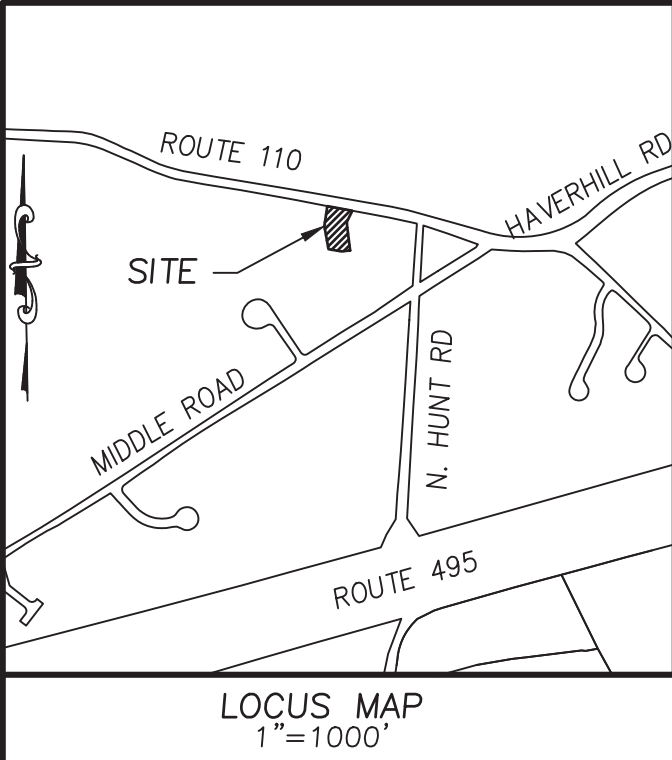




BASIS OF BEARINGS
MASSACHUSETTS STATE PLANE
COORDINATE SYSTEM
NAD-83

OWNER OF RECORD
80 HAVERHILL ROAD, LLC
BK. 41666 PG. 459

PLAN REFERENCES
PLAN BOOK 121 PLAN 12
1926 S.H.L.O.

SITE PLAN FOR 80 HAVERHILL ROAD IN AMESBURY, MA NOVEMBER 2024

CITY OF AMESBURY
OFFICE OF THE CITY OF THE CLERK

THIS IS TO CERTIFY THAT ON _____
I RECEIVED FROM THE AMESBURY PLANNING
BOARD CERTIFICATION OF ITS APPROVAL OF
THIS PLAN AND THAT DURING THE (20)
TWENTY DAYS NEXT FOLLOWING I HAVE
RECEIVED NO NOTICE OF ANY APPEAL FROM
SAID DECISION.

CLERK _____ DATE _____

FOR REGISTRY USE

AMESBURY PLANNING
BOARD APPROVAL

DATE

PLAN INDEX

SHEET NO.	TITLE
C1	COVER SHEET
C2	GENERAL NOTES & LEGEND
C3	BOUNDARY PLAN
C4	EXISTING CONDITIONS
C5	SITE PLAN
C6	GRADING AND DRAINAGE PLAN
C7	UTILITIES PLAN
C8	EROSION AND SEDIMENTATION PLAN
C9-C11	CONSTRUCTION DETAILS

ZONING TABLE

ADDRESS - ASSESSORS MAP 85 LOT 59 ZONING DISTRICT R40			
	REQUIRED	EXISTING	PROPOSED
LOT AREA:	40,000 S.F.	27,332 S.F.	27,332 S.F.**
LOT FRONTAGE:	140 FT.	132.84 FT.	132.84 FT.**
FRONT SETBACK:	40 FT.	36.6 FT.	36.6 FT.**
SIDE SETBACK:	25 FT.	16.7 FT.	17.2 FT.**
REAR SETBACK:	50 FT.	79.1 FT.	42.6 FT.**
BLDG HEIGHT:	35 FT.	29.6*	29.6*
MAX. STORIES	2.5	2	4**
MAX. BLDG AREA:	15%	13.5%	20.5%**
MIN OPEN SPACE:	50%	61.5%	50.7%

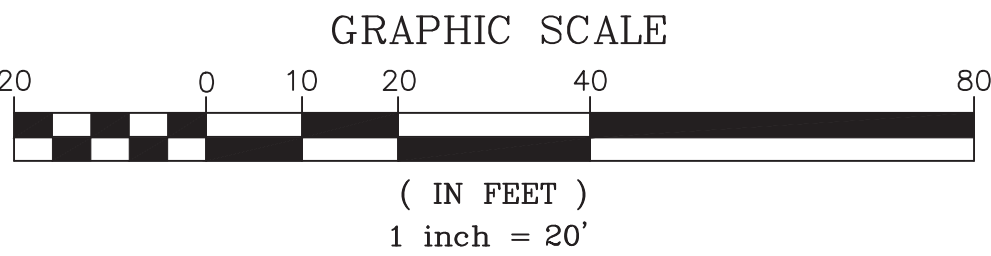
*THE VERTICAL DISTANCE FROM THE AVERAGE FINISH GRADE OF THE ADJACENT GROUND TO THE MEAN LEVEL OF THE HIGHEST GABLE OR SLOPE OF A HIP ROOF. (SEE ARCHITECTURAL PLANS FOR DETAILS)

**WAIVER REQUESTED



WAIVER REQUESTS:

- THE FOLLOWING WAIVERS ARE REQUESTED FROM THE CITY OF AMESBURY'S ZONING REGULATIONS UNDER THE HISTORIC PRESERVATION SPECIAL PERMIT SECTION XI.J:
- IN ORDER TO PERMIT CONVERSION OF EXISTING HISTORIC BUILDINGS OR STRUCTURES, THE BOARD MAY MODIFY THE STANDARDS IN TABLE OF DENSITY AND DIMENSIONAL REGULATIONS, WITH REGARDS TO MINIMUM LOT AREA, LOT FRONTAGE, FRONT, SIDE AND REAR SETBACKS TO ALLOW RESIDENTIAL USES IN AN EXISTING OR PROPOSED PRINCIPAL OR ACCESSORY STRUCTURE.
- SECTION VI DIMENSIONAL AND DENSITY REGULATIONS:
THE MINIMUM LOT AREA WITHIN THE R-40 DISTRICT IS 40,000 S.F., THE EXISTING LOT AREA IS 27,332 S.F.
 - SECTION VI DIMENSIONAL AND DENSITY REGULATIONS:
THE MINIMUM LOT FRONTAGE WITHIN THE R-40 DISTRICT IS 140 FT., THE EXISTING LOT HAS 132.84 FT. OF FRONTAGE.
 - SECTION VI DIMENSIONAL AND DENSITY REGULATIONS:
THE REQUIRED FRONT SETBACK WITHIN THE R-40 DISTRICT IS 40 FT., THE PROPOSED FRONT SETBACK IS 36.6 FT.
 - SECTION VI DIMENSIONAL AND DENSITY REGULATIONS:
THE REQUIRED SIDE SETBACK WITHIN THE R-40 DISTRICT IS 25 FT., THE PROPOSED SIDE SETBACK IS 17.2 FT.
 - SECTION VI DIMENSIONAL AND DENSITY REGULATIONS:
THE REQUIRED REAR SETBACK WITHIN THE R-40 DISTRICT IS 50 FT., THE PROPOSED REAR SETBACK IS 42.6 FT.
 - SECTION VI DIMENSIONAL AND DENSITY REGULATIONS:
THE MAXIMUM BUILDING AREA WITHIN THE R-40 DISTRICT IS 15%, THE PROPOSED BUILDING AREA IS 20.5%.
 - SECTION VI DIMENSIONAL AND DENSITY REGULATIONS:
THE MAXIMUM NUMBER OF STORIES WITHIN THE R-40 DISTRICT IS 2.5, THE PROPOSED BUILDING IS 4 STORIES (INCLUDING BASEMENT/GARAGE).
 - SECTION VII OFF STREET PARKING AND LOADING REGULATIONS:
THE REQUIRED AISLE WIDTH BETWEEN PARKING SPACES FOR TWO WAY TRAFFIC IS 24'. ONE OF THE PROPOSED PARKING SPACES PROVIDES 20'.
 - SECTION VIII OFF STREET PARKING AND LOADING REGULATIONS:
ALL DRIVEWAYS IN "R" DISTRICTS SHALL BE PLACED A MINIMUM OF 5' FROM ANY PROPERTY LINE. THE PROPOSED DRIVEWAY IS 3.5' FROM THE PROPERTY LINE.
 - WAIVER FROM SECTION 8.04A.10F OF THE AMESBURY SUBDIVISION RULES AND REGULATIONS REQUIRING THE USE OF RCP PIPE FOR THE DRAINAGE SYSTEM. HDPE PIPE IS PROPOSED.
 - WAIVER FROM SECTION 8.04A.1 OF THE AMESBURY SUBDIVISION RULES AND REGULATIONS REQUIRING A MINIMUM OF 3 FEET OF COVER OVER DRAINAGE PIPES. LESS THAN 2.7 FEET OF COVER IS PROPOSED AT CB#4.



PREPARED FOR

80 HAVERHILL ROAD, LLC
80 HAVERHILL ROAD
AMESBURY, MA



MILLENNIUM ENGINEERING, INC.
ENGINEERING AND LAND SURVEYING
62 ELM ST. SALISBURY, MA 01952 (978) 463-8980
13 HAMPTON RD. EXETER, NH 03833 (603) 778-0528

SCALE: 1"=20'
DATE: NOV. 8, 2024
CALC. BY: S.R.C.
CHKD. BY: E.W.B.
PROJECT: M234276

SITE PLAN
IN
AMESBURY, MA
AT
80 HAVERHILL ROAD

COVER
SHEET

SHEET: C-1

LEGEND

EXISTING	PROPOSED	
		CATCH BASIN (OR GUTTER INLET, OR LEACHING BASIN)
		CATCH BASIN (OR GUTTER INLET) WITH CURB INLET
		CURB (OR BERM) — TYPE NOTED
		EDGE OF ROAD
		CONTOUR SPOT GRADE
		SEWER MANHOLE
		DRAINAGE MANHOLE
		GAS GATE
		WATER GATE
		HYDRANT
		FIRE ALARM BOX
		POST MOUNTED PEDESTRIAN LIGHT
		UTILITY POLE
		DRAIN PIPE
		SEWER MAIN
		SEWER FORCE MAIN
		UNDERDRAIN
		WATER MAIN
		ELECTRIC/TELEPHONE DUCT
		MAIL BOX
		HIGHWAY GUARD (TYPE NOTED)
		FENCE (SIZE AND TYPE NOTED)
		EASEMENT LINE
		PROPERTY LINE
		100 FT BUFFER ZONE
		TEST PIT
		SILTATION BARRIER/LIMIT OF WORK
		WETLAND

SURVEY

120	WETLAND DELINEATION FLAG
	CONCRETE BOUND
	STONE BOUND
	DRILL HOLE
	MASONRY NAIL
	IRON PIPE
	IRON ROD
	FOUND
	NOT FOUND
	ASSESSORS MAP AND PARCEL

