



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands
WPA Form 5 – Order of Conditions
Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:
002-1155
MassDEP File #

eDEP Transaction #
Amesbury
City/Town

A. General Information

Please note:
this form has
been modified
with added
space to
accommodate
the Registry
of Deeds
Requirements

Important:
When filling
out forms
on the
computer,
use only the
tab key to
move your
cursor - do
not use the
return key.



1. From: Amesbury
Conservation Commission
2. This issuance is for
(check one): a. ☒ Order of Conditions b. ☐ Amended Order of Conditions
3. To: Applicant:
Kurt Sickler
a. First Name b. Last Name
c. Organization
425 Main Street
d. Mailing Address
Amesbury MA 01913
e. City/Town f. State g. Zip Code
4. Property Owner (if different from applicant):
a. First Name b. Last Name
c. Organization
d. Mailing Address
e. City/Town f. State g. Zip Code
5. Project Location:
425 Main Street Amesbury
a. Street Address b. City/Town
79 42
c. Assessors Map/Plat Number d. Parcel/Lot Number
Latitude and Longitude, if known: d. Latitude e. Longitude



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A. General Information (cont.)

6. Property recorded at the Registry of Deeds for (attach additional information if more than one parcel):
Essex South
a. County _____ b. Certificate Number (if registered land) _____
- c. Book _____ d. Page _____
7. Dates: 10.3.16 11.7.16 11.16.16
a. Date Notice of Intent Filed b. Date Public Hearing Closed c. Date of Issuance
8. Final Approved Plans and Other Documents (attach additional plan or document references as needed):
Existing Site Plan A-1, Sickler Residence, 425 Main Street, Amesbury, MA 01913
a. Plan Title _____
- b. Prepared By 10.15.16 c. Signed and Stamped by 1" = 20'
d. Final Revision Date _____ e. Scale _____
- See Appendix for Approved Work Description and Plan
f. Additional Plan or Document Title _____ g. Date _____

B. Findings

1. Findings pursuant to the Massachusetts Wetlands Protection Act:
- Following the review of the above-referenced Notice of Intent and based on the information provided in this application and presented at the public hearing, this Commission finds that the areas in which work is proposed is significant to the following interests of the Wetlands Protection Act (the Act). Check all that apply:
- a. ☒ Public Water Supply b. ☒ Land Containing Shellfish c. ☒ Prevention of Pollution
d. ☐ Private Water Supply e. ☒ Fisheries f. ☒ Protection of Wildlife Habitat
g. ☒ Groundwater Supply h. ☒ Storm Damage Prevention i. ☒ Flood Control
2. This Commission hereby finds the project, as proposed, is: (check one of the following boxes)

Approved subject to:

- a. ☒ the following conditions which are necessary in accordance with the performance standards set forth in the wetlands regulations. This Commission orders that all work shall be performed in accordance with the Notice of Intent referenced above, the following General Conditions, and any other special conditions attached to this Order. To the extent that the following conditions modify or differ from the plans, specifications, or other proposals submitted with the Notice of Intent, these conditions shall control.



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B. Findings (cont.)

Denied because:

- b. ☐ the proposed work cannot be conditioned to meet the performance standards set forth in the wetland regulations. Therefore, work on this project may not go forward unless and until a new Notice of Intent is submitted which provides measures which are adequate to protect the interests of the Act, and a final Order of Conditions is issued. **A description of the performance standards which the proposed work cannot meet is attached to this Order.**
- c. ☐ the information submitted by the applicant is not sufficient to describe the site, the work, or the effect of the work on the interests identified in the Wetlands Protection Act. Therefore, work on this project may not go forward unless and until a revised Notice of Intent is submitted which provides sufficient information and includes measures which are adequate to protect the Act's interests, and a final Order of Conditions is issued. **A description of the specific information which is lacking and why it is necessary is attached to this Order as per 310 CMR 10.05(6)(c).**
3. ☐ Buffer Zone Impacts: Shortest distance between limit of project disturbance and the wetland resource area specified in 310 CMR 10.02(1)(a) _____ a. linear feet

Inland Resource Area Impacts: Check all that apply below. (For Approvals Only)

Resource Area	Proposed Alteration	Permitted Alteration	Proposed Replacement	Permitted Replacement
4. ☐ Bank	a. linear feet _____	b. linear feet _____	c. linear feet _____	d. linear feet _____
5. ☐ Bordering Vegetated Wetland	a. square feet _____	b. square feet _____	c. square feet _____	d. square feet _____
6. ☐ Land Under Waterbodies and Waterways	a. square feet _____ e. c/y dredged _____	b. square feet _____ f. c/y dredged _____	c. square feet _____	d. square feet _____
7. ☐ Bordering Land Subject to Flooding	a. square feet _____ Cubic Feet Flood Storage e. cubic feet _____	b. square feet _____ f. cubic feet _____	c. square feet _____ g. cubic feet _____	d. square feet _____ h. cubic feet _____
8. ☐ Isolated Land Subject to Flooding	a. square feet _____ Cubic Feet Flood Storage c. cubic feet _____	b. square feet _____ d. cubic feet _____	e. cubic feet _____	f. cubic feet _____
9. ☒ Riverfront Area	4 a. total sq. feet _____ 2 c. square feet _____ 2 g. square feet _____	4 b. total sq. feet _____ 2 d. square feet _____ 2 h. square feet _____	0 e. square feet _____ 0 i. square feet _____	0 f. square feet _____ 0 j. square feet _____



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B. Findings (cont.)

Coastal Resource Area Impacts: Check all that apply below. (For Approvals Only)

	Proposed Alteration	Permitted Alteration	Proposed Replacement	Permitted Replacement
10. ☐ Designated Port Areas	Indicate size under Land Under the Ocean, below			
11. ☐ Land Under the Ocean	<u> </u> a. square feet	<u> </u> b. square feet		
	<u> </u> c. c/y dredged	<u> </u> d. c/y dredged		
12. ☐ Barrier Beaches	Indicate size under Coastal Beaches and/or Coastal Dunes below			
13. ☐ Coastal Beaches	<u> </u> a. square feet	<u> </u> b. square feet	<u> </u> c. nourishment	<u> </u> d. nourishment
14. ☐ Coastal Dunes	<u> </u> a. square feet	<u> </u> b. square feet	<u> </u> c. nourishment	<u> </u> d. nourishment
15. ☐ Coastal Banks	<u> </u> a. linear feet	<u> </u> b. linear feet		
16. ☐ Rocky Intertidal Shores	<u> </u> a. square feet	<u> </u> b. square feet		
17. ☐ Salt Marshes	<u> </u> a. square feet	<u> </u> b. square feet	<u> </u> c. square feet	<u> </u> d. square feet
18. ☐ Land Under Salt Ponds	<u> </u> a. square feet	<u> </u> b. square feet		
	<u> </u> c. c/y dredged	<u> </u> d. c/y dredged		
19. ☐ Land Containing Shellfish	<u> </u> a. square feet	<u> </u> b. square feet	<u> </u> c. square feet	<u> </u> d. square feet
20. ☐ Fish Runs	Indicate size under Coastal Banks, Inland Bank, Land Under the Ocean, and/or inland Land Under Waterbodies and Waterways, above			
	<u> </u> a. c/y dredged	<u> </u> b. c/y dredged		
21. ☐ Land Subject to Coastal Storm Flowage	<u> </u> a. square feet	<u> </u> b. square feet		



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B. Findings (cont.)

* #22. If the project is for the purpose of restoring or enhancing a wetland resource area in addition to the square footage that has been entered in Section B.5.c (BVW) or B.17.c (Salt Marsh) above, please enter the additional amount here.

22. ☐ Restoration/Enhancement *:

a. square feet of BVW

b. square feet of salt marsh

23. ☐ Stream Crossing(s):

a. number of new stream crossings

b. number of replacement stream crossings

C. General Conditions Under Massachusetts Wetlands Protection Act

The following conditions are only applicable to Approved projects.

1. Failure to comply with all conditions stated herein, and with all related statutes and other regulatory measures, shall be deemed cause to revoke or modify this Order.
2. The Order does not grant any property rights or any exclusive privileges; it does not authorize any injury to private property or invasion of private rights.
3. This Order does not relieve the permittee or any other person of the necessity of complying with all other applicable federal, state, or local statutes, ordinances, bylaws, or regulations.
4. The work authorized hereunder shall be completed within three years from the date of this Order unless either of the following apply:
 - a. the work is a maintenance dredging project as provided for in the Act; or
 - b. the time for completion has been extended to a specified date more than three years, but less than five years, from the date of issuance. If this Order is intended to be valid for more than three years, the extension date and the special circumstances warranting the extended time period are set forth as a special condition in this Order.
5. This Order may be extended by the issuing authority for one or more periods of up to three years each upon application to the issuing authority at least 30 days prior to the expiration date of the Order.
6. If this Order constitutes an Amended Order of Conditions, this Amended Order of Conditions does not extend the issuance date of the original Final Order of Conditions and the Order will expire on _____ unless extended in writing by the Department.
7. Any fill used in connection with this project shall be clean fill. Any fill shall contain no trash, refuse, rubbish, or debris, including but not limited to lumber, bricks, plaster, wire, lath, paper, cardboard, pipe, tires, ashes, refrigerators, motor vehicles, or parts of any of the foregoing.
8. This Order is not final until all administrative appeal periods from this Order have elapsed, or if such an appeal has been taken, until all proceedings before the Department have been completed.



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C. General Conditions Under Massachusetts Wetlands Protection Act (cont.)

