE



1. THE MAXIMUM ALLOWABLE SIDEWALK AND CURB RAMP CROSS SLOPES SHALL BE 1.5% (1% MIN.).
2. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE EXCLUDING CURB RAMP SHALL BE 5%.
3. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE INCLUDING CURB RAMP SHALL BE 8%.
4. A MINIMUM OF 3 FEET CLEAR SHALL BE MAINTAINED AT ANY PERMANENT OBSTACLE IN ACCESSIBLE ROUTE (I.E. HYDRANTS, UTILITY POLES, TREE WELLS, SIGNS, ETC.)
5. CURB TREATMENT VARIES, SEE PLANS FOR CURB TREATMENT.
6. BASE OF RAMP SHALL BE GRADED TO PREVENT PONDING.
7. SEE TYPICAL SIDEWALK SECTION FOR RAMP CONSTRUCTION.
8. THE MINIMUM RAMP WIDTH SHALL BE LESS THAN 5' (EXCLUDING CURBING) A 5' x 5' PASSING AREA SHALL BE PROVIDED AT INTERVALS NOT TO EXCEED 200 FEET.
9. MAINTAIN ALL CURBING AT RAMP (OTHER THAN VERTICAL CURBING, WHICH SHALL BE SET FLUSH) WHERE THE RAMP MEETS ADJACENT ROADWAY.

ADA COMPLIANT ACCESSIBLE CURB RAMP DETAIL
NOT TO SCALE



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DRAWING TITLE:

CONSTRUCTION DETAILS

DRAWING #:

D-1

D-2