GENERAL NOTES

- THE CONTRACTOR SHALL REPORT TO THE OWNER AND ENGINEER ANY SIGNIFICANT VARIATIONS IN EXISTING SITE CONDITIONS. ANY PROPOSED REVISIONS TO THE WORK SHALL NOT BE UNDERTAKEN UNTIL REVIEWED AND APPROVED BY THE OWNER AND REGULATING CITY AND/OR STATE AGENCIES.
- THE CONTRACTOR SHALL INSTALL ALL SYSTEM COMPONENTS IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS AND ALL APPLICABLE ELECTRICAL, PLUMBING, AND SANITARY CODES.
- ALL WORK SHALL CONFORM TO; THE CITY OF AMESBURY SUBDIVISION RULES AND REGULATIONS, THE CITY OF AMESBURY CONSTRUCTION STANDARDS AND DETAILS, THE WETLANDS PROTECTION ACT (310 CMR 10.00), THE ORDER OF CONDITIONS ISSUED BY THE AMESBURY CONSERVATION COMMISSION; NPDES CONSTRUCTION GENERAL PERMIT; AND THESE PLANS.
- THE LOCATION OF ALL UTILITIES, AS SHOWN ON THESE PLANS, ARE BASED UPON PLANS AND RECORD INFORMATION PROVIDED BY MUNICIPAL AND PRIVATE UTILITY COMPANIES AND ARE CONSIDERED APPROXIMATE BOTH AS TO SIZE AND LOCATION. NO WARRANTY IS MADE AS TO THE ACCURACY OF THESE LOCATIONS OR THAT ALL UTILITIES ARE SHOWN. THE CONTRACTOR SHALL NOT RELY ON THESE PLANS FOR SUCH INFORMATION AND SHALL MAKE EXAMINATIONS IN THE FIELD BY VARIOUS AVAILABLE RECORDS, UTILITY COMPANIES AND INDIVIDUALS, AS TO THE LOCATION OF ALL SUBSURFACE STRUCTURES.
- THE CONTRACTOR SHALL VERIFY THE LOCATION OF EXISTING UTILITIES BY CONTACTING "DIG-SAFE" AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION. DIG-SAFE TELEPHONE NUMBER: 1-888-344-7233.
- THE CONTRACTOR SHALL FIELD CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE PROCEEDING WITH THE NEW WORK. HE/SHE SHALL EXCAVATE TO VERIFY PERTINENT DRAINAGE INVERTS AND POTENTIAL UTILITY CONFLICTS. ANY DISCREPANCIES SHALL BE REPORTED TO THE OWNER IMMEDIATELY.
- ALL EXISTING STRUCTURES AND SURFACES, UNLESS OTHERWISE SHOWN, SHALL BE COMPLETELY REMOVED FROM THE AREAS OF WORK. ALL TREES SCHEDULED FOR REMOVAL SHALL BE FIELD MARKED AND APPROVED FOR REMOVAL BY THE OWNER PRIOR TO CUTTING OPERATIONS.
- THE CONTRACTOR IS RESPONSIBLE FOR INITIATING, MAINTAINING AND SUPERVISING ALL SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS FOR THE SAFETY OF THE PUBLIC, EMPLOYEES, AND ALL OTHER PERSONS ASSOCIATED WITH THE PROJECT. HE/SHE SHALL COORDINATE AND BE RESPONSIBLE FOR ALL SAFETY SIGNING, BARRIERS AND TEMPORARY PAVEMENT MARKINGS NECESSARY TO PROVIDE A SMOOTH AND PROPER TRANSITION FOR TRAFFIC FLOW.
- IF REQUIRED BY THE CONTRACTOR, OVERHEAD LINES SHALL BE RELOCATED BY THE UTILITY COMPANY AT THE CONTRACTORS EXPENSE.
- AREAS OUTSIDE THE LIMITS OF WORK (EROSION CONTROL/SILT FENCE LOCATIONS) DISTURBED BY THE CONTRACTOR DURING CONSTRUCTION SHALL BE RESTORED TO THEIR ORIGINAL CONDITION AT THE EXPENSE OF THE CONTRACTOR.
- ALL SEWER MAINS SHALL BE INSTALLED AT LEAST 10 FEET HORIZONTALLY FROM PROPOSED WATER MAINS AND SHALL MAINTAIN 5 FEET OF COVER OVER THE TOP OF THE PIPING, UNLESS OTHERWISE SHOWN OR APPROVED.
- ALL WATER MAINS SHALL BE INSTALLED WITH A MINIMUM OF 5 FEET OF COVER OVER THE TOP OF THE PIPE, UNLESS OTHERWISE SHOWN OR APPROVED.
- WHENEVER SEWER MAINS MUST CROSS WATER MAINS, THE SEWER SHALL BE CONSTRUCTED AS FOLLOWS; 6" THICK CONCRETE ENCASEMENTS EXTENDING 10' EITHER SIDE OF THE CROSSING.
- THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING EROSION AND/OR SEDIMENT CONTROLS DURING CONSTRUCTION. HE/SHE SHALL INSPECT CONTROLS WEEKLY AND AFTER ALL STORM EVENTS. REPAIRS, IF REQUIRED, SHALL BE MADE IMMEDIATELY.
- 14 DAYS PRIOR TO COMMENCING CONSTRUCTION, THE OWNER/DEVELOPER SHALL PRESENT A CONSTRUCTION SCHEDULE TO THE THE CITY OF AMESBURY PLANNING BOARD.
- TWO HARD COPIES OF AS-BUILT DRAWINGS SHALL BE SUBMITTED TO THE THE CITY OF AMESBURY PLANNING BOARD UPON COMPLETION OF THE PROJECT. AS-BUILTS SHALL INCLUDE ALL LANDBASE AND UTILITIES INFORMATION.
- ONSITE BURIAL OF STUMPS OR ANY OTHER DEBRIS IS PROHIBITED.
- ELEVATIONS ARE BASED UPON 1988 NAVD DATUM.

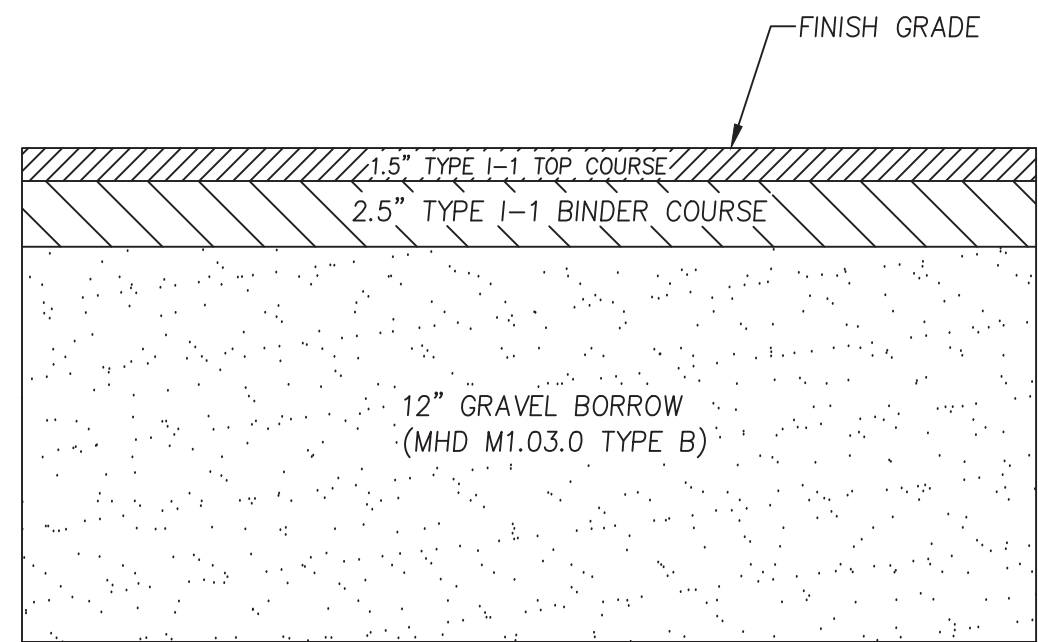
MATERIAL NOTES

ALL MATERIALS OF THE ELEMENTS IN THE SITE PLAN MUST CONFORM TO THE FOLLOWING STANDARDS:

- COMMONWEALTH OF MASSACHUSETTS DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES (LATEST EDITION)
- 521 CMR RULES AND REGULATIONS OF THE ARCHITECTURAL ACCESS BOARD (AAB) AND THE AMERICANS WITH DISABILITIES ACT (ADA)
- SPECIFICATIONS BY THE CITY OF AMESBURY AS SET FORTH BY DESIGN STANDARDS IN THE PLANNING BOARD RULES AND REGULATIONS GOVERNING THE SUBDIVISION OF LAND, DATED NOVEMBER 1, 2013
- UTILITIES INSTALLED PER CITY OF AMESBURY WATER DIVISION CONSTRUCTION DETAILS

PAVEMENT NOTES

- ALL STUMPS, ROCKS AND LEDGE WITHIN THE LIMITS OF THE PROPOSED PAVED WAY SHALL BE REMOVED. ALL LEDGE SHALL BE REMOVED TO A MINIMUM DEPTH OF 2' BELOW FINISHED PAVEMENT GRADE.
- PAVEMENT SHALL NOT BE CONSTRUCTED DURING FREEZING WEATHER OR ON WET OR FROZEN SUBGRADE.
- GRADING AND ROLLING SHALL BE REQUIRED TO PROVIDE A SMOOTH, EVEN, AND UNIFORM COMPACTED BASE WHICH IS COMPACTED TO A MINIMUM DRY DENSITY OF 95 PERCENT.
- ALL UNSUITABLE MATERIAL SHALL BE EXCAVATED AND REPLACED WITH SATISFACTORY MATERIAL AND BROUGHT UP TO GRADE WITH GRAVEL BORROW CONTAINING NO STONES GREATER THAN 6" DIAMETER.
- AT ALL TIMES DURING CONSTRUCTION, THE SUB-GRADE AND ALL DITCHES SHALL BE CONSTRUCTED AND MAINTAINED SO THAT THE TRACK WILL EFFECTIVELY BE DRAINED.
- THE CONTRACTOR SHALL REFER TO THE AMESBURY PLANNING BOARD RULES AND REGULATIONS GOVERNING THE SUBDIVISION OF LAND.



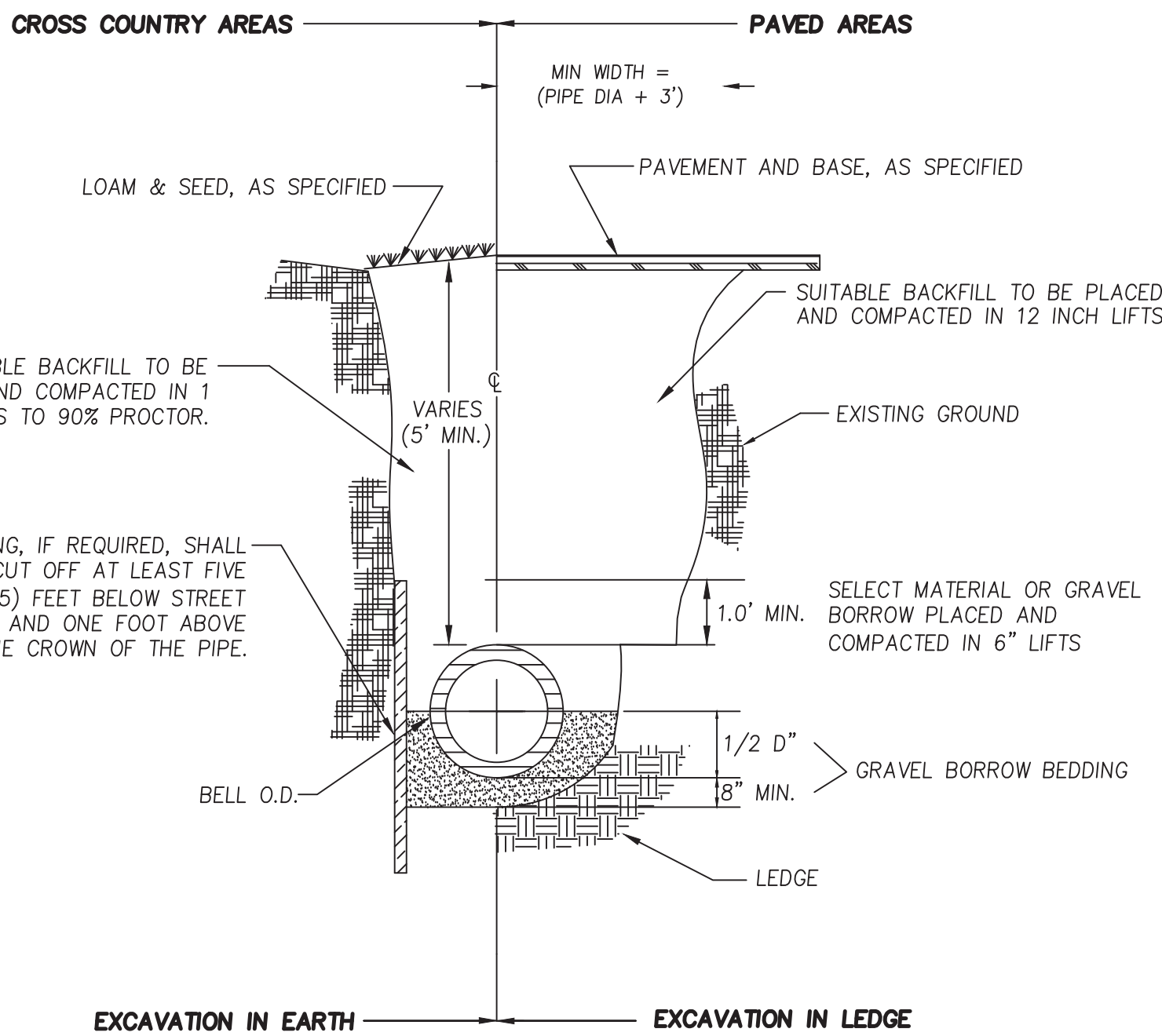
PAVEMENT
DETAIL

N.T.S.