9. No work shall be undertaken until the Order has become final and then has been recorded in the Registry of Deeds or the Land Court for the district in which the land is located, within the chain of title of the affected property. In the case of recorded land, the Final Order shall also be noted in the Registry's Grantor Index under the name of the owner of the land upon which the proposed work is to be done. In the case of the registered land, the Final Order shall also be noted on the Land Court Certificate of Title of the owner of the land upon which the proposed work is done. The recording information shall be submitted to the Conservation Commission on the form at the end of this Order, which form must be stamped by the Registry of Deeds, prior to the commencement of work.
10. A sign shall be displayed at the site not less than two square feet or more than three square feet in size bearing the words,

"Massachusetts Department of Environmental Protection" [or, "MassDEP"]
"File Number 002-1155 "
11. Where the Department of Environmental Protection is requested to issue a Superseding Order, the Conservation Commission shall be a party to all agency proceedings and hearings before MassDEP.
12. Upon completion of the work described herein, the applicant shall submit a Request for Certificate of Compliance (WPA Form 8A) to the Conservation Commission.
13. The work shall conform to the plans and special conditions referenced in this order.
14. Any change to the plans identified in Condition #13 above shall require the applicant to inquire of the Conservation Commission in writing whether the change is significant enough to require the filing of a new Notice of Intent.
15. The Agent or members of the Conservation Commission and the Department of Environmental Protection shall have the right to enter and inspect the area subject to this Order at reasonable hours to evaluate compliance with the conditions stated in this Order, and may require the submittal of any data deemed necessary by the Conservation Commission or Department for that evaluation.
16. This Order of Conditions shall apply to any successor in interest or successor in control of the property subject to this Order and to any contractor or other person performing work conditioned by this Order.
17. Prior to the start of work, and if the project involves work adjacent to a Bordering Vegetated Wetland, the boundary of the wetland in the vicinity of the proposed work area shall be marked by wooden stakes or flagging. Once in place, the wetland boundary markers shall be maintained until a Certificate of Compliance has been issued by the Conservation Commission.



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C. General Conditions Under Massachusetts Wetlands Protection Act (cont.)

18. All sedimentation barriers shall be maintained in good repair until all disturbed areas have been fully stabilized with vegetation or other means. At no time shall sediments be deposited in a wetland or water body. During construction, the applicant or his/her designee shall inspect the erosion controls on a daily basis and shall remove accumulated sediments as needed. The applicant shall immediately control any erosion problems that occur at the site and shall also immediately notify the Conservation Commission, which reserves the right to require additional erosion and/or damage prevention controls it may deem necessary. Sedimentation barriers shall serve as the limit of work unless another limit of work line has been approved by this Order.

NOTICE OF STORMWATER CONTROL AND MAINTENANCE REQUIREMENTS

19. **The work associated with this Order (the "Project") is (1) ☐ is not (2) ☒ subject to the Massachusetts Stormwater Standards. If the work is subject to the Stormwater Standards, then the project is subject to the following conditions:**

- a) All work, including site preparation, land disturbance, construction and redevelopment, shall be implemented in accordance with the construction period pollution prevention and erosion and sedimentation control plan and, if applicable, the Stormwater Pollution Prevention Plan required by the National Pollution Discharge Elimination System Construction General Permit as required by Stormwater Condition 8. Construction period erosion, sedimentation and pollution control measures and best management practices (BMPs) shall remain in place until the site is fully stabilized.
- b) No stormwater runoff may be discharged to the post-construction stormwater BMPs unless and until a Registered Professional Engineer provides a Certification that:
- i. all construction period BMPs have been removed or will be removed by a date certain specified in the Certification. For any construction period BMPs intended to be converted to post construction operation for stormwater attenuation, recharge, and/or treatment, the conversion is allowed by the MassDEP Stormwater Handbook BMP specifications and that the BMP has been properly cleaned or prepared for post construction operation, including removal of all construction period sediment trapped in inlet and outlet control structures;
 - ii. as-built final construction BMP plans are included, signed and stamped by a Registered Professional Engineer, certifying the site is fully stabilized;
 - iii. any illicit discharges to the stormwater management system have been removed, as per the requirements of Stormwater Standard 10;
 - iv. all post-construction stormwater BMPs are installed in accordance with the plans (including all planting plans) approved by the issuing authority, and have been inspected to ensure that they are not damaged and that they are in proper working condition;
 - v. any vegetation associated with post-construction BMPs is suitably established to withstand erosion.



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C. General Conditions Under Massachusetts Wetlands Protection Act (cont.)

- c) The landowner is responsible for BMP maintenance until the issuing authority is notified that another party has legally assumed responsibility for BMP maintenance. Prior to requesting a Certificate of Compliance, or Partial Certificate of Compliance, the responsible party (defined in General Condition 18(e)) shall execute and submit to the issuing authority an Operation and Maintenance Compliance Statement ("O&M Statement") for the Stormwater BMPs identifying the party responsible for implementing the stormwater BMP Operation and Maintenance Plan ("O&M Plan") and certifying the following: *i.*) the O&M Plan is complete and will be implemented upon receipt of the Certificate of Compliance, and *ii.*) the future responsible parties shall be notified in writing of their ongoing legal responsibility to operate and maintain the stormwater management BMPs and implement the Stormwater Pollution Prevention Plan.
- d) Post-construction pollution prevention and source control shall be implemented in accordance with the long-term pollution prevention plan section of the approved Stormwater Report and, if applicable, the Stormwater Pollution Prevention Plan required by the National Pollution Discharge Elimination System Multi-Sector General Permit.
- e) Unless and until another party accepts responsibility, the landowner, or owner of any drainage easement, assumes responsibility for maintaining each BMP. To overcome this presumption, the landowner of the property must submit to the issuing authority a legally binding agreement of record, acceptable to the issuing authority, evidencing that another entity has accepted responsibility for maintaining the BMP, and that the proposed responsible party shall be treated as a permittee for purposes of implementing the requirements of Conditions 18(f) through 18(k) with respect to that BMP. Any failure of the proposed responsible party to implement the requirements of Conditions 18(f) through 18(k) with respect to that BMP shall be a violation of the Order of Conditions or Certificate of Compliance. In the case of stormwater BMPs that are serving more than one lot, the legally binding agreement shall also identify the lots that will be serviced by the stormwater BMPs. A plan and easement deed that grants the responsible party access to perform the required operation and maintenance must be submitted along with the legally binding agreement.
- f) The responsible party shall operate and maintain all stormwater BMPs in accordance with the design plans, the O&M Plan, and the requirements of the Massachusetts Stormwater Handbook.



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C. General Conditions Under Massachusetts Wetlands Protection Act (cont.)

- g) The responsible party shall:
1. Maintain an operation and maintenance log for the last three (3) consecutive calendar years of inspections, repairs, maintenance and/or replacement of the stormwater management system or any part thereof, and disposal (for disposal the log shall indicate the type of material and the disposal location);
 2. Make the maintenance log available to MassDEP and the Conservation Commission ("Commission") upon request; and
 3. Allow members and agents of the MassDEP and the Commission to enter and inspect the site to evaluate and ensure that the responsible party is in compliance with the requirements for each BMP established in the O&M Plan approved by the issuing authority.
- h) All sediment or other contaminants removed from stormwater BMPs shall be disposed of in accordance with all applicable federal, state, and local laws and regulations.
- i) Illicit discharges to the stormwater management system as defined in 310 CMR 10.04 are prohibited.
- j) The stormwater management system approved in the Order of Conditions shall not be changed without the prior written approval of the issuing authority.
- k) Areas designated as qualifying pervious areas for the purpose of the Low Impact Site Design Credit (as defined in the MassDEP Stormwater Handbook, Volume 3, Chapter 1, Low Impact Development Site Design Credits) shall not be altered without the prior written approval of the issuing authority.
- l) Access for maintenance, repair, and/or replacement of BMPs shall not be withheld. Any fencing constructed around stormwater BMPs shall include access gates and shall be at least six inches above grade to allow for wildlife passage.

Special Conditions (if you need more space for additional conditions, please attach a text document):



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D. Findings Under Municipal Wetlands Bylaw or Ordinance

1. Is a municipal wetlands bylaw or ordinance applicable? ☒ Yes ☐ No
2. The Amesbury Conservation Commission hereby finds (check one that applies):

- a. ☐ that the proposed work cannot be conditioned to meet the standards set forth in a municipal ordinance or bylaw, specifically:

Amesbury Wetlands Ordinance

AWO

1. Municipal Ordinance or Bylaw

2. Citation

Therefore, work on this project may not go forward unless and until a revised Notice of Intent is submitted which provides measures which are adequate to meet these standards, and a final Order of Conditions is issued.

- b. ☐ that the following additional conditions are necessary to comply with a municipal ordinance or bylaw:

1. Municipal Ordinance or Bylaw

2. Citation

3. The Commission orders that all work shall be performed in accordance with the following conditions and with the Notice of Intent referenced above. To the extent that the following conditions modify or differ from the plans, specifications, or other proposals submitted with the Notice of Intent, the conditions shall control.

The special conditions relating to municipal ordinance or bylaw are as follows (if you need more space for additional conditions, attach a text document):

See Attachment to Order of Conditions



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E. Signatures

This Order is valid for three years, unless otherwise specified as a special condition pursuant to General Conditions #4, from the date of issuance.

Please indicate the number of members who will sign this form.

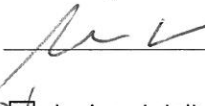
This Order must be signed by a majority of the Conservation Commission.

The Order must be mailed by certified mail (return receipt requested) or hand delivered to the applicant. A copy also must be mailed or hand delivered at the same time to the appropriate Department of Environmental Protection Regional Office, if not filing electronically, and the property owner, if different from applicant.

Signatures:







☒ by hand delivery on

Date

11.16.16

☐ by certified mail, return receipt requested, on

Date

F. Appeals

The applicant, the owner, any person aggrieved by this Order, any owner of land abutting the land subject to this Order, or any ten residents of the city or town in which such land is located, are hereby notified of their right to request the appropriate MassDEP Regional Office to issue a Superseding Order of Conditions. The request must be made by certified mail or hand delivery to the Department, with the appropriate filing fee and a completed Request for Departmental Action Fee Transmittal Form, as provided in 310 CMR 10.03(7) within ten business days from the date of issuance of this Order. A copy of the request shall at the same time be sent by certified mail or hand delivery to the Conservation Commission and to the applicant, if he/she is not the appellant.

