



# Amesbury

PLANNING BOARD

City Hall

**APPLICATION FOR SPECIAL PERMIT**

Date 5/7/2026

Name 21 Water Street Reality Trust

Address 29 Waterstreet

Amesbury, MA 01913

Title Reference – Book 36992 Page 238

Application is hereby made for a Special Permit under the requirements of Section V, Paragraph D of the Amesbury Zoning Bylaw.

Premises affected are situated on 29 Waterstreet Street, Amesbury, MA, and on Map # 53, Lot(s) 105 of the Assessor's Map.

1. Type of Special Permit Required: Flood Plain protection District

2. Zoning District: IC

3. Has there been any previous appeal or permit on this property: NO

If yes, explain: \_\_\_\_\_

4. Lot Size: 0.12 Acres

5. Size of Building(s) existing or proposed: 4,137 s.f. gross floor existing, 4,137 s.f. to remain

6. Occupancy of use, existing/proposed: 6 unit residential (proposed), Commercial (Existing)

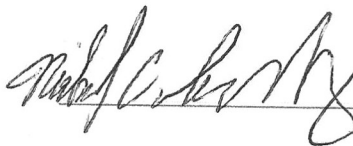
7. Is Site Plan review required: Yes

8. Is Subdivision Control Law approval required: No

9. Other permits required: Site Plan Review, RDA , Historical Preservation

10. Description of proposed work/use: The project will include converting an existing 2.5 story brick building into a 6 unit multi-family dwelling. Site improvements for the project will include updating site amenities and utilities for the use of residential units. Due to the size and the available space on the lot, no parking is proposed. However a municipal parking lot is across the street ( approximately 65 FT. North West of the building)

11. Principal points upon which application is based: The large majority of the proposed work will occur within the existing building footprint. No alterations to the existing grade around the building are proposed; therefore, there will be no impact on the floodplain. Additionally, no habitable area is proposed on the first floor of the existing building and all mechanical systems are proposed above the floodplain (elevation 10.8).



Representative

Signature of Applicant

Owner (if not Applicant)

Filing Fee: \$500.00 plus \$100 per lot (CAD, Cluster) or \$50 per dwelling unit (Multi-Family)

Received: \_\_\_\_\_

Distributed: \_\_\_\_\_

Hearing: \_\_\_\_\_

**The application must be filed with the original application, (16) collated copies, (1) electronic copy. If Site plan approval or Subdivision Control Law approval is necessary the original application, (16) collaged copies, (1) electronic copy must be submitted.**