CITY OF AMESBURY
OFFICE OF THE CITY OF THE CLERK

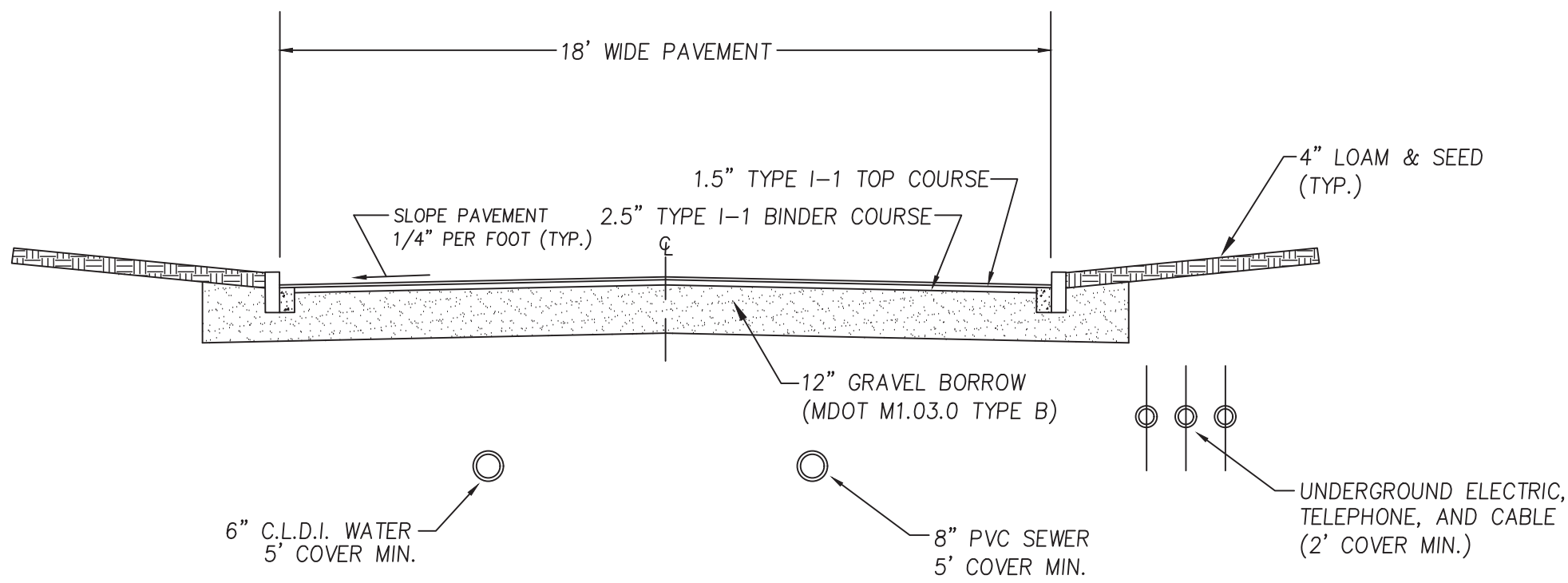
THIS IS TO CERTIFY THAT ON _____
I RECEIVED FROM THE AMESBURY PLANNING BOARD CERTIFICATION OF ITS APPROVAL OF THIS PLAN AND THAT DURING THE (20) TWENTY DAYS NEXT FOLLOWING I HAVE RECEIVED NO NOTICE OF ANY APPEAL FROM SAID DECISION.

CLERK _____ DATE _____



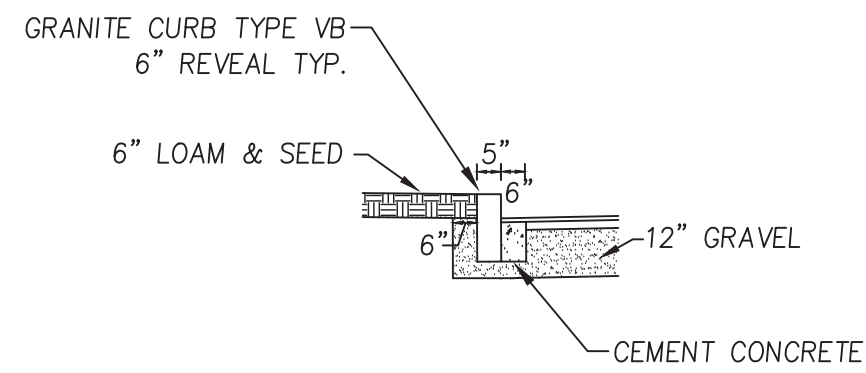
TYPICAL TRENCH
DETAIL

N.T.S.



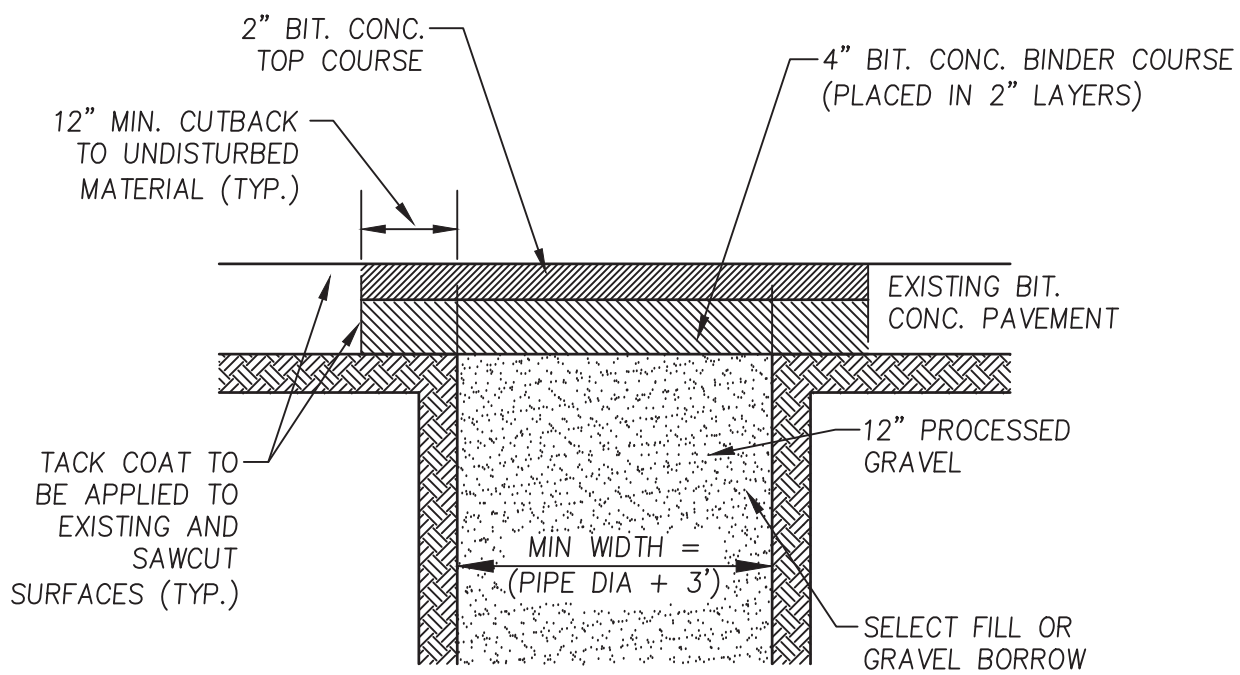
DRIVEWAY CROSS-SECTION

N.T.S.



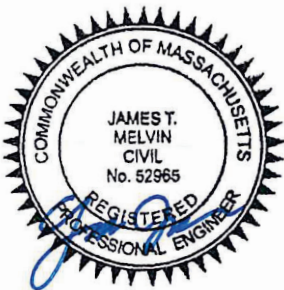
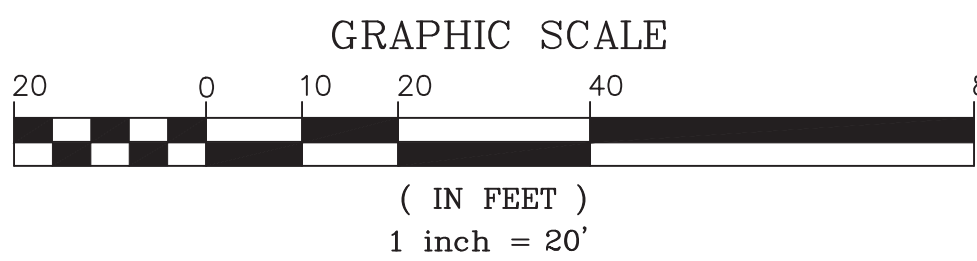
TYPICAL GRANITE CURBING
INSTALLATION DETAIL

N.T.S.



PERMANENT TRENCH
PATCH DETAIL

N.T.S.



PREPARED FOR
80 HAVERHILL ROAD, LLC
80 HAVERHILL ROAD
AMESBURY, MA



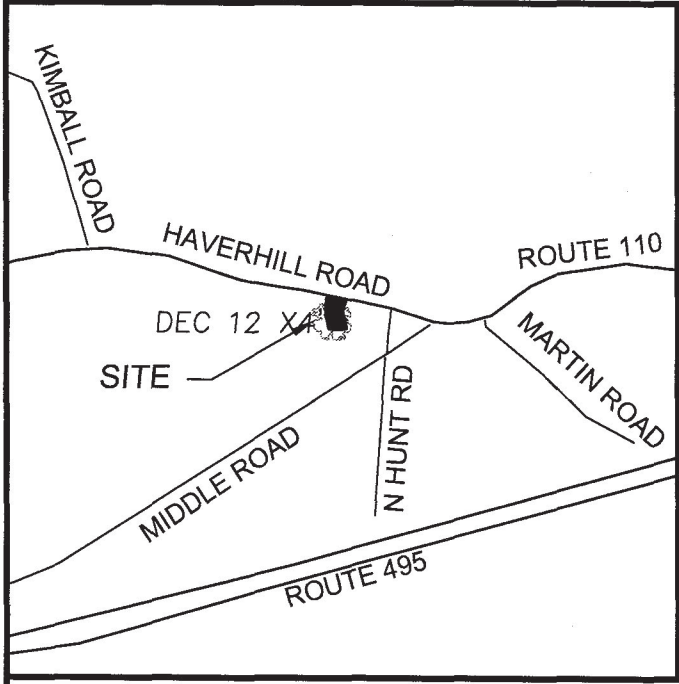
MILLENNIUM ENGINEERING, INC.
ENGINEERING AND LAND SURVEYING
62 ELM ST. SALISBURY, MA 01952 (978) 463-8980
13 HAMPTON RD. EXETER, NH 03833 (603) 778-0528

SCALE: 1"=20'
DATE: NOV. 8, 2024
CALC. BY: S.R.C.
CHKD. BY: E.W.B.
PROJECT: M234276

SITE PLAN
IN
AMESBURY, MA
AT
80 HAVERHILL ROAD

**GENERAL
NOTES
&
LEGEND**

SHEET: C-2



LOCUS MAP
1" = 1,500'

KEY REFERENCE DEEDS

- BOOK 41666 PAGE 459 L.J.M. REAL ESTATE NOMINEE TRUST TO 80 HAVERHILL ROAD, LLC DATED 7/18/23 RECORDED SOUTH ESSEX REGISTRY OF DEEDS.