Any appellants seeking to appeal the Department's Superseding Order associated with this appeal will be required to demonstrate prior participation in the review of this project. Previous participation in the permit proceeding means the submission of written information to the Conservation Commission prior to the close of the public hearing, requesting a Superseding Order, or providing written information to the Department prior to issuance of a Superseding Order.

The request shall state clearly and concisely the objections to the Order which is being appealed and how the Order does not contribute to the protection of the interests identified in the Massachusetts Wetlands Protection Act (M.G.L. c. 131, § 40), and is inconsistent with the wetlands regulations (310 CMR 10.00). To the extent that the Order is based on a municipal ordinance or bylaw, and not on the Massachusetts Wetlands Protection Act or regulations, the Department has no appellate jurisdiction.



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G. Recording Information

Prior to commencement of work, this Order of Conditions must be recorded in the Registry of Deeds or the Land Court for the district in which the land is located, within the chain of title of the affected property. In the case of recorded land, the Final Order shall also be noted in the Registry's Grantor Index under the name of the owner of the land subject to the Order. In the case of registered land, this Order shall also be noted on the Land Court Certificate of Title of the owner of the land subject to the Order of Conditions. The recording information on this page shall be submitted to the Conservation Commission listed below.

Amesbury

Conservation Commission

Detach on dotted line, have stamped by the Registry of Deeds and submit to the Conservation Commission.

To:

Amesbury

Conservation Commission

Please be advised that the Order of Conditions for the Project at:

425 Main Street

Project Location

002-1155

MassDEP File Number

Has been recorded at the Registry of Deeds of:

Essex South

County

Book

Page

for: Kurt Sickler
Property Owner

and has been noted in the chain of title of the affected property in:

Book

Page

In accordance with the Order of Conditions issued on:

Date

If recorded land, the instrument number identifying this transaction is:

Instrument Number

If registered land, the document number identifying this transaction is:

Document Number

Signature of Applicant

ATTACHMENT TO ORDER OF CONDITIONS

Applicant & Owner: Kurt Sickler
Site Address: 425 Main Street
DEP File: 002-1155

Conditions attached to the Order of Conditions issued pursuant to the Massachusetts Wetlands Protection Act (M.G.L. Chapter 131, Section 40) and its implementing Regulation (310 CMR 10.00-10.60), and the Amesbury Wetlands Ordinance and its implementing regulations for an approved project to replace deck boards and expand a deck for support the installation of a tub and associated landscaping:

I. GENERAL CONDITIONS:

1. The work shall conform to the following material submitted by the Applicant: See Appendix for detailed work description and plans.
2. The Order of Conditions shall be recorded at the Essex South Registry of Deeds prior to the start of work. A recorded copy of the Order of Conditions must be presented to the Amesbury Conservation Commission no later than the pre-construction site meeting.
3. The Amesbury Conservation Commission (ACC) reserves the right to impose additional conditions on this project including, but not limited to additional or modified erosion / siltation controls during construction, if it deems that site conditions warrant additional measures to mitigate potential impacts.
4. References herein to reports being submitted to, or actions being taken by, the Amesbury Conservation Commission may include the Conservation Agent and/or a selected outside third-party consultant as may be determined by the Amesbury Conservation Commission.
5. The proposed project may be still under review by other local or state boards or agencies. This review may result in changes to the project plans or wetland impacts. If any such changes occur a revised plan and an explanation of the revisions shall be submitted to the ACC for review and approval prior to the start of construction. Any changes in the submitted plans and accompanying submitted material caused by the applicant, a government agency, or resulting from this Order of Conditions must be

submitted to the ACC for approval prior to implementation. Any errors found in the plans or information submitted by the applicant shall be considered as changes.

6. In conjunction with the sale of this property before a Certificate of Compliance has been issued, the Applicant or current landowner shall submit to the ACC a signed statement by the buyer that he/she is aware of an outstanding Order of Conditions on the property and has also received a copy of said Order.
7. Site monitoring may be performed by the ACC as needed to assure compliance with this Order. Should the ACC select an outside consultant to perform the site monitoring service, selection of said consultant shall be acceptable to both the Applicant and the ACC. Funds to cover anticipated costs associated with this work may be required to be borne by the Applicant and provided to the ACC.
8. Any Order not recorded by the applicant before work commences may be recorded by the ACC at the applicant's expense.

II. PRIOR TO SITE DISTURBING ACTIVITIES:

1. Project contractors are to be provided with a copy of this Order of Conditions and referenced documents before commencement of construction. A copy of this Order of Conditions and the approved plans and accompanying submitted material shall be available on site at all times when work is in progress and all contractors and subcontractors should be apprised of the conditions and provisions of this Order. Reference to this Order shall be included in all construction contracts and subcontracts dealing with the project.
2. Approved erosion control, DEP sign installation and a recorded copy of the Order of Conditions must be installed or completed no later than the pre-construction meeting.
3. A sign shall be displayed at the site not less than two square feet or more than three square feet in size bearing the words **"MA DEP, File Number 002-1155"**
9. Once the above-mentioned pre-construction requirements are complete, the applicant shall contact the ACC to arrange an on-site pre-construction meeting. Contact the ACC at least seventy-two (72) hours in advance of a desired meeting. Topics for the pre-construction meeting shall include, but not be limited to: construction sequence and schedules, the project supervisor, contact information for construction site supervisors/monitors, and maintenance and monitoring needed.
10. All applicable state and local permits must be secured at the time of the pre-construction site visit.

III. DURING SITE DISTURBING ACTIVITIES:

1. All waste generated by, or associated with the construction activity shall be contained within the area identified as the Location of Limit of Work/Erosion Control Barrier on the Proposed Conditions Plan. Dumpster and stockpile location shall be as depicted or as may be amended by approval of the ACC. There shall be no burying of stumps or construction material onsite.
2. A minimum of 25' of additional siltation control barrier and sufficient stakes for securing shall be on site at all times. Said siltation control barrier shall be used only for the control of emergency erosion problems and shall not be used for the normal control of erosion.
3. Siltation control barrier shall be inspected weekly, and immediately after 0.5 inches of precipitation. Additionally, siltation control barrier shall be replaced as necessary when deteriorated due to normal degradation.

IV. UPON COMPLETION OF SITE DISTURBANCE ACTIVITIES:

1. Erosion control devices shall remain in place and functioning properly until all exposed soils have been stabilized with a vegetative cover and the ACC has authorized removal.
2. Plantings are to be monitored for a two-year period. In the case of mortality, plantings are to be replaced at the appropriate time of the growing season. Replacement plantings are to be of the same variety and reestablished at the same location. At the end of the one-year monitoring period a written planting monitoring report including photographs is to be submitted to the ACC which inventories and documents the number of plantings. Any deviations from the approved plan are to be noted.
3. Upon the completion of the project, the applicant shall submit the following to the Amesbury Conservation Commission to request a Certificate of Compliance:
 - a. WPA Form 8A- Request for Certificate of Compliance
 - b. A letter from the applicant or their representative requesting the Certificate of Compliance with the following information:
 - i. Name and address of the current landowner(s);
 - ii. The name and address of the individual(s) or other entity to whom the Certificate of Compliance(s) is to be issued;
 - iii. The street address and lot number for the project and the DEP File #;
 - iv. A statement stamped and signed by a Massachusetts-registered Professional Civil Engineer (P.E.) and / or a Massachusetts-registered Professional Land Surveyor (P.L.S) indicating compliance with or

detailing aspects of the project which differed from the Order of Conditions (if any) and the following material which was submitted as part of the Notice of Intent

- c. "As-built" plan(s) prepared, stamped and signed by a Massachusetts-registered Professional Civil Engineer (P.E.) and / or a Massachusetts-registered Professional Land Surveyor (P.L.S). Said plans are to depict the house location and dimensions, patio location and dimensions, marking post locations, planting areas, in addition to other relevant features of the site. Plans are to depict the extent of disturbance which occurred on the parcel and are to calculate the square footage of disturbance which occurred in the Riverfront Area.

V. PERPETUAL CONDITIONS:

1. If used, fertilizers utilized for landscaping and lawn care shall be slow release, low-nitrogen types (<5%).
2. Vegetation located outside the Location of Limit of Work/Erosion Control Barrier as indicated on the Proposed Conditions Plan shall remain in an undisturbed natural state unless written approval for specific tree trimming or removal as allowed after review by the ACC to confirm it poses a safety hazard to the occupants of the house.
3. No underground petroleum storage tanks may be used on this property.
4. Water quality of adjacent resource areas shall not differ following construction

Appendix

Approved Work

Description and Plans

425 Main Street Project:

The project would entail replacing deck boards and expanding the deck to absorb a hot tub on the side of the house. As a result additional support would be required in the form of two 12" diameter sonotubes drilled four feet deep. (no heavy machinery required, hand held only).

Drill time would be about 2 hours, displaced dirt would be returned to the land adjoining the slab and patch in the removal of the steps to the slab.

These tubes would be 37 and 40 feet back from the sea wall. The deck is above the flood zone however the two tubes are close.

The remaining deck would then be supported by and cover an existing slab , poured with the original house for a garage. (1976)

We would also like to remove an old shed on the property (on same slab)and replace it with a new one on the remaining area of the old garage foundation. The old shed currently extends beyond the existing slab foundation and we would like to pull it back and add native shrubs back to the land. (winter berry)

(34 square feet)

The old shed also constitutes a fence to the adjoining property which would be removed in lieu of shrubs.

There is an old fence toward main street that would also be removed exposing the new architecturally consistent shed.

There is a walk way made of stone up to the current shed from the river side which would be removed and again returned to grass. (32 square feet approx.)

A small sized oak is near the deck and has been cut/trimmed oddly perhaps to save a weeping cherry tree which will surely die as the oak choaks out the sun. We would like to replace it with a native tree , perhaps a birch that would not over power the adjacent plantings..

In addition a tree prior to our purchase of the property was removed in the front yard and we would also like to replace that with a native tree that would flower different than its neighbor, a Hawthorne tree.