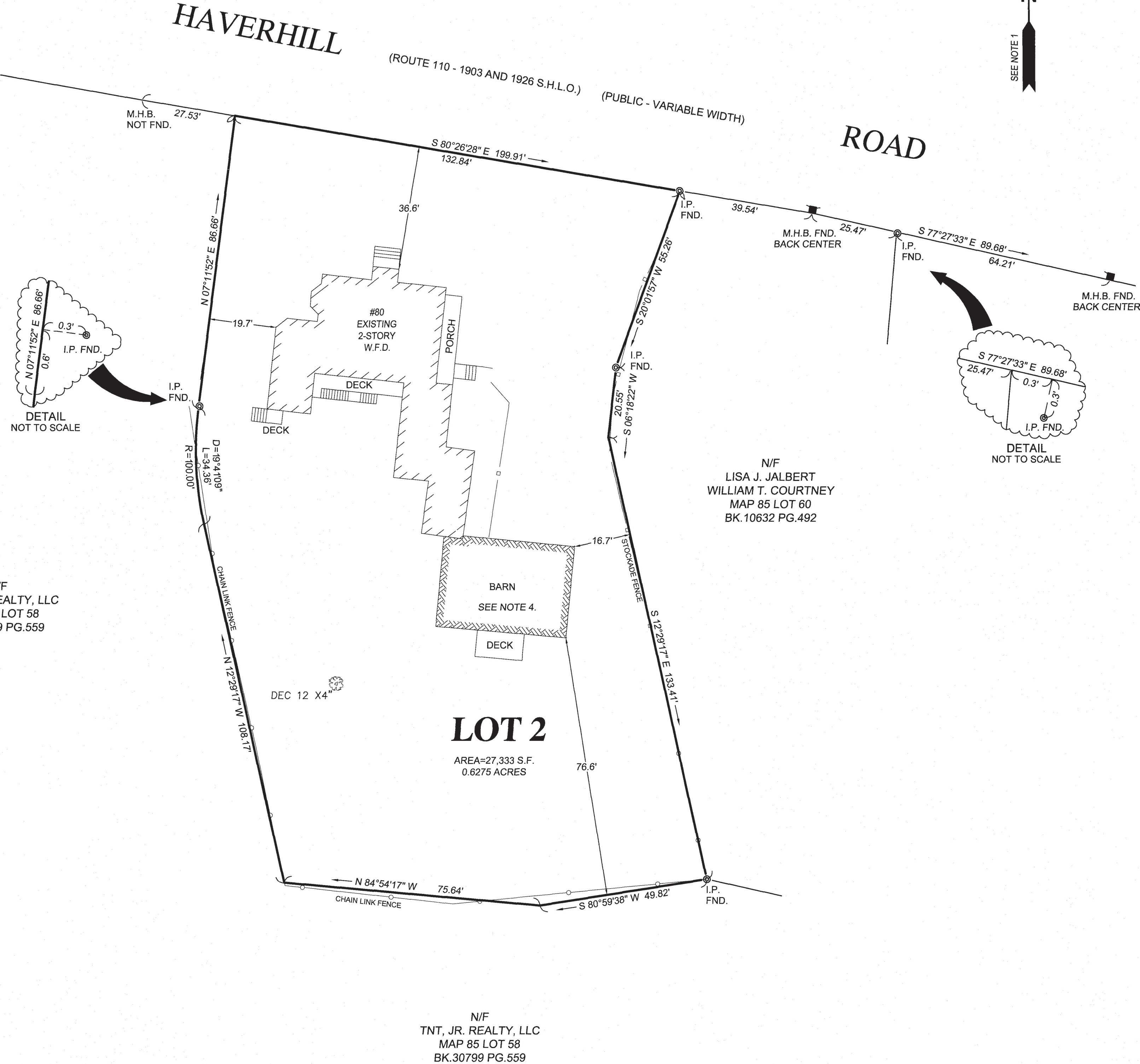
KEY REFERENCE PLANS

- PLAN OF LAND AS SURVEYED FOR W. E. BEGIN PREPARED BY TOWN PLANNING & ENGINEERING DATED OCT. 1971 RECORDED SOUTH ESSEX REGISTRY OF DEEDS PLAN BOOK 121 PLAN 12.
- PLAN OF LAND PREPARED FOR BALDINELLI'S BOWL-A-WAY, INC. PREPARED BY W. C. CAMMETT ENGINEERING, REVISED DATE AUGUST 19, 1992 RECORDED SOUTH ESSEX REGISTRY OF DEEDS PLAN BOOK 277 PLAN 37.
- 1903 STATE HIGHWAY LAYOUT.
- 1926 ALTERATION STATE HIGHWAY LAYOUT.

NOTES

- ORIENTATION IS TO MASS MAINLAND SPC NAD 1983 BASED ON MULTIPLE GNSS RTK OBSERVATIONS.
- STATUS OF RIGHT OF WAYS SHOWN AS PUBLIC OR PRIVATE ARE BASED ON REFERENCED DEEDS AND PLANS. NO WARRANTY IS EXPRESSED OR IMPLIED.
- THIS SURVEY IS NOT A CERTIFICATION TO OWNERSHIP OR TITLE OF LANDS SHOWN. OWNERSHIP AND ENCUMBRANCES ARE MATTERS OF TITLE EXAMINATION NOT OF A BOUNDARY SURVEY. THE INTENT OF THIS PLAN IS TO ESTABLISH THE BOUNDARY LINES OF DEEDS REFERENCED HEREON. OWNERSHIP OF ADJOINING PROPERTIES IS ACCORDING TO ASSESSOR'S RECORDS. THIS PLAN MAY OR MAY NOT INDICATE ALL ENCUMBRANCES WHETHER EXPRESSED, IMPLIED OR PRESCRIPTIVE.
- THE BARN AS SHOWN WAS IN PLACE AT DATE OF THE SITE DETAILS SURVEY. IT HAS SINCE BEEN RAZED.

N/F
TNT, JR. REALTY, LLC
MAP 85 LOT 58
BK.30799 PG.559



FOR REGISTRY USE ONLY

I CERTIFY THAT THIS PLAN CONFORMS TO THE RULES AND REGULATIONS OF THE REGISTER OF DEEDS.

Preston Brown 10/28/24
PRESTON BROWN DATE

RECORD OWNER

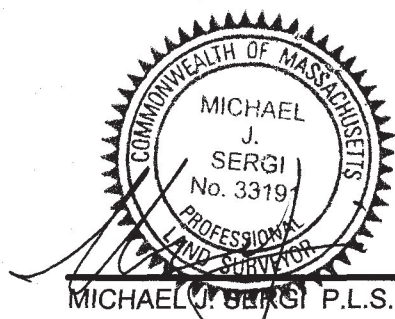
80 HAVERHILL ROAD, LLC

ASSESSOR REFERENCE

AMESBURY ASSESSOR'S MAP 85 LOT 59.

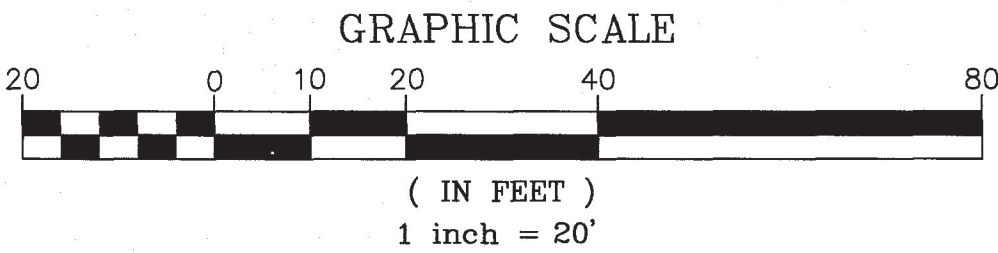
I CERTIFY THAT THE PROPERTY LINES SHOWN ARE THE LINES DIVIDING EXISTING OWNERSHIPS, AND THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED, AND NO NEW LINES FOR DIVISION OF EXISTING OWNERSHIPS OR FOR NEW WAYS ARE SHOWN.

CHAPTER 41 SECTION 81X



10/28/24
DATE

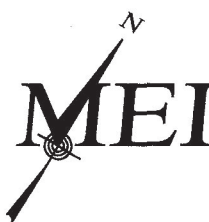
THE CERTIFICATION SHOWN ABOVE IS INTENDED TO MEET REGISTRATION REQUIREMENTS AND IS NOT A CERTIFICATION TO TITLE OR OWNERSHIP OF PROPERTY SHOWN. OWNERSHIP OF ADJOINING PROPERTIES ARE ACCORDING TO ASSESSORS RECORDS.



PREPARED FOR

80 HAVERHILL ROAD, LLC
80 HAVERHILL ROAD
AMESBURY, MA

NO.	DATE	DESCRIPTION	BY
-----	------	-------------	----



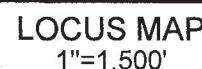
MILLENNIUM ENGINEERING, INC.
ENGINEERING AND LAND SURVEYING
62 ELM ST. SALISBURY, MA 01952 (978) 463-8980
13 HAMPTON RD. EXETER, NH 03833 (603) 778-0528

SCALE: 1"=20'	CALC. BY: P.D.B.	PROJECT: M234276
DATE: OCT. 28, 2024	CHKD. BY: M.J.S.	

SITE PLAN
IN
AMESBURY, MA
AT
80 HAVERHILL ROAD

BOUNDARY
PLAN

SHEET: C-3



SEE NOTE 1

PLAN REFERENCES
PLAN BOOK 121 PLAN 12
1926 S.H.L.O.

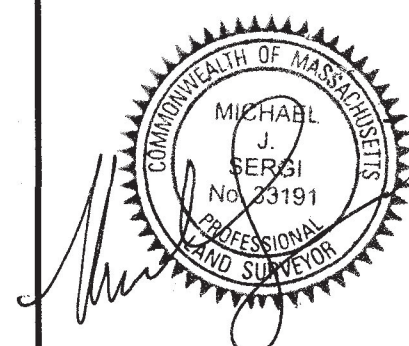
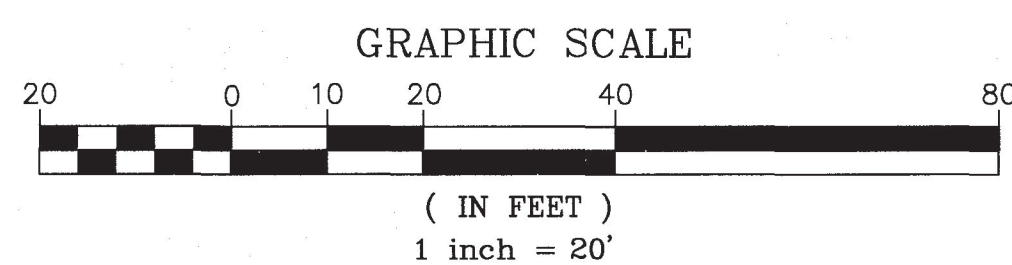


1. ORIENTATION IS TO MASS MAINLAND SPC NAD 1983 BASED ON MULTIPLE GNSS RTK OBSERVATIONS.
2. STATUS OF RIGHT OF WAYS SHOWN AS PUBLIC OR PRIVATE ARE BASED ON REFERENCED DEEDS AND PLANS. NO WARRANTY IS EXPRESSED OR IMPLIED.
3. THIS SURVEY IS NOT A CERTIFICATION TO OWNERSHIP OR TITLE OF LANDS SHOWN. OWNERSHIP AND ENCUMBRANCES ARE MATTERS OF TITLE EXAMINATION NOT OF A BOUNDARY SURVEY. THE INTENT OF THIS PLAN IS TO ESTABLISH THE BOUNDARY LINES OF DEEDS REFERENCED HEREON. OWNERSHIP OF ADJOINING PROPERTIES IS A MATTER FOR AN ASSESSOR'S RECORDS. THIS PLAN MAY OR MAY NOT INDICATE ALL ENCUMBRANCES WHETHER EXPRESSED, IMPLIED OR PRESCRIPTIVE.
4. THE BARN AS SHOWN WAS IN PLACE AT DATE OF THE SITE DETAILS SURVEY. IT HAS SINCE BEEN RAZED.

S.H.L.O.	STATE HIGHWAY LAYOUT
—120—	EXISTING ELEVATION CONTOUR
⊙ UPOLE	UTILITY POLE
—OH—	OVERHEAD WIRE
⊙ SMH	SEWER MANHOLE
—W—	WATER
—S—	SEWER
—G—	GAS
N/F	NOW OR FORMERLY
	ASSESSORS MAP#
	PARCEL#

ADDRESS – ASSESSORS MAP 85 LOT 59 ZONING DISTRICT R40		
	REQUIRED	EXISTING
LOT AREA:	40,000 S.F.	27,332 S.F.
LOT FRONTAGE:	140 FT.	132.84 FT.
FRONT SETBACK:	40 FT.	36.6 FT.
SIDE SETBACK:	25 FT.	16.7 FT.
REAR SETBACK:	50 FT.	76.6 FT.
BLDG HEIGHT:	35 FT.	**
MAX. STORIES	2.5	2
MAX. BLDG AREA:	15%	13.5%
MIN OPEN SPACE:	50%	61.5%

1. THE LOCATION OF ALL UNDERGROUND UTILITIES SHOWN HEREON ARE APPROXIMATE AND ARE BASED ON A COMBINATION OF READILY OBSERVABLE FIELD LOCATIONS AND COMPILED INFORMATION FROM PLANS SUPPLIED BY VARIOUS UTILITY COMPANIES, THE CLIENT AND GOVERNMENT AGENCIES. THERE IS NO GUARANTEE THAT ALL UTILITIES ARE SHOWN. IN ACCORDANCE WITH RSA 374 NOTIFY DIG-SAFE 811 BEFORE ANY EXCAVATION.



PREPARED FOR

80 HAVERHILL ROAD, LLC
80 HAVERHILL ROAD
AMESBURY, MA

--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--

SITE PLAN
IN
AMESBURY, MA
AT
80 HAVERHILL ROAD

EXISTING CONDITIONS

SHEET: C-4

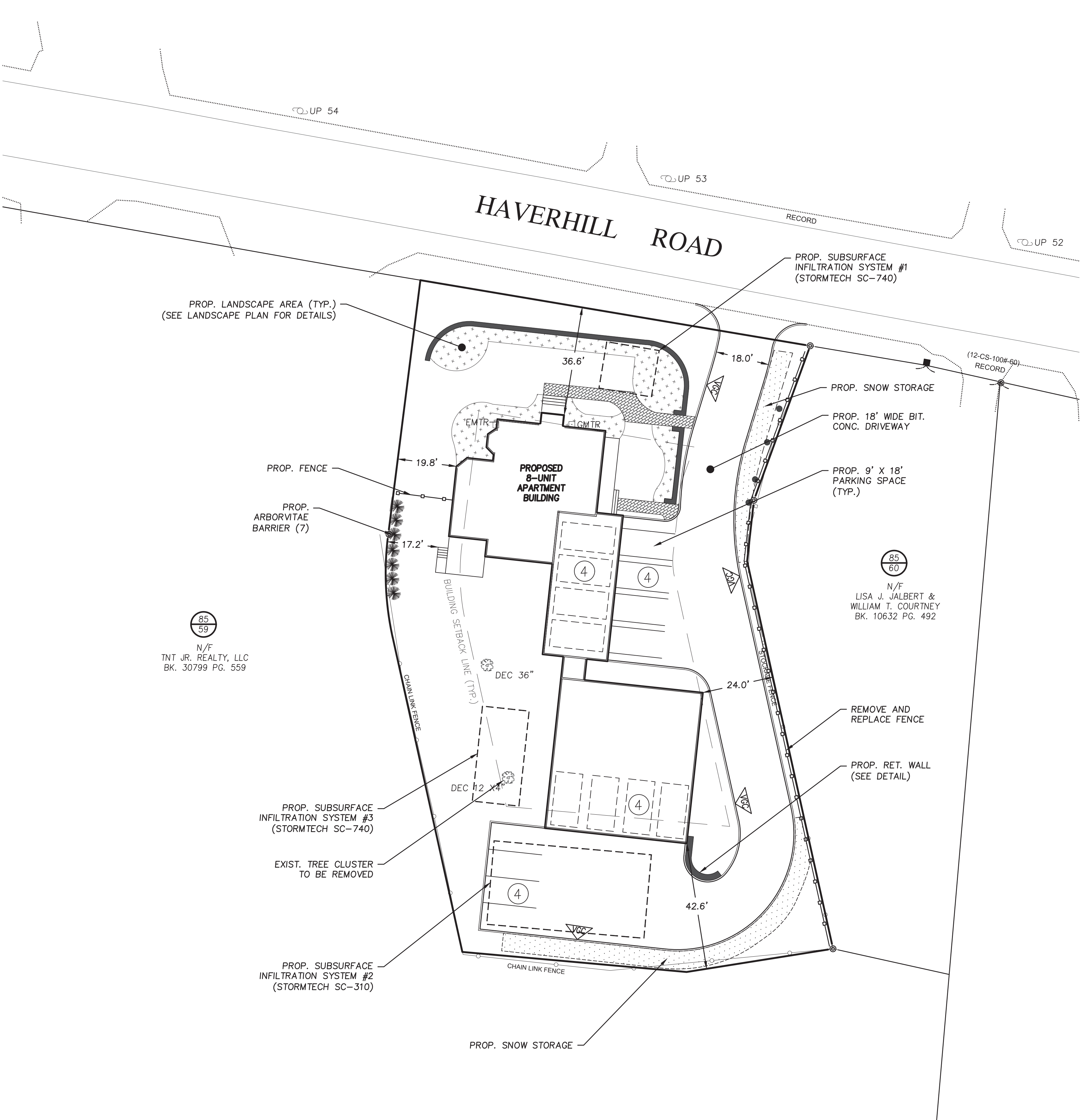
PARKING REQUIREMENTS

FOR DWELLING OR APARTMENT HOUSE USE, 1.5 SPACES PER DWELLING OR APARTMENT UNIT ARE REQUIRED.
(SECTION VII. TABLE OF OFF-STREET PARKING REGULATIONS)

TOTAL NUMBER OF UNITS=8

8 UNITS X 1.5 PARKING SPACES PER UNIT = 12 SPACES REQUIRED

TOTAL NUMBER OF PARKING SPACES PROVIDED = 16 SPACES



FOR REGISTRY USE

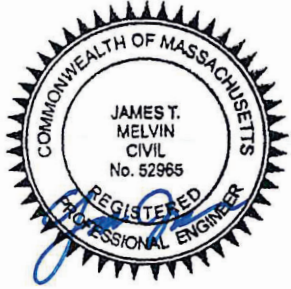
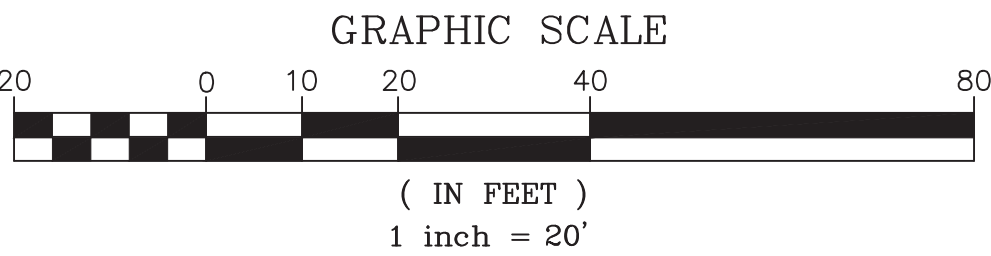
AMESBURY PLANNING BOARD APPROVAL

DATE

CITY OF AMESBURY
OFFICE OF THE CITY OF THE CLERK

THIS IS TO CERTIFY THAT ON _____
I RECEIVED FROM THE AMESBURY PLANNING BOARD CERTIFICATION OF ITS APPROVAL OF THIS PLAN AND THAT DURING THE (20) TWENTY DAYS NEXT FOLLOWING I HAVE RECEIVED NO NOTICE OF ANY APPEAL FROM SAID DECISION.

CLERK _____ DATE _____



PREPARED FOR

80 HAVERHILL ROAD, LLC
80 HAVERHILL ROAD
AMESBURY, MA

NO.	DATE	DESCRIPTION	BY



MILLENNIUM ENGINEERING, INC.
ENGINEERING AND LAND SURVEYING
62 ELM ST. SALISBURY, MA 01952 (978) 463-8980
13 HAMPTON RD. EXETER, NH 03833 (603) 778-0528

SCALE: 1"=20'	CALC. BY: S.R.C.	PROJECT: M234276
DATE: NOV. 8, 2024	CHKD. BY: E.W.B.	

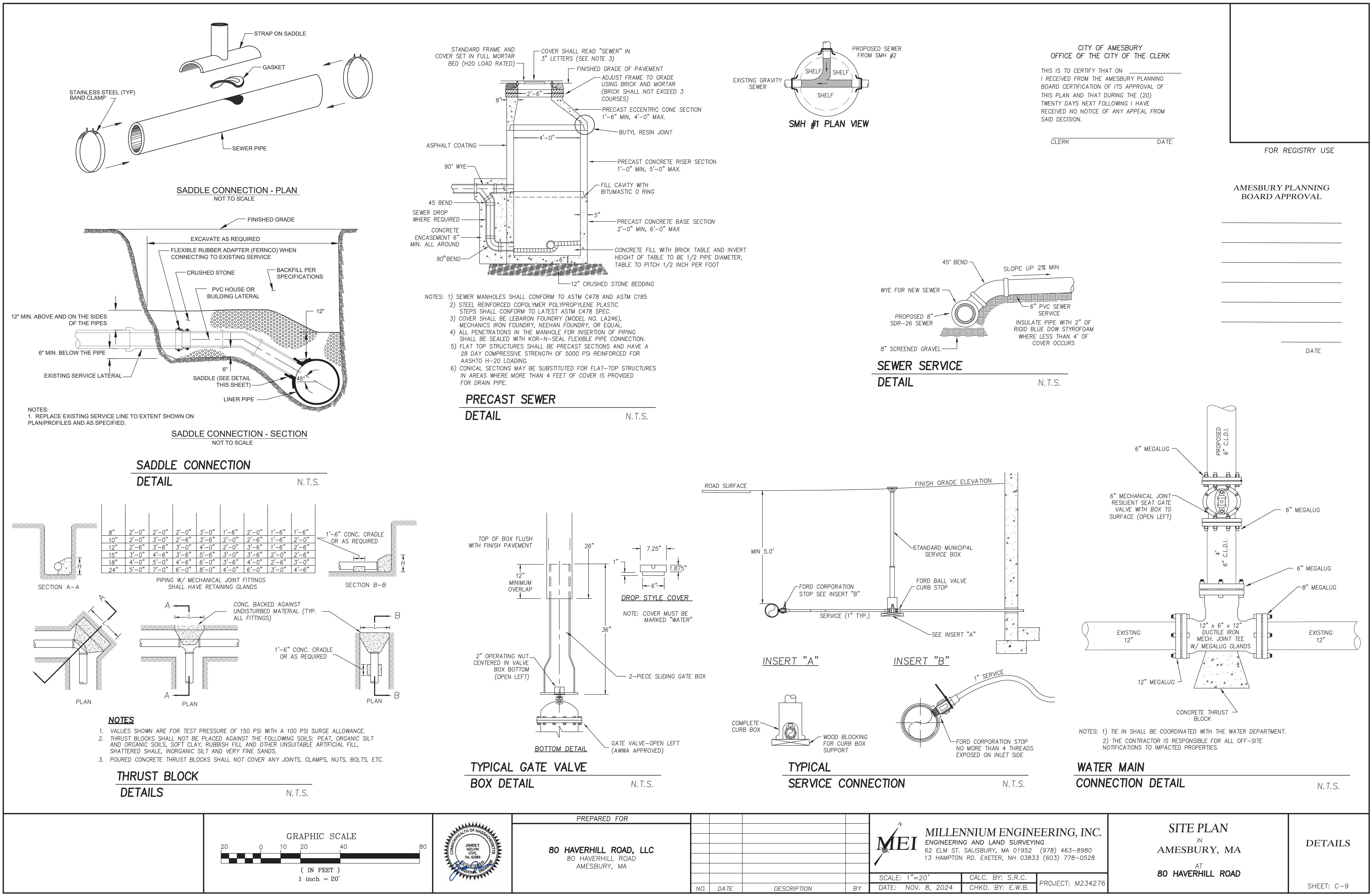
SITE PLAN
IN
AMESBURY, MA
AT
80 HAVERHILL ROAD

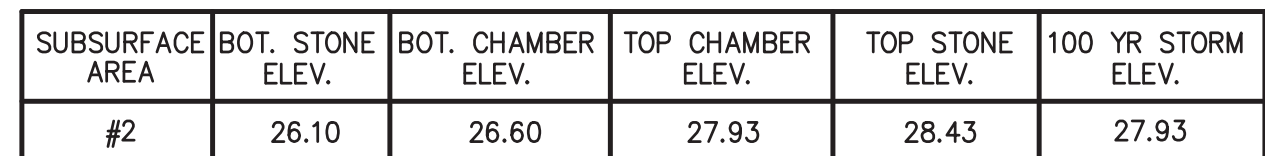
SITE PLAN

SHEET: C-5

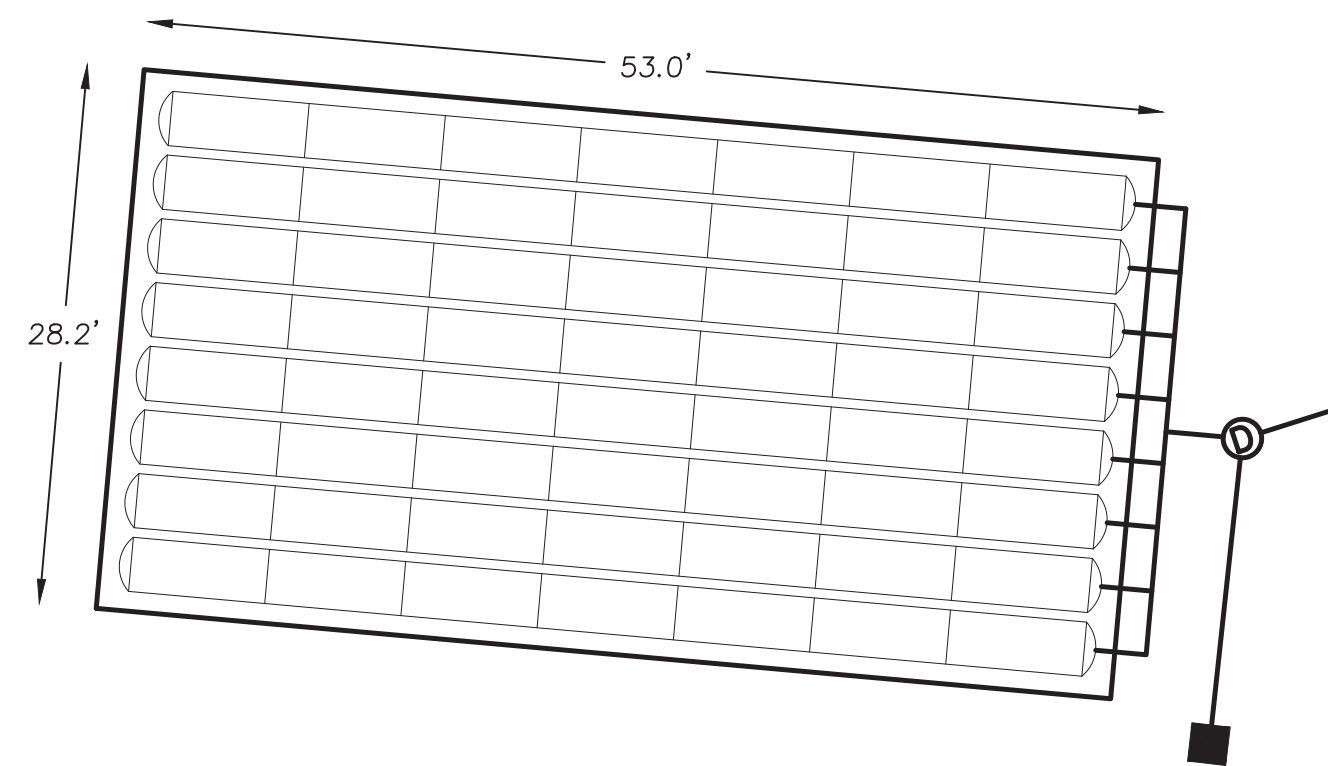


SHEET: C-8





N.T.S.