Structural Evaluation for Installation of Exterior Deck Expansion at 425 Main St., Amesbury, MA, 01913

GENERAL SCOPE OF EVALUATION AND ASSESSMENT:

A Site Visit was requested by Mr. Kurt Sickler (kes09@aol.com), to PRM Engineering, LLC., to perform a general evaluation-assessment of existing conditions of an existing deck and discuss possible options to install a new deck expansion to the right of the rear of the existing house-deck at 425 Main Street, Amesbury, MA 01913.

The building subject of this structural field report is a single family split level house 28'x48' with an existing elevated wood framed deck 11'-6"x21' attached to the rear framing of the house at the right back corner of the existing house. The building appears to be a wood framed structure with a walk-out basement towards the rear of the house. Mr. Kurt Sickler Owner of the building indicated that he intends to build a new deck addition that will connect the part of the existing rear deck with a hot-tub currently installed at the right side of the house where a proposed garage was planned to be built next to the house. Below is a record of some observations and general recommendations to take into account for the proposed new deck expansion and for the existing one currently attached to the rear of the existing house.

OBSERVATIONS AND RECOMMENDATIONS:

1. The existing deck appears to be approximately 11'-6" wide (front to back)x 21'-0" long (left to right) constructed with 2x10 wood joists spaced at approximately 16" o/c running front to back of the deck. The floor joists are framed to continuous wood ledger attached to the existing wood frame of the house with bolts spaced approximately 24" o/c and framed over an existing steel frame along the rear of the deck. The existing deck joists are framed on top of the steel beam and cantilever out approximately 1'-6", the joists appear to show signs of aging and present signs of deterioration due to moisture trapped under the decking and in between the wood deck and joists.
2. It is recommended that a Contractor review each one of the deck joists to determine the extent of aging and deterioration and in the event that joists are found to be severely deteriorated then it is advisable to remove and replace them with pressure treated new deck joists of same size and spacing.
3. It is recommended to add one (1) row of wood blocking, pieces of 2x10 (P.T.=pressure treated) in between the face of the existing deck joists along the mid-span of the deck joists. New pieces of wood blocking shall be fastened to the existing 2x10 deck joists.
4. The existing wood railing posts appear to show signs of aging as well. It is recommended to add two new 2x10 wood blocking in between the face of the existing double deck joists and the first interior single deck joist running parallel to the side, to make sure that the bottom ends of the railing posts are properly fastened and restrained to the deck joists under the deck. In case a new railing will be installed at the existing deck, it is recommended to install it in complete conformance with the MA and IRC Building Codes and the railing shall comply with proper heights, spacing, and connections to the existing deck capable to resist the specified horizontal and vertical loads on railings, handrails, and vertical posts of the railing system as per Code.
5. For a proposed curved edge of the existing deck, it is then recommended that new floor joist are added to the ends of the cantilever joists and extend them towards the rear of the house for up to 2/3 of the deck joists span. The new portions of 2x10 deck joists shall be sistered and fastened to the existing deck joists to meet code requirements. Galvanized nails or screws are recommended to be used for all new deck fasteners and connectors.
6. The existing wood framed deck appears to lack proper lateral load resistance. Therefore it is recommended to add two sets of diagonal bracing, using 2x6 P.T. flat boards fastened to the underside of the joists and connected at the corners to the wood sill plate of the steel beam and to the existing wood ledger along the rear of the house.

Structural Evaluation for Installation of Exterior Deck Expansion at 425 Main St., Amesbury, MA, 01913

7. For the new deck extension and expansion from the existing deck onto the new hot-tub area at ground level, it is recommended to provide steps and platforms of dimensions that will comply with the MA and IRC Building Codes. Proper clear heights and clear dimensions around the new deck expansion shall be provided in compliance with the MA and IRC Building Codes.
8. The existing deck joists are supported at the rear side by a steel frame formed by a 10 WF steel beam and two steel square tubular columns framed and connected to the underside of the bottom flange of the steel columns and connected to concrete bases set below the exterior grade level. The bottom portions of the steel tube columns appear to be embedded and exposed to the ground. It is recommended to expose the bottom parts of the steel columns, clean them up of any built-up rust and apply two coats of anti-rust protective layers and cover them up with concrete bonded to the existing base and with the top of the base approximately 6" above the exterior grade.
9. It is recommended to add new 1/2" bolts to the existing wood ledger boards to fasten them properly to the existing wood framing along the rear side of the house-deck connection. The ends of the deck joists framing to the ledger board appear to have metal connectors that show sign of rust and seem to be corroded. It is recommended to install new galvanized metal connector at the ends of the deck joists framing to the ledger board. In the event that the existing wood ledger is found to be defective or damaged, then it should be replaced with new pressure treated wood ledger of same size and dimensions of the existing one. All new bolts shall and connectors shall be hot dipped galvanized compatible with the pressure treatment of the wood members.
10. The wood boards on top of the floor joists are also showing signs of aging and deterioration and are recommended to be thoroughly reviewed and those found defective and damaged shall be removed and replaced with new deck of same size, type and dimensions to match the existing one. All new wood boards shall be pressure treated and shall be fastened to the existing/new wood deck joists.
11. The existing railing around the three sides of the rear deck appears to be very low and may need to be reviewed to comply with minimum standard railings at 42" (3'-6" min.) above the top of the finish deck surface in the event that the existing deck is modified and a new deck addition is attached to the existing one.
12. For the new deck addition it is expected that two new concrete sonotube footings need to be installed to support two new vertical steel posts which in turn will be supporting a new steel straight or curved beam that will go from the corner of the existing deck to a location adjacent to the edge of the concrete slab on grade at the rear of the open space next to the rear of the existing house. The new concrete sonotubes are recommended to be installed with the bottoms at least 4 ft. below grade for frost protection.
13. The new deck expansion has been proposed to follow some type of curved edge, which most likely will require that the new deck joists may need to be cantilevered some distance from the edge of the new supporting steel beam under the deck joists.
14. The final layout of the new deck extension will need to be defined in plan to determine the exact layout and position of new vertical supports and the layout of new deck joists and supporting steel beam and bracing. It is recommended that lateral bracing support is provided to the new deck addition.
15. It is recommended that a structural engineer is retained to perform the designs of the new deck extension to conform to the MA and IRC Building Codes and the local requirement of the town of Amesbury. Contractor is responsible to comply with all the State required provisions for new structures within the flood elevations determined by FEMA and the Conservation Commission requirements that may apply to the new deck extension in the town of Amesbury, close to the banks of the Merrimack River.

SICKLER /425 Main Street, Amesbury, MA

LANDSCAPING PLAN

Front Yard/Roadside: additional tree to sit with existing Hawthorn tree

Consideration: Rosaceae/Crataegus/Hawthorn Tree or Birch Tree

Front Yard/up against the house: additional perennials shrubs/annual flowers to add color

Consideration: Rhododendrons, Tulips, Crocus, Early Season Day Lily, Middle Season Day Lily, Late Season Day Lily

Side Yard Opposite Driveway: new perennials, small plants, shrubs

Consideration: 4-6 Winterberry, alternating with 4-5 medium Hosta

Back Yard Corner of Deck : transplant 4 existing Spirea and replace with shrubs

Consideration: Peony or Dwarf Lilac

2" Deep Garden Parallel to Sea Wall: Seasonal small annual and perennials flowers

Consideration: Cone Flower, Bee Balm, Brown Eyed Susan, Phlox Short and Tall, Day Lily Stella De Oro, Dusty Miller, Autumn Joy, Silver Licorice, Short Shasta Daisy

Back Yard: Replace Existing Oak tree with Indigenous Tree

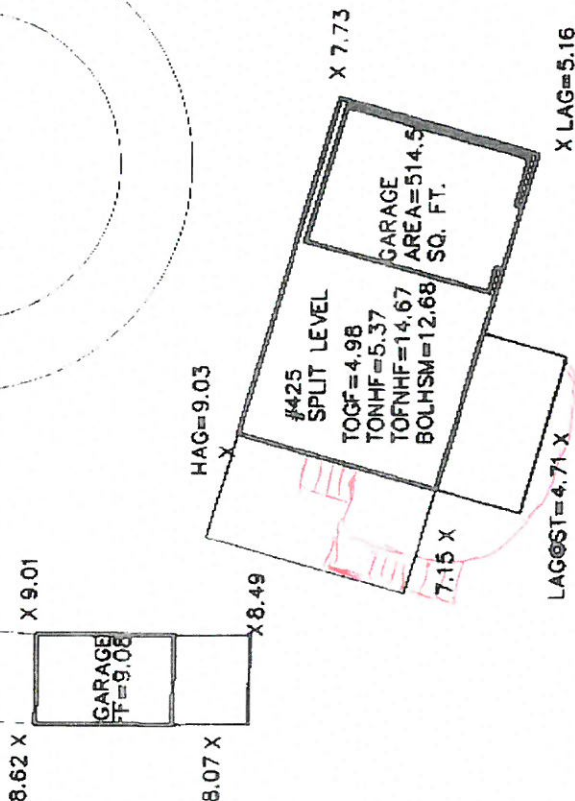
Consideration: Birch or Rosaceae/Crataegus/Hawthorn

Back Yard end of Driveway: add new plantings / transplant existing Spirea

Consideration: 4 groupings of Spirea, Wild Flowers

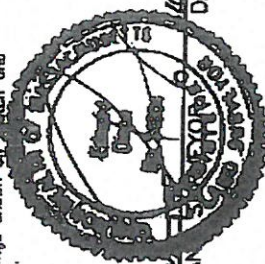
HAG=HIGHEST ADJACENT GRADE
LAG=LOWEST ADJACENT GRADE
LAGST=LOWEST ADJACENT GRADE AT STRUCTURAL SUPPORT
TOGF=TOP OF GARAGE FLOOR
TOHF=TOP OF NEXT HIGHER FLOOR
TOHMF=TOP OF NEXT HIGHER FLOOR
BOLHSM=BOTTOM OF LOWEST HORIZONTAL STRUCTURE MEMBER

MAIN STREET



NOTES:

By elevation determination this property is located in flood zone AE which has a Base Flood Elevation of 11 as shown on the Flood Insurance Rate Map, Community Panel No. 25008C0108F which bears an effective date of 7/3/2012. The spot grades shown herein were transferred by differential levels from FEMA bench mark RL10 which is on vertical datum of NAVD 1928. Data was converted to NAVD 1989 and are the recordings shown on sketch and Elevation Certificate.