SUBSURFACE AREA	BOT. STONE ELEV.	BOT. CHAMBER ELEV.	TOP CHAMBER ELEV.	TOP STONE ELEV.	100 YR STORM ELEV.
#1	118.20	118.70	121.20	121.70	121.58
#3	114.50	115.00	117.50	118.00	117.00

N.T.S.

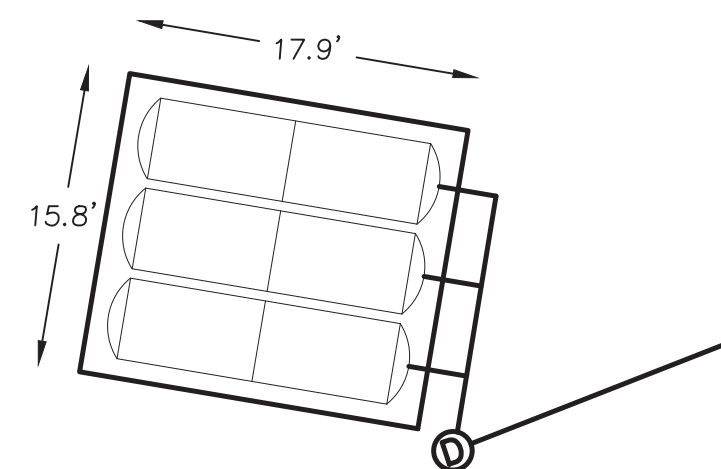
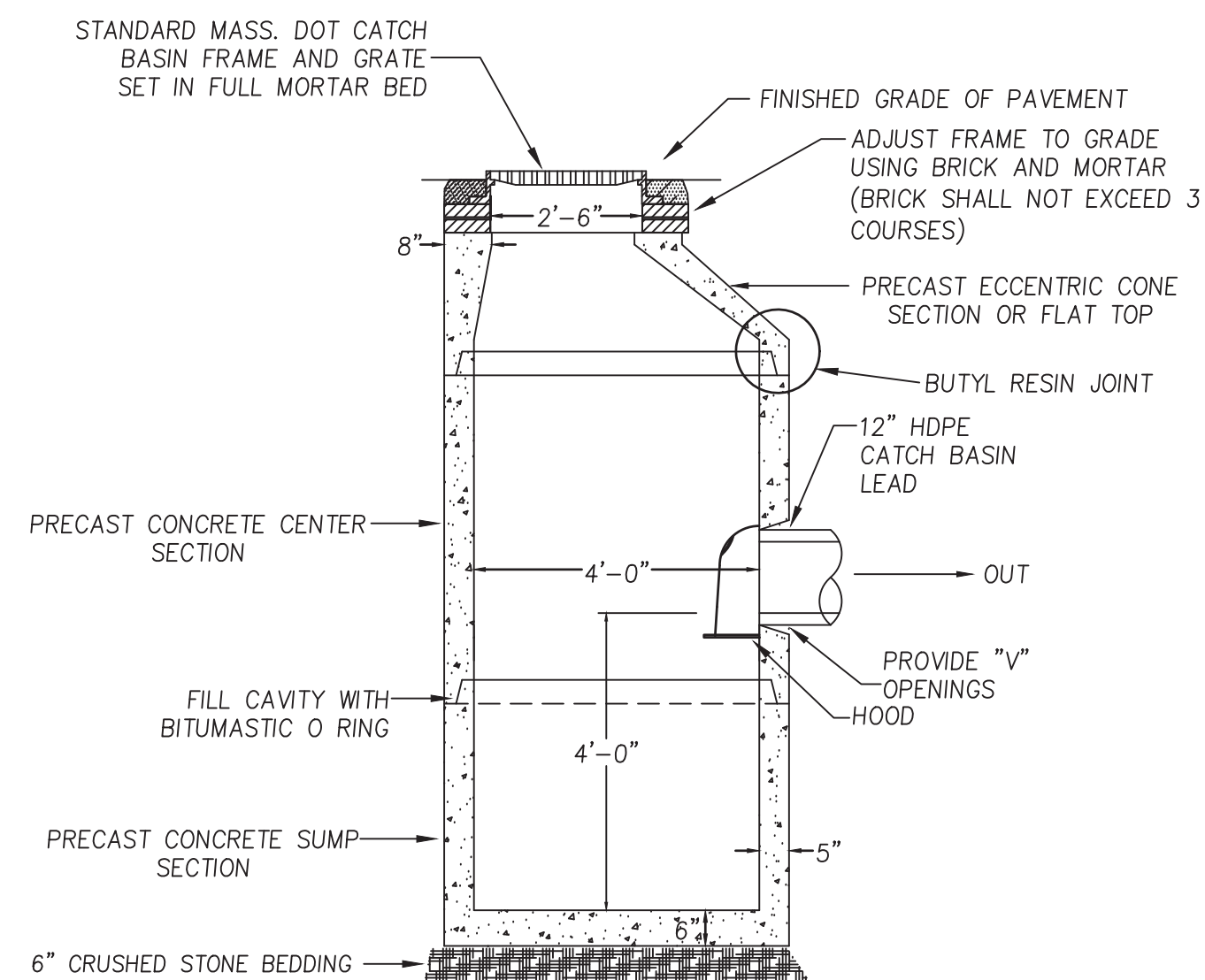


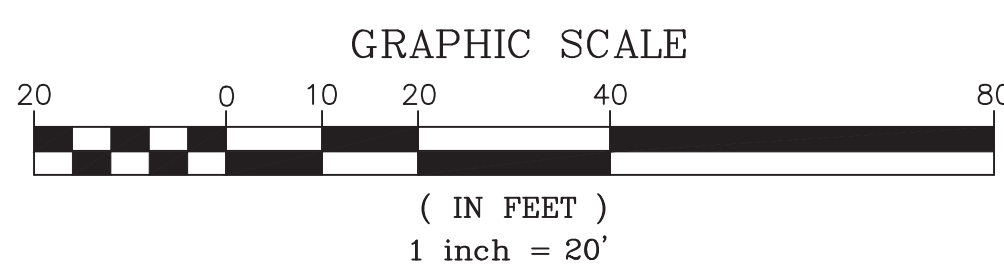
Diagram of a rectangular container with three vertical tubes inside. The container has a height of 32.1' and a width of 15.7'. Each tube has a diameter of 10.0'.

- N.T.S.

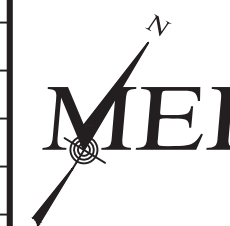


- N.T.S.

DATE _____



80 HAVERHILL ROAD, LLC
80 HAVERHILL ROAD
AMESBURY, MA

[illegible]

MILLENNIUM ENGINEERING, INC.
ENGINEERING AND LAND SURVEYING
62 ELM ST. SALISBURY, MA 01952 (978) 463-8980
13 HAMPTON RD. EXETER, NH 03833 (603) 778-0528

SCALE: 1"=20'

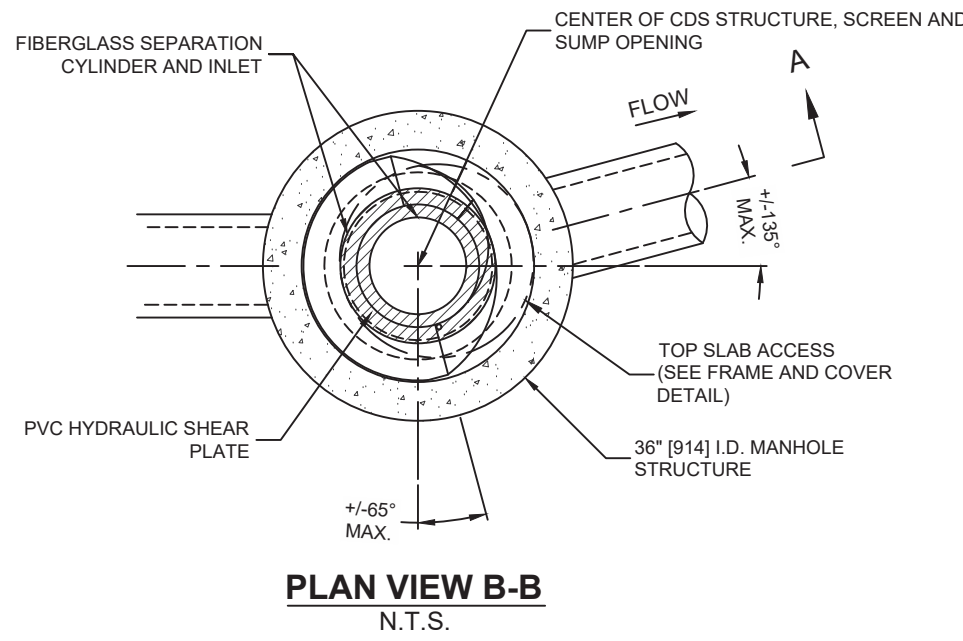
CALC. BY: S.R.C.

--	--

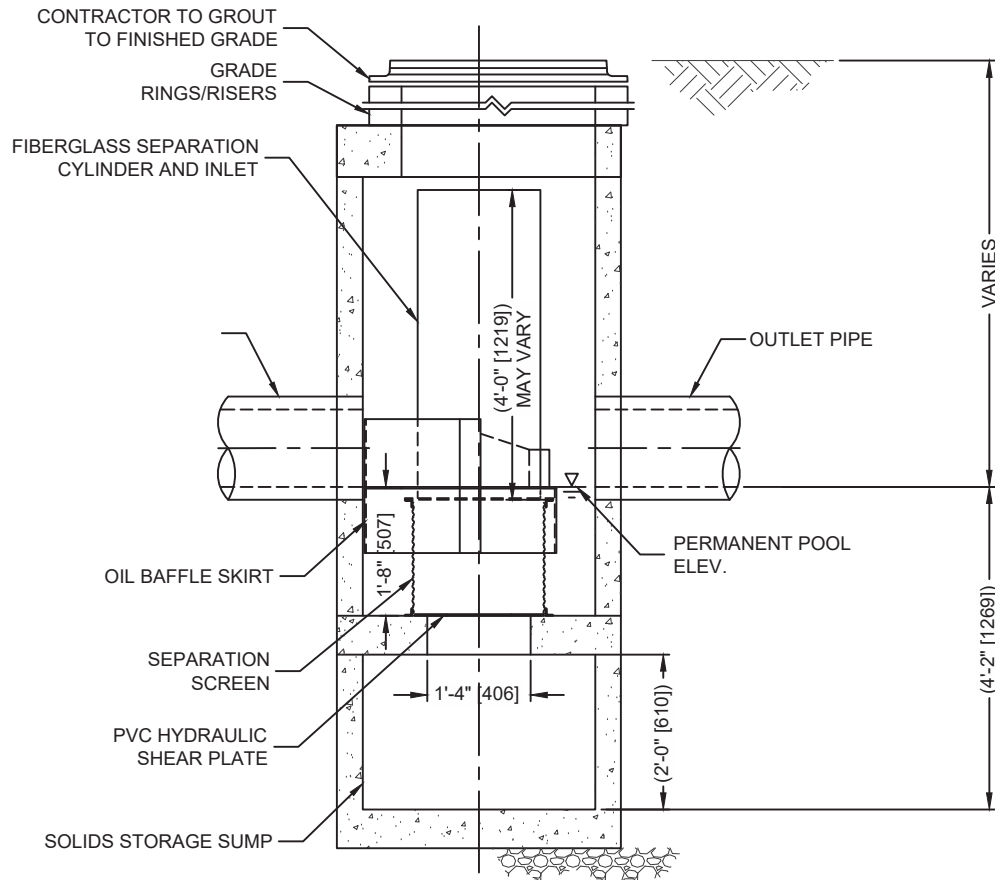
SITE PLAN
IN
AMESBURY, MA
AT
80 HAVERHILL ROAD

DETAILS

SHEET: C-10



FRAME AND COVER
(DIAMETER VARIES)
N.T.S.