PROFESSIONAL LAND SURVEYOR

DATE

425 MAIN STREET FLOOD CERTIFICATION SKETCH

IN
AMESBURY, MASSACHUSETTS
ESSEX COUNTY

PREPARED FOR:
DOROTHY LIGHTFOOT

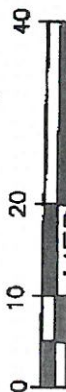
PREPARED BY:

DGT SURVEY GROUP - NORTH SHORE
A DIVISION OF DIGITAL GEOGRAPHIC TECHNOLOGIES, INC.

18 CENTER STREET
SUITE 1
NEWMARKET, MA
01950

Tel: 978-469-9992
info@dgtsurvey.com
www.dgtsurvey.com

DGT



SCALE in FEET
1" = 20'

BY:	DESCRIPTION:	DATE:	REV: 0
		N4076FEMA.dwg	

RESEARCH DGT/CNA	FIELD CNA/REK	CALCULATOR DGT	DRAWING CNA	CHECK DGT	PROJ. MANAGER DGT	DATE SEPT. 30, 2013	D.L.T. JOB NO. N-1078	CNO FILE FEMA.CNO	SHEET NO. 1 OF 1
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STRUCTURAL FRAMING AND FOUNDATION PLANS

New Exterior Deck Extension and Renovations of Single Family House
For: Mr. and Mrs. Kurt and Rita Sickler
425 Main Street, Amesbury, MA 01913

Prepared for:
Mr. and Mrs. Kurt and Rita Sickler
Owner of Single Family House
425 Main Street, Amesbury, MA 01913

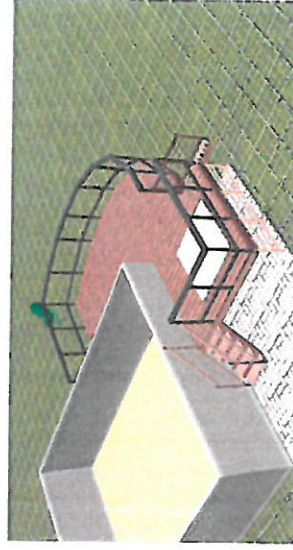
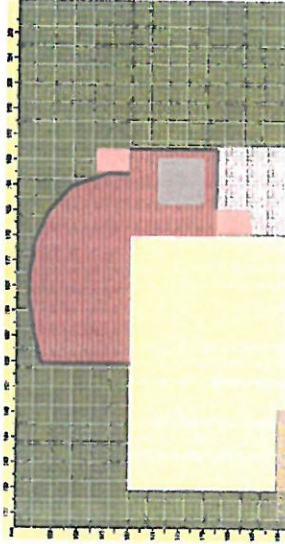
Designed by:
Pedro R. Muñoz, Ph.D., P.E., PRM Engineering, LLC
Structural Consulting Engineers
Newburyport, MA 01950



Expires: 6/30/2017

MA PE License #: 42854
Date Signed: 06/24/2016

PRM JOB #: J16-16



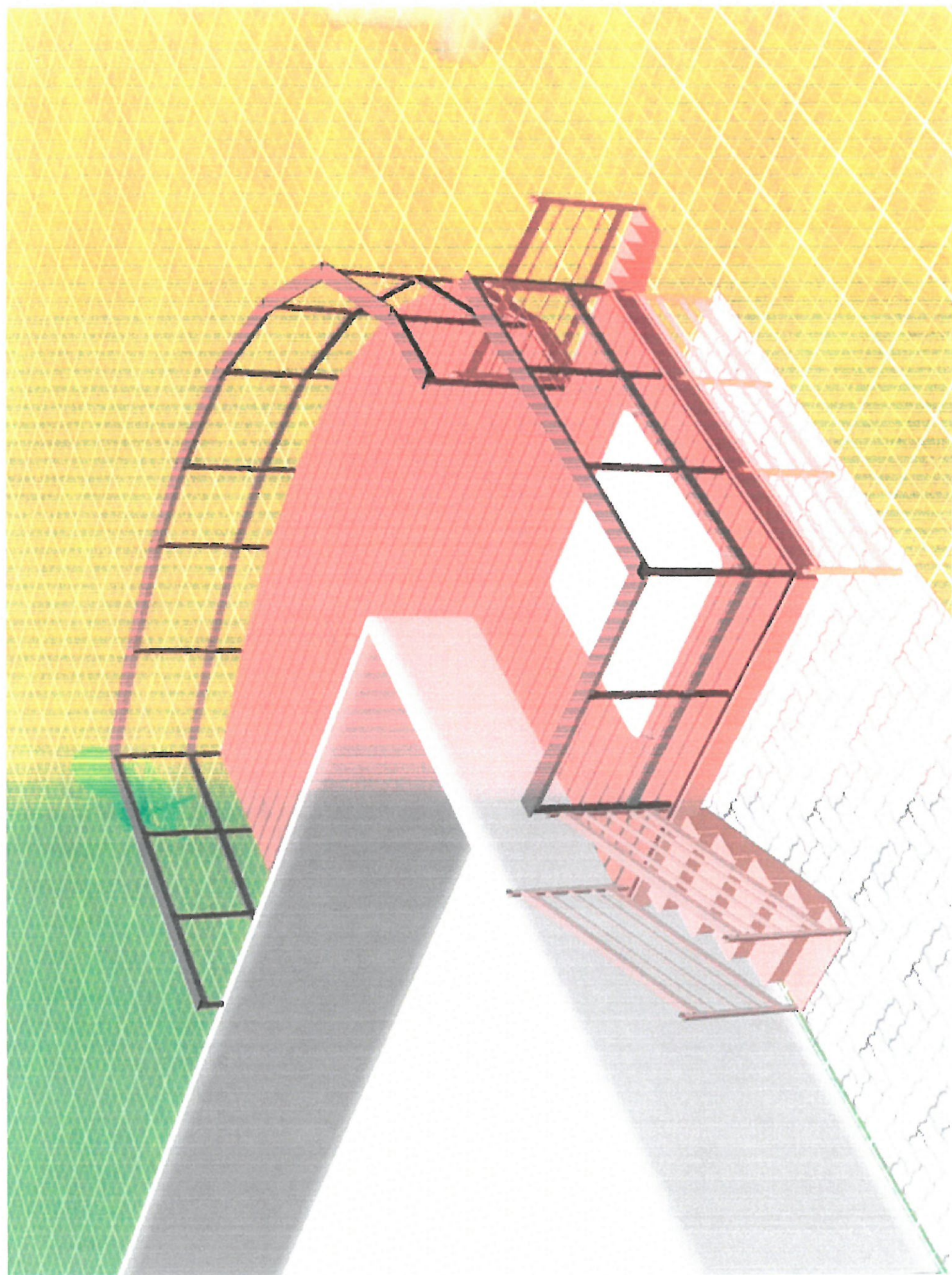
June 24, 2016

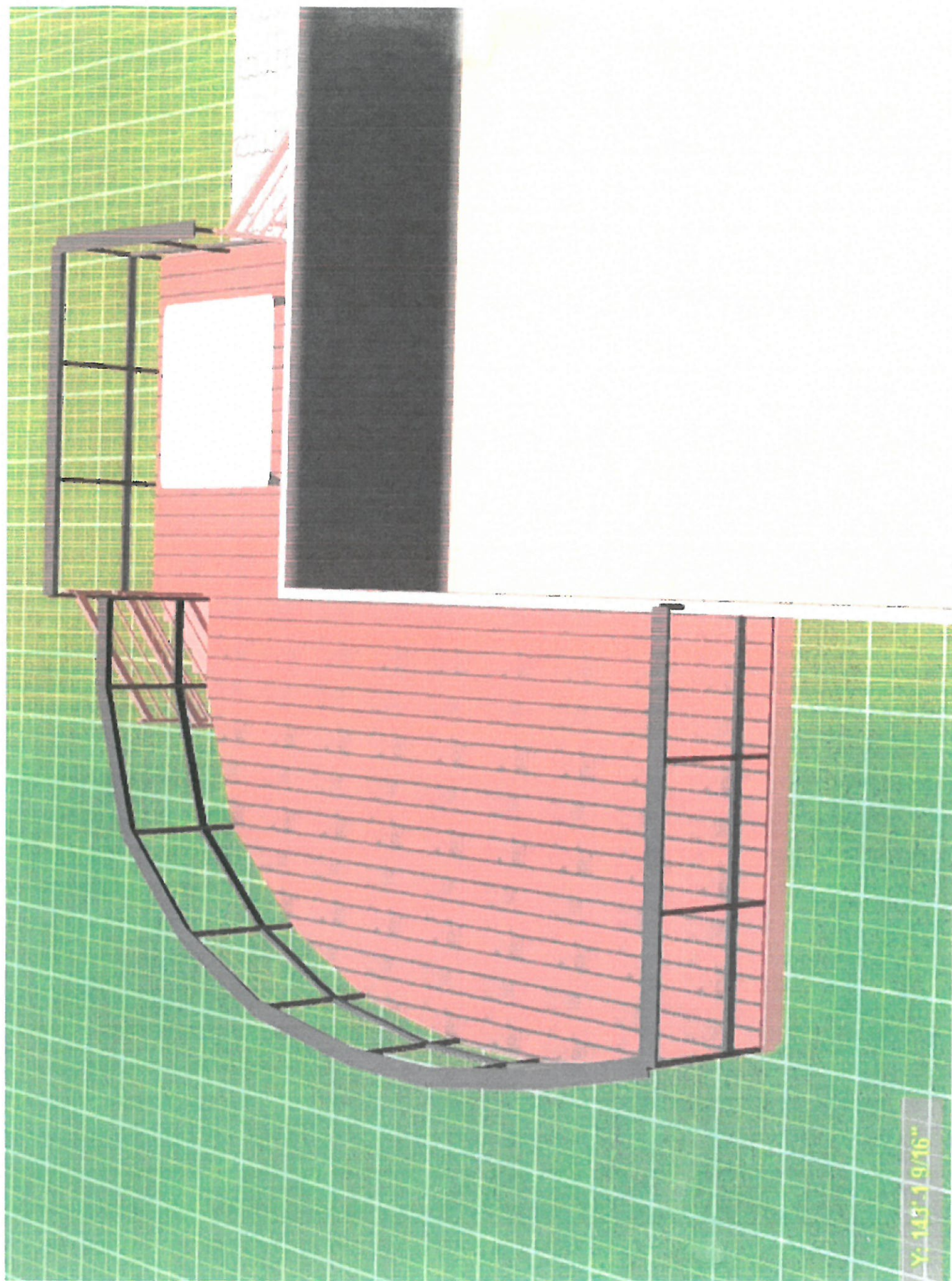
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PRM Engineering, LLC • 6 Woodman Way, Suite # 116, Newburyport, MA 01950
Tel: (978) 465-7105; Fax: 978 465-7002; E-mail: prmeng@att.net; Website: www.prmeng.net



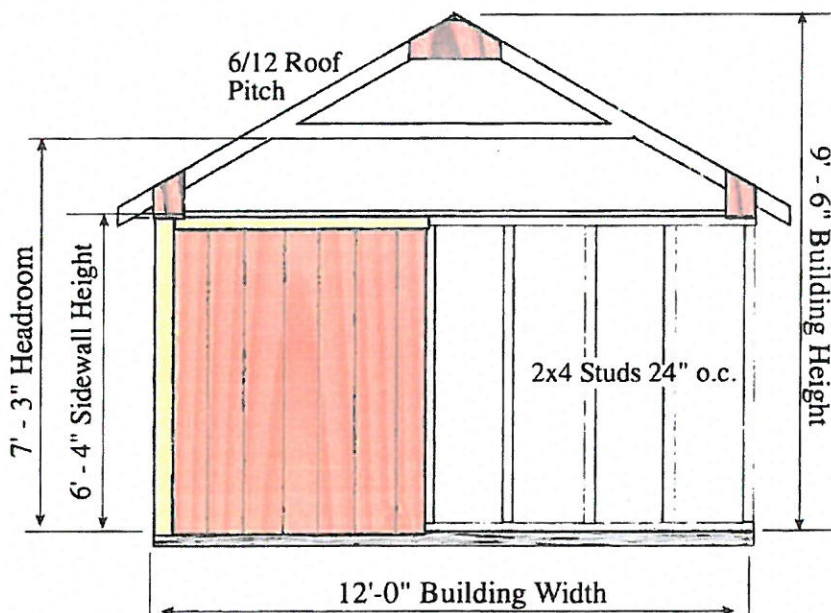
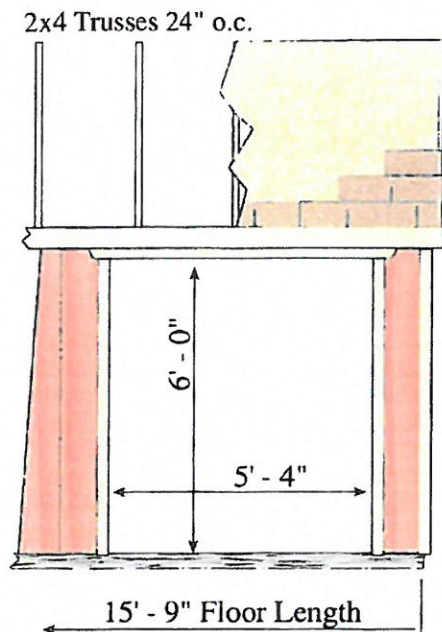


Y: 143' 1 9/16"



Before you order our kit or begin construction, obtain a building permit. If additional documents are required contact Richard@barnkits.com.

NEW CASTLE ELEVATION



Foundation: By owner

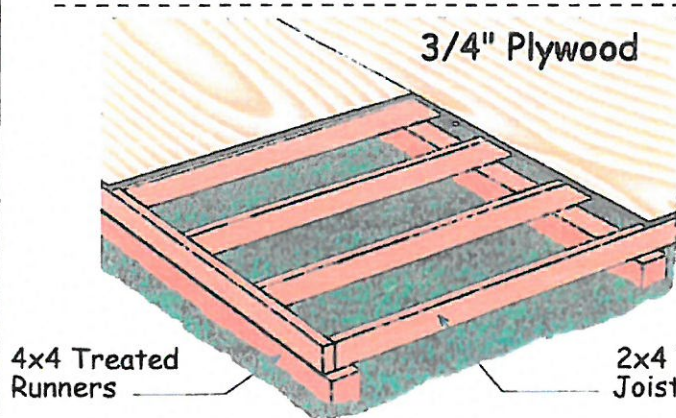
Wall Framing: Constructed from 2x4 pre-cut wall studs spaced 24" on center between top and bottom plates.

Siding: Louisiana-Pacific 'Smart Panel' primed 8" o.c. groove with 50 year warranty, 5 year labor replacement

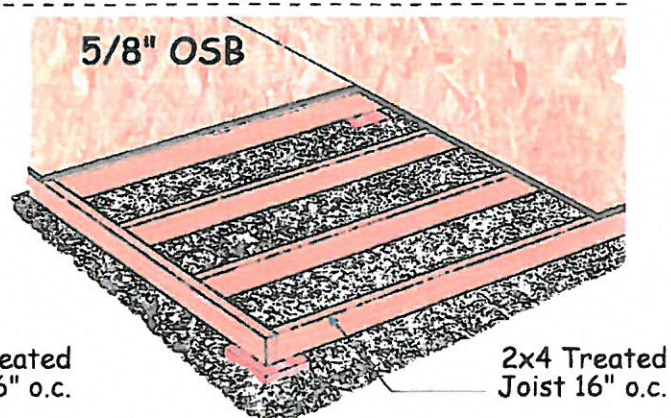
Roof System: 2x4 trusses spaced 24" on center, (40 psf ground snow load, 90 mph wind load). 7/16" OSB roof sheathing. *Shingles by owner.*

Exterior Trim: White pine trim for corners, door, gable trim and sidewall fascia.

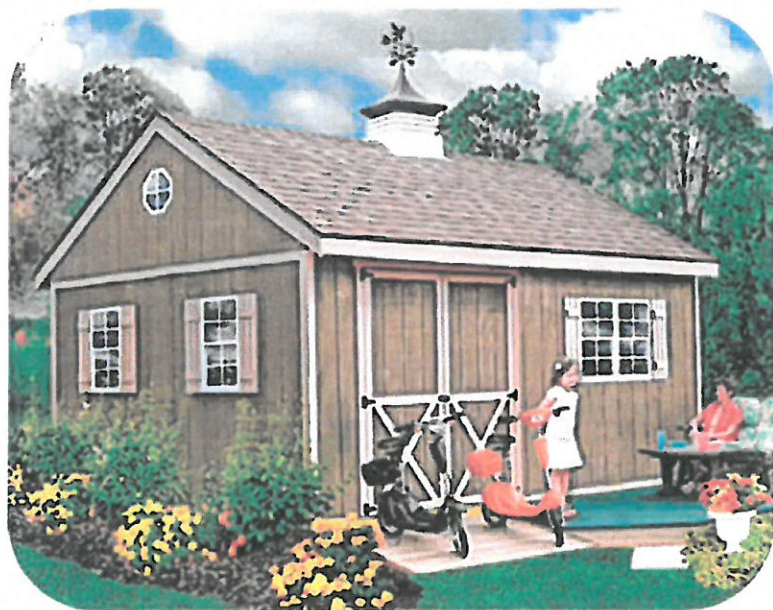
Hardware: Nails for all framing, metal hurricane hangers for trusses and door hardware.



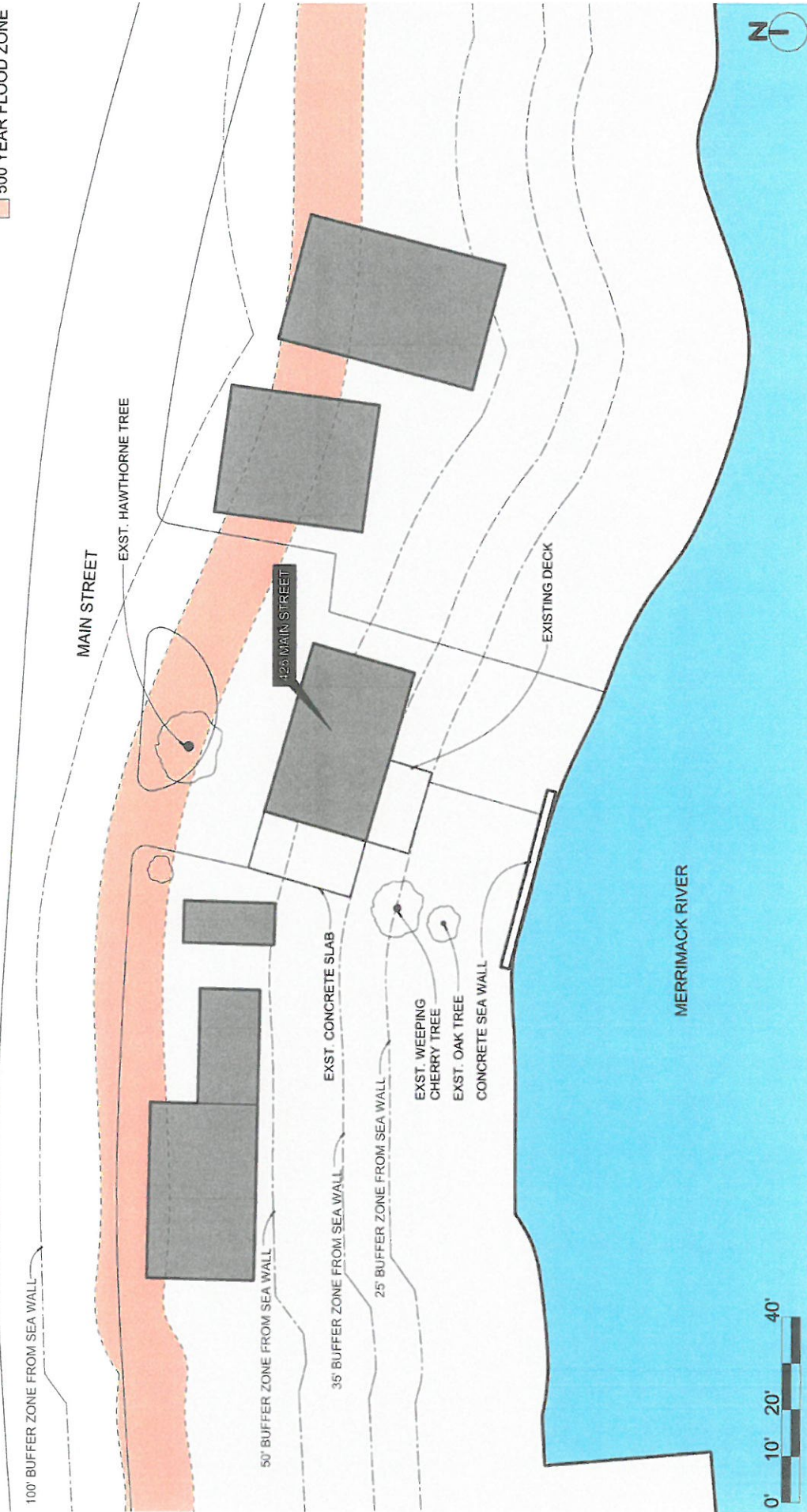
Deluxe Floor: 4x4 treated runners can be installed directly on the grass. The runners elevate the floor providing air flow under the floor eliminating moisture. 8' and 10' wide floors have three runners, 12' wide floor have four. The floor covering is 3/4" plywood.