ELEVATION A-A

CONTECH CDS
DETAIL

N.T.S.

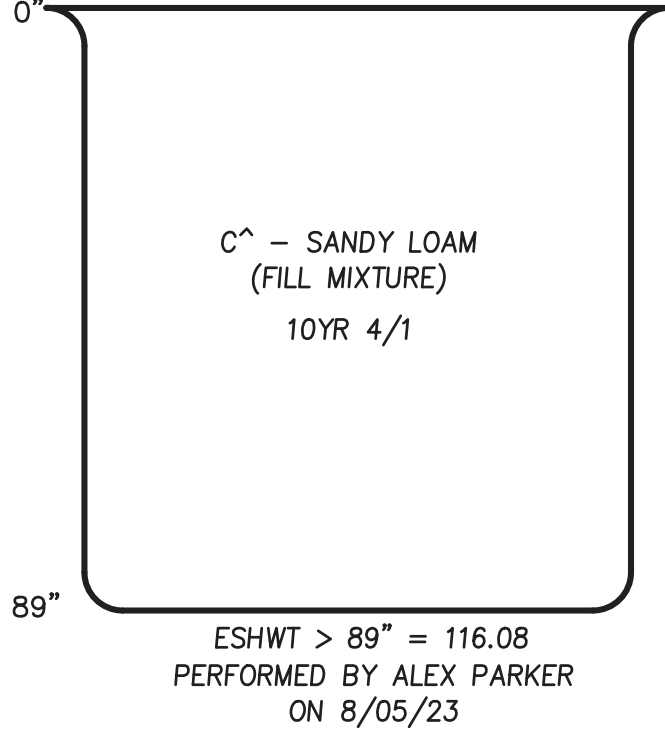
GENERAL NOTES

- CONTECH TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
- DIMENSIONS MARKED WITH () ARE REFERENCE DIMENSIONS. ACTUAL DIMENSIONS MAY VARY.
- FOR FABRICATION DRAWINGS WITH DETAILED STRUCTURE DIMENSIONS AND WEIGHTS, PLEASE CONTACT YOUR CONTECH CONSTRUCTION PRODUCTS REPRESENTATIVE: www.contech-cpi.com
- CDS WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING.
- STRUCTURE SHALL MEET AASHTO HS20 AND CASTINGS SHALL MEET AASHTO M306 LOAD RATING, ASSUMING GROUNDWATER ELEVATION AT, OR BELOW, THE OUTLET PIPE INVERT ELEVATION. ENGINEER OF RECORD TO CONFIRM ACTUAL GROUNDWATER ELEVATION.
- PVC HYDRAULIC SHEAR PLATE IS PLACED ON SHELF AT BOTTOM OF SCREEN CYLINDER. REMOVE AND REPLACE AS NECESSARY DURING MAINTENANCE CLEANING.

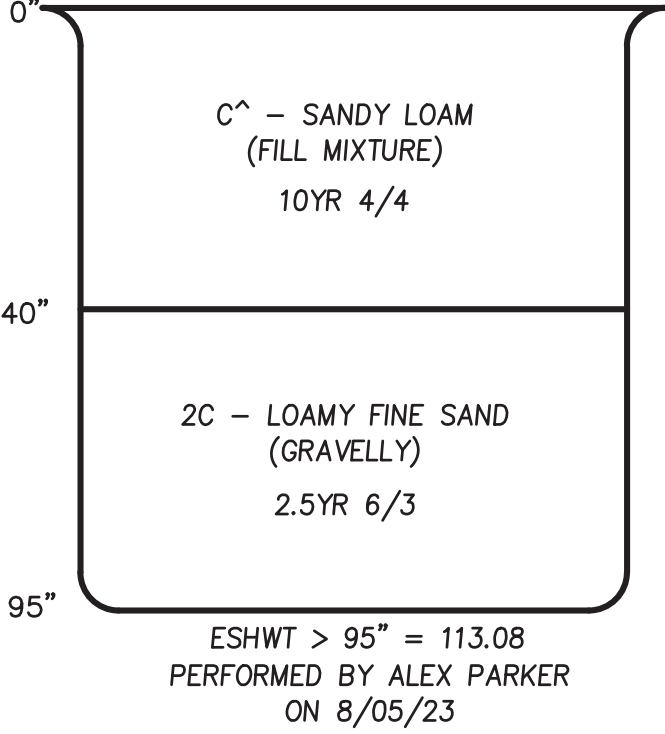
INSTALLATION NOTES

- ANY SUB-BASE, BACKFILL DEPTH, AND/OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.
- CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE CDS MANHOLE STRUCTURE (LIFTING CLUTCHES PROVIDED).
- CONTRACTOR TO ADD JOINT SEALANT BETWEEN ALL STRUCTURE SECTIONS, AND ASSEMBLE STRUCTURE.
- CONTRACTOR TO PROVIDE, INSTALL, AND GROUT PIPES. MATCH PIPE INVERTS WITH ELEVATIONS SHOWN.
- CONTRACTOR TO TAKE APPROPRIATE MEASURES TO ASSURE UNIT IS WATER TIGHT, HOLDING WATER TO FLOWLINE INVERT MINIMUM. IT IS SUGGESTED THAT ALL JOINTS BELOW PIPE INVERTS ARE GROUTED.