Standard Floor: This floor system is best installed over an existing foundation, cement slab, blacktop or gravel base. Bricks or patio stones can be used to level the 2x4 frame. The floor covering is 5/8" OSB (oriented strand board).



- 100 YEAR FLOOD ZONE
- 500 YEAR FLOOD ZONE

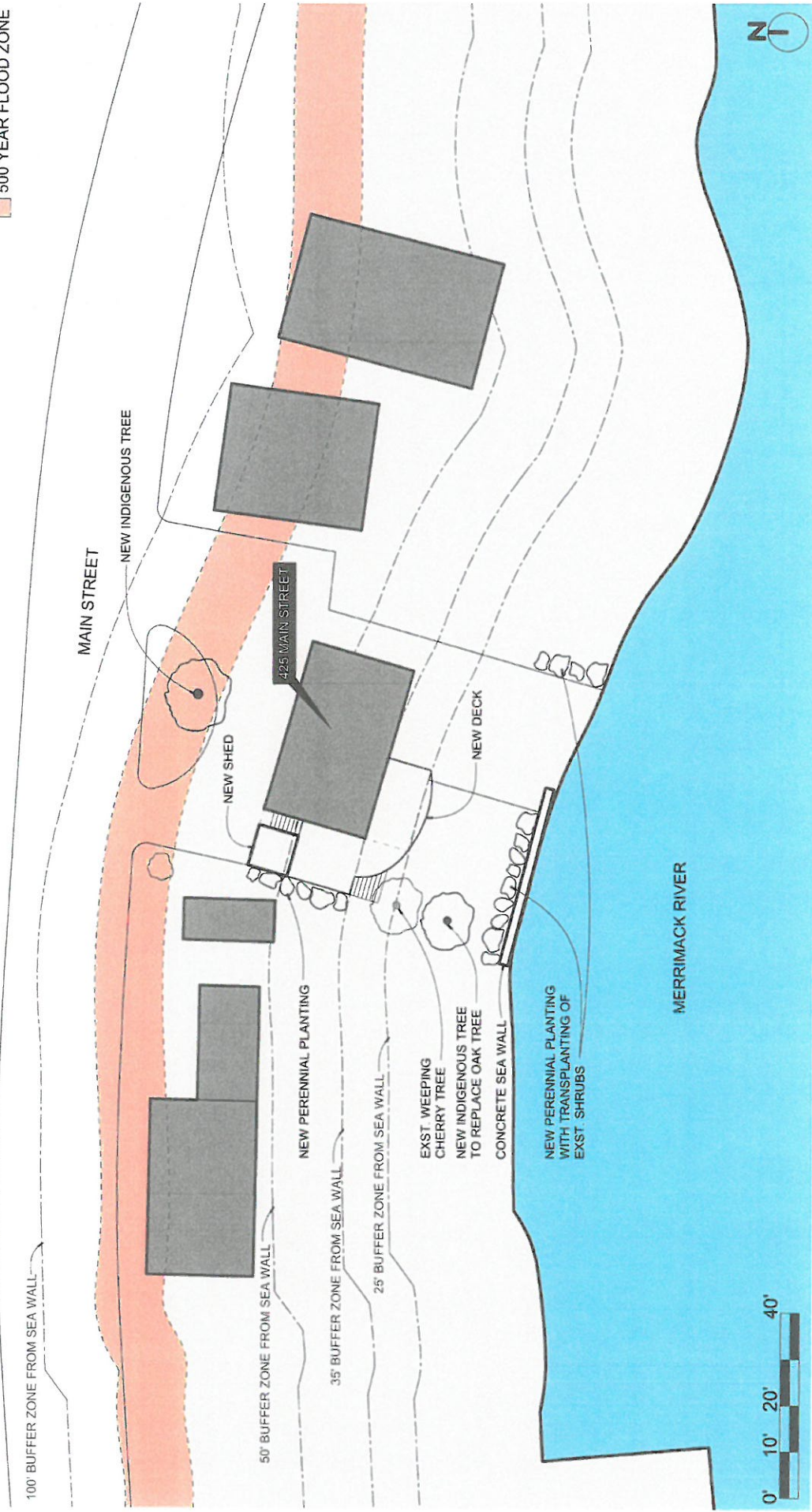


A1

EXISTING SITE PLAN
1" = 20'-0"
15 OCT 2016

SICKLER RESIDENCE
425 MAIN STREET
AMESBURY, MA 01913

- 100 YEAR FLOOD ZONE
- 500 YEAR FLOOD ZONE





DESIGN LOADS FOR NEW/EXT'G DECK
DEAD LOAD = 15 PSF
LIVE LOAD = 60 PSF
TOTAL LOAD = 75 PSF

LEGEND:

"1/4\" PL" = 1/4" STEEL PLATE WELDED TO END OF CURVED STEEL BEAM AND THRU BOLTED TO EXIST'G WITH (8)-3/8" BOLTS

6X6 = 6X6 PRESSURE TREATED WOOD POSTS

8" CMU = 8" REINFORCED CONCRETE MASONRY UNITS WITH #4 @24" O/C AND ALL CELLS FILLED SOLID WITH GROUT.

"CSB" = CURVED W10X30 STEEL BEAM WITH (1)-3/8" STIFF PL'S BOTH SIDES OF WEB EVENLY SPACED ALONG CURVE.

"DB" = 2X10 DIMENSIONED JOIST

"ECR" = EXISTING STEEL COLUMN TO REMAIN. FIX ANY DAMAGED SECTIONS WITH ANTRUST PAINT.

"EDJR" = EXISTING DECK JOISTS TO REMAIN. FIX OR REPLACE ANY DAMAGED/DETERIORATED JOISTS AS REQ'D.

JSTS. = CONVENTIONAL LUMBER JOISTS

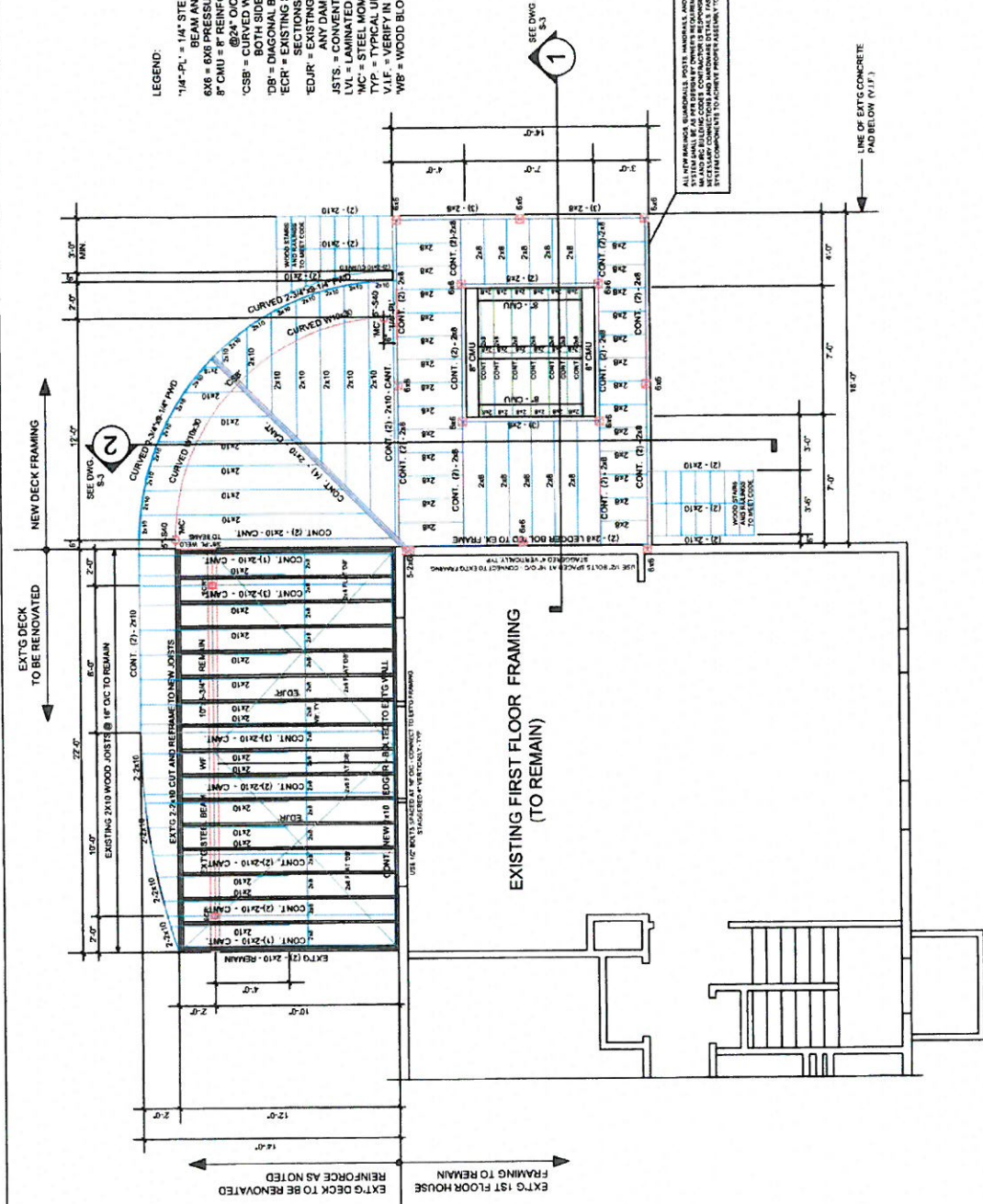
LVL = LAMINATED VENEER LUMBER PER MANUF.

"MC" = STEEL MOMENT CONNECTION PER AISC

"VLF" = VERIFY IN FIELD, BY CONTRACTOR

"VLF" = VERIFY IN FIELD, BY CONTRACTOR

"WB" = WOOD BLOCKING CONNECT TO JOISTS



NEW DECK FRAMING PLAN
SCALE: 1/4" = 1'-0"

- DECK FRAMING NOTES:
1. ALL NEW DECK FRAMING WORK, INCLUDING, BUT NOT LIMITED TO, POSTS, BEAMS, JOISTS, AND GIRDERS, SHALL BE PRESSURE TREATED AND SHALL BE INSTALLED AND CONNECTED USING SIMPSON TYPE GALVANIZED METAL HANGERS, ANCHORS, AND FASTENERS COMPATIBLE WITH WOOD AND CONCRETE. CONTRACTOR SHALL REVIEW ALL EXIST'G DECK MEMBERS AND ANY DAMAGED OR DEFECTIVE SHALL BE REMOVED AND REPLACED TO MATCH EXISTING.
 2. CONTRACTOR SHALL PROVIDE NEW HEADERS, STUDS, CLG. POSTS, AND WOOD POSTS ON EXISTING FIRST FLOOR FRAMING AND EXISTING FOUNDATION WALLS. VERIFY ALL FIELD JOISTS ARE PROPERLY SPACED AND SUPPORTED BY HEADERS AND WOOD POSTS WITH PLANE.
 3. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS, DIMENSIONS, HEIGHTS, ELEVATIONS, AND SPACING OF EXISTING JOISTS, BEAMS, AND GIRDERS. CONTRACTOR SHALL PROVIDE REMOVABLE SECTIONS OF FRAMING AS REQUIRED TO ALLOW FOR THE NOT-TO-BE TAKEN OUT AS REQUIRED BY OWNER.
 4. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS PRIOR TO INSTALLATION OF NEW DECK. CONTRACTOR SHALL SUBMIT THEIR PROPOSED DESIGN FOR REVIEW AND APPROVAL.
 5. CONTRACTOR SHALL PROVIDE NEW HEADERS, STUDS, CLG. POSTS, AND WOOD POSTS ON EXISTING FIRST FLOOR FRAMING AND EXISTING FOUNDATION WALLS. VERIFY ALL FIELD JOISTS ARE PROPERLY SPACED AND SUPPORTED BY HEADERS AND WOOD POSTS WITH PLANE.
 6. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS, DIMENSIONS, HEIGHTS, ELEVATIONS, AND SPACING OF EXISTING JOISTS, BEAMS, AND GIRDERS. CONTRACTOR SHALL PROVIDE REMOVABLE SECTIONS OF FRAMING AS REQUIRED TO ALLOW FOR THE NOT-TO-BE TAKEN OUT AS REQUIRED BY OWNER.
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 8. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS, DIMENSIONS, HEIGHTS, ELEVATIONS, AND SPACING OF EXISTING JOISTS, BEAMS, AND GIRDERS. CONTRACTOR SHALL PROVIDE REMOVABLE SECTIONS OF FRAMING AS REQUIRED TO ALLOW FOR THE NOT-TO-BE TAKEN OUT AS REQUIRED BY OWNER.
 9. ALL NEW WOOD MEMBERS SHALL BE PRESSURE TREATED AND SHALL BE INSTALLED AND CONNECTED USING SIMPSON TYPE GALVANIZED METAL HANGERS, ANCHORS, AND FASTENERS COMPATIBLE WITH WOOD AND CONCRETE. CONTRACTOR SHALL REVIEW ALL EXIST'G DECK MEMBERS AND ANY DAMAGED OR DEFECTIVE SHALL BE REMOVED AND REPLACED TO MATCH EXISTING.
 10. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS, DIMENSIONS, HEIGHTS, ELEVATIONS, AND SPACING OF EXISTING JOISTS, BEAMS, AND GIRDERS. CONTRACTOR SHALL PROVIDE REMOVABLE SECTIONS OF FRAMING AS REQUIRED TO ALLOW FOR THE NOT-TO-BE TAKEN OUT AS REQUIRED BY OWNER.
 11. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS, DIMENSIONS, HEIGHTS, ELEVATIONS, AND SPACING OF EXISTING JOISTS, BEAMS, AND GIRDERS. CONTRACTOR SHALL PROVIDE REMOVABLE SECTIONS OF FRAMING AS REQUIRED TO ALLOW FOR THE NOT-TO-BE TAKEN OUT AS REQUIRED BY OWNER.

PRM Engineering, LLC - Structural Consulting Engineers
Newburyport, MA 01950 - www.prmeng.net

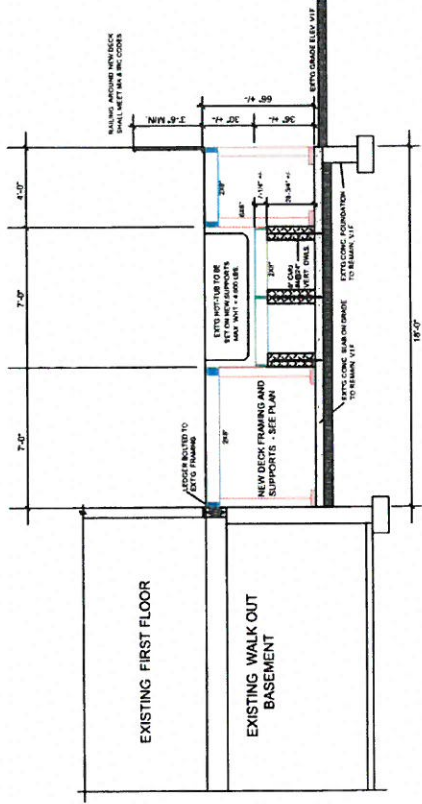
Mr. & Mrs. Sickler Single Family Home
425 Main Street, Amesbury, MA 01913
New Deck Extension & Renovations

DECK FRAMING PLAN

June 24, 2016

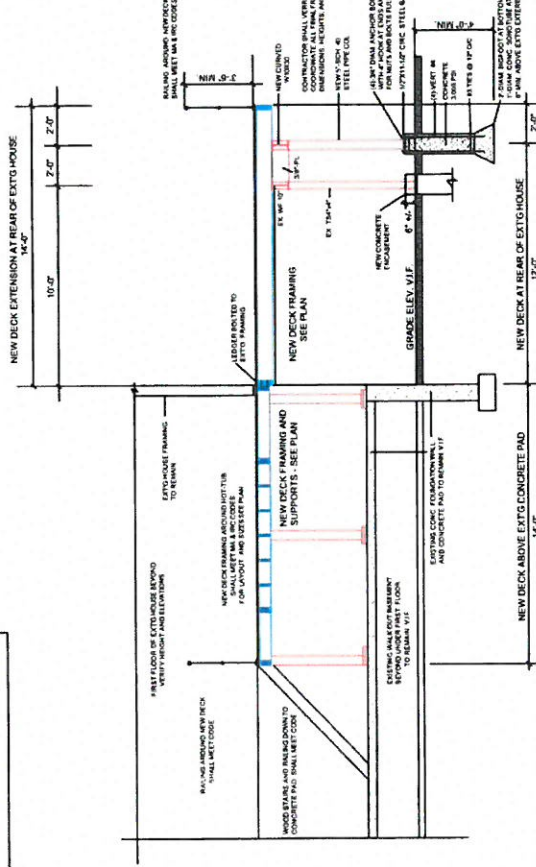
S-2

CONTRACTOR SHALL VERIFY ALL
DIMENSIONS AND CONDITIONS OF
EXISTING DECK AND SUPPORTS



SECTION 1
SCALE: 1/4" = 1'-0"

NOTE: CONTRACTOR SHALL VERIFY ALL EXISTING HOUSE WALLS AND FLOOR FRAMING
CONDITIONS ADJACENT TO NEW DECK FRAMING AND CONCRETE PAD AT GRADE.
ADD NEW FRAMING AND SUPPORTS AS REQUIRED TO MEET MA AND IRC CODES.



SECTION 2
SCALE: 1/4" = 1'-0"

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Newburyport, MA 01950 - www.prmeng.net

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Mr. & Mrs. Sickler Single Family Home
425 Main Street, Amesbury, MA 01913
New Deck Extension & Renovations

NEW DECK SECTIONS

June 24, 2016

S-3



Zoom to a town



0 m

ENDANGERED SPECIES LINE