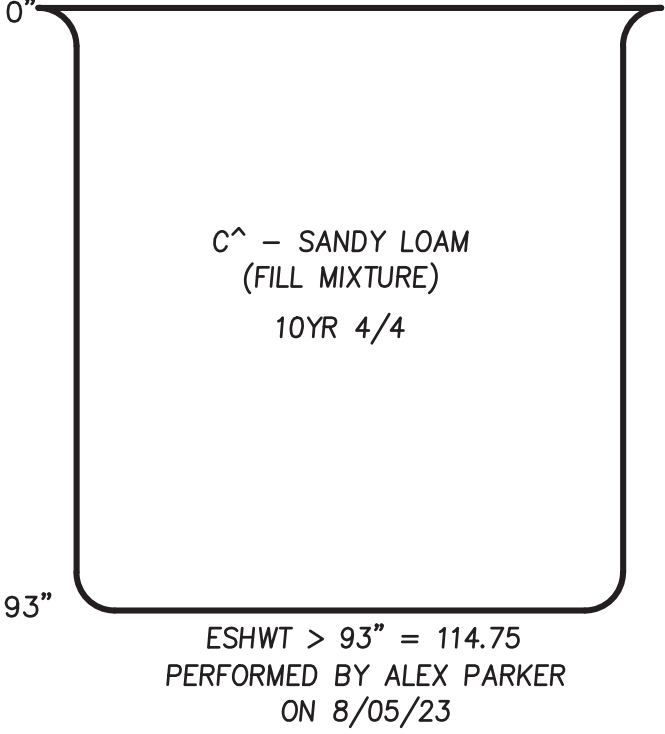
TEST PIT#24-1
ELEV. = 123.5



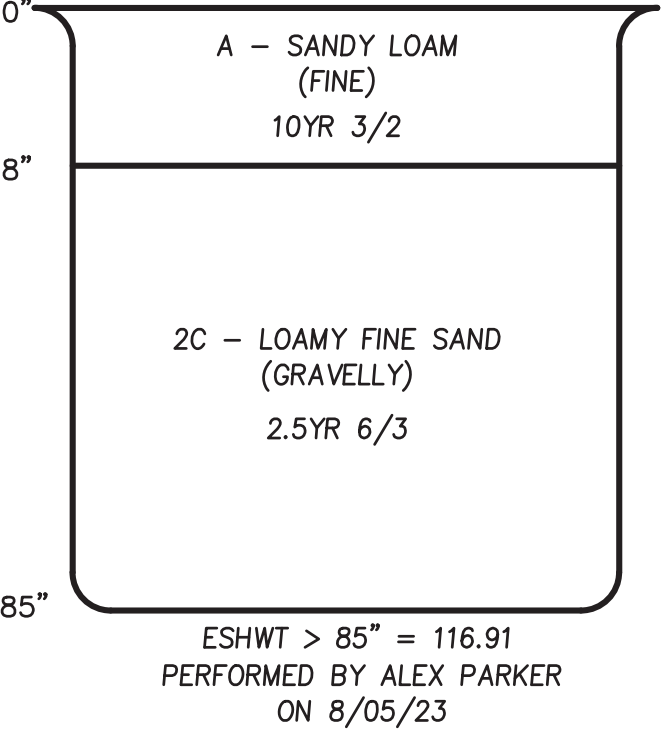
TEST PIT#24-2
ELEV. = 121.0



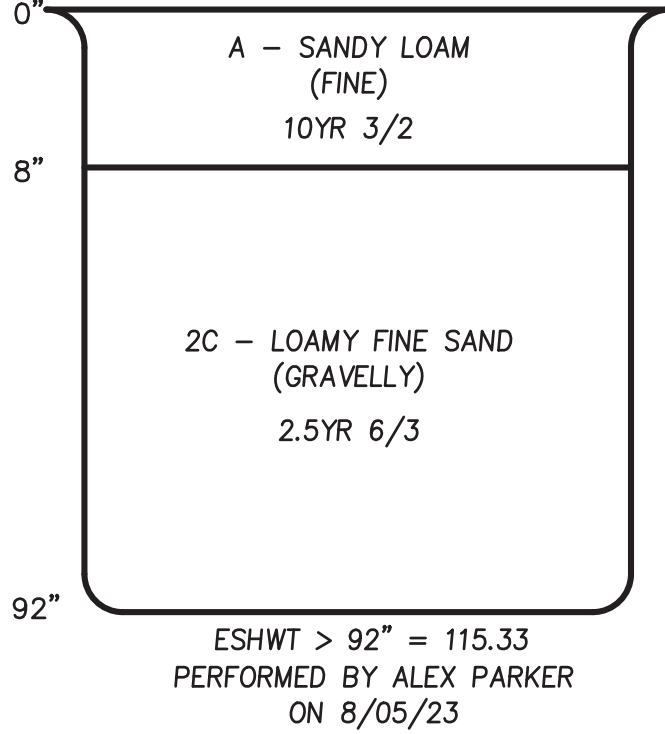
TEST PIT#24-3
ELEV. = 122.5



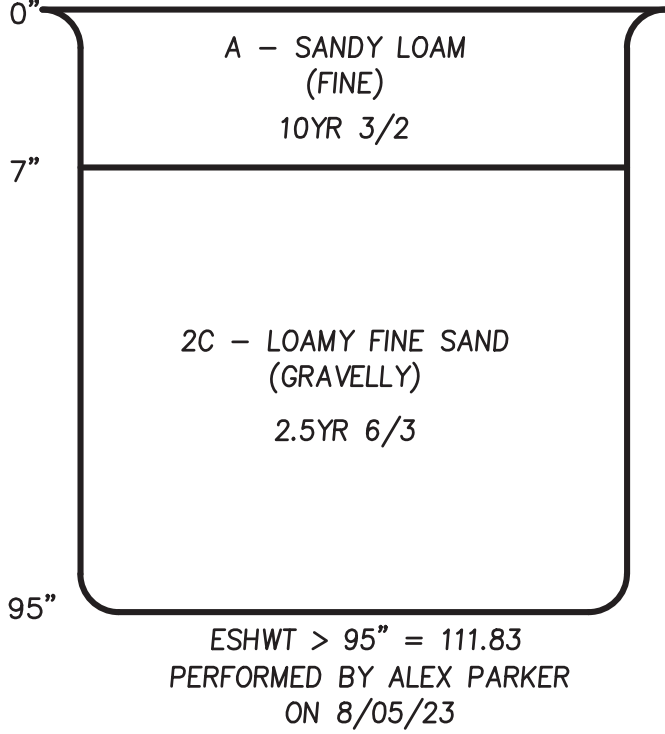
TEST PIT#24-4
ELEV. = 124.0



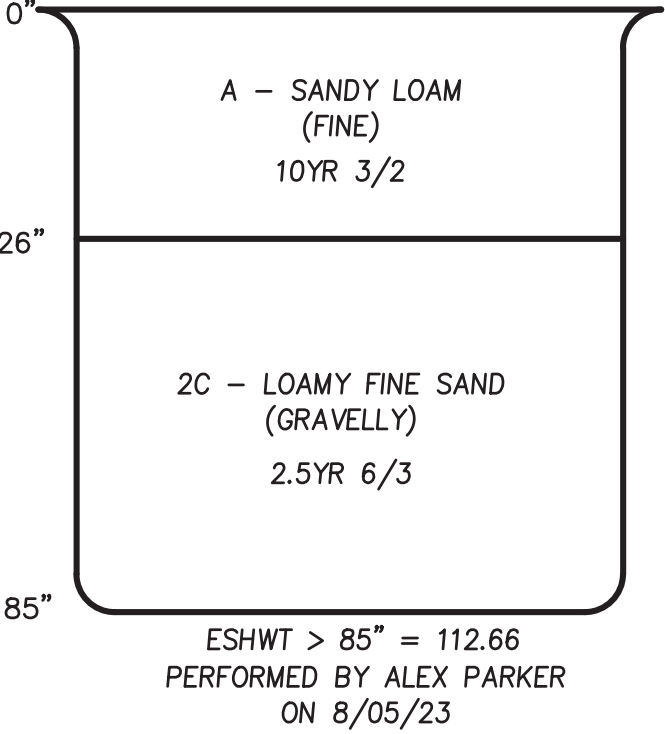
TEST PIT#24-5
ELEV. = 123.0



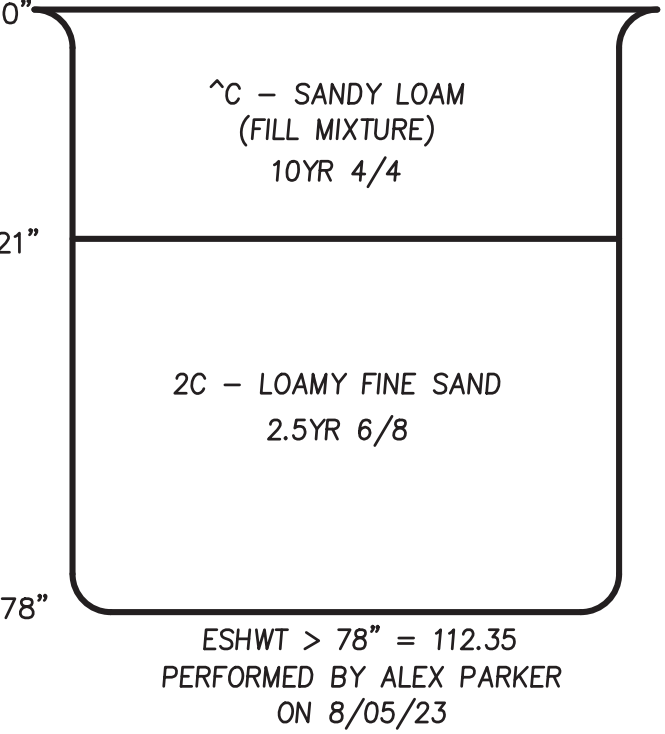
TEST PIT#24-6
ELEV. = 119.75



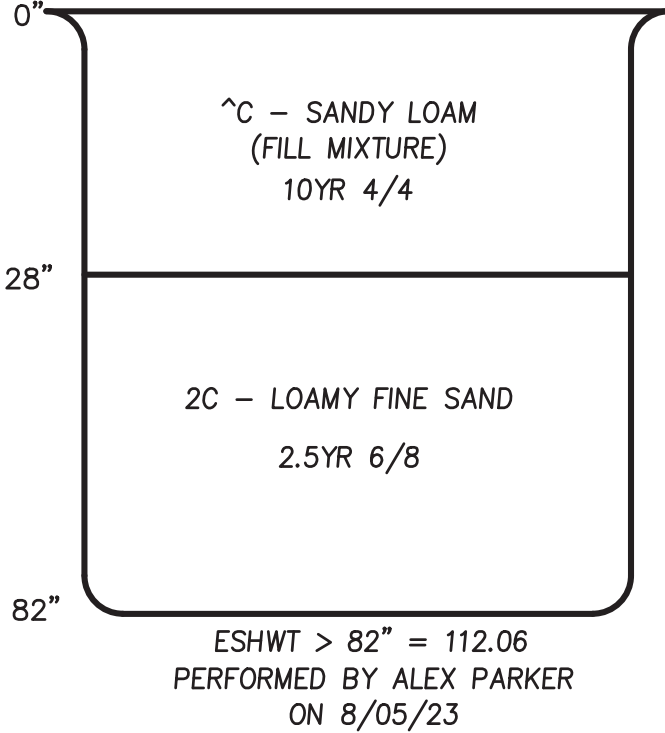
TEST PIT#24-7
ELEV. = 119.75



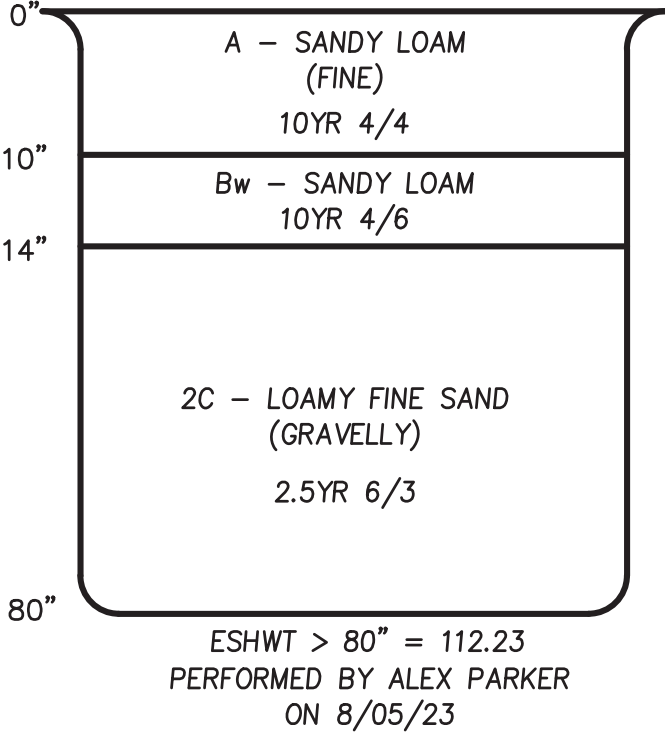
TEST PIT#24-8
ELEV. = 118.85



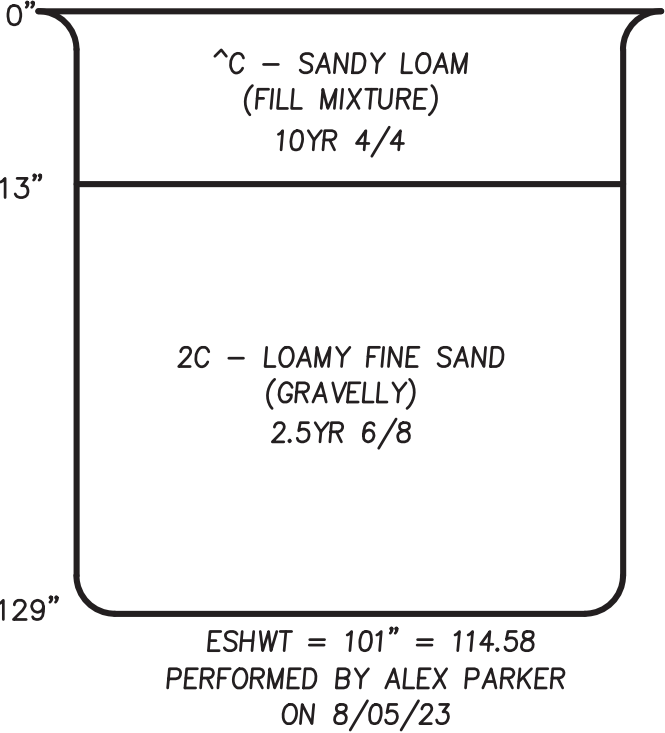
TEST PIT#24-9
ELEV. = 118.9



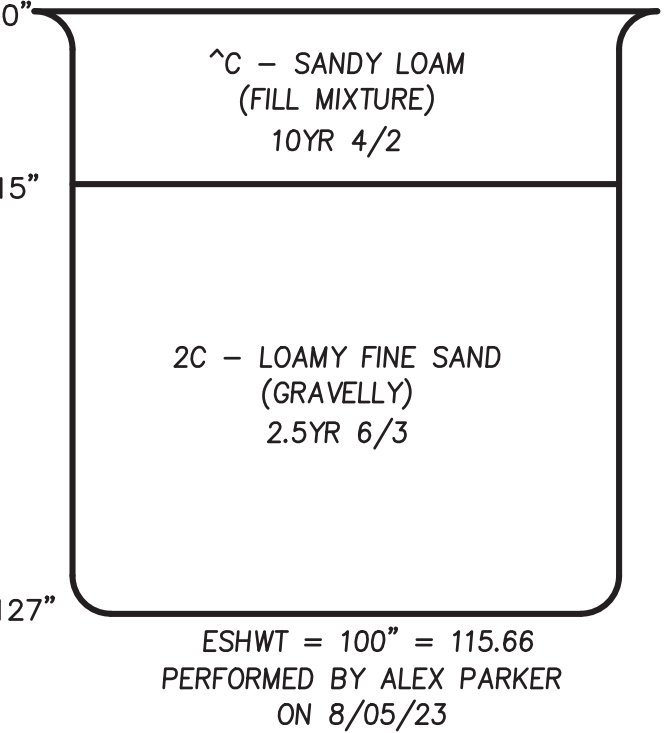
TEST PIT#24-10
ELEV. = 118.9



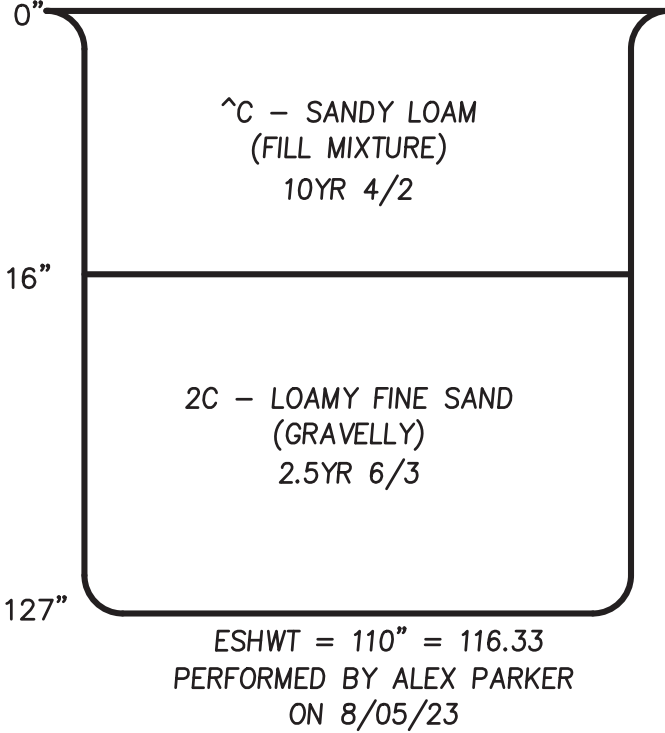
TEST PIT#24-11
ELEV. = 123.0



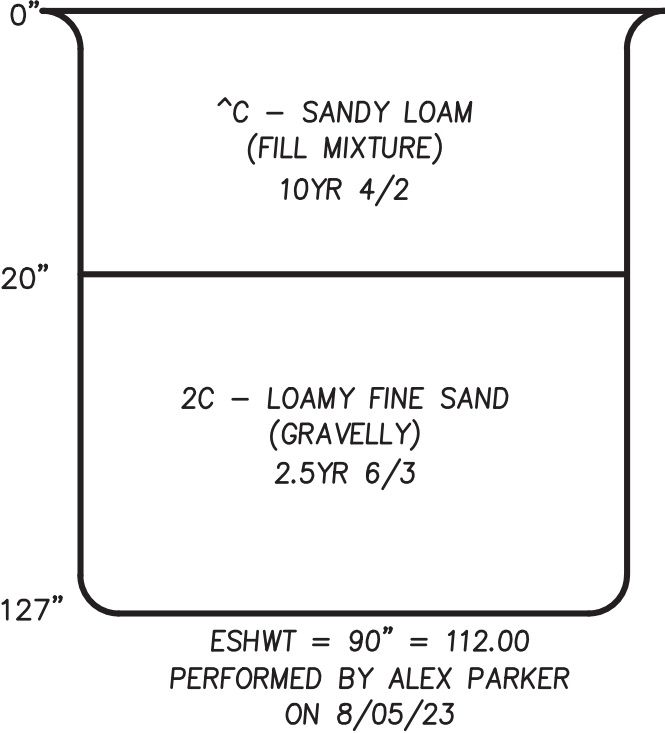
TEST PIT#24-12
ELEV. = 124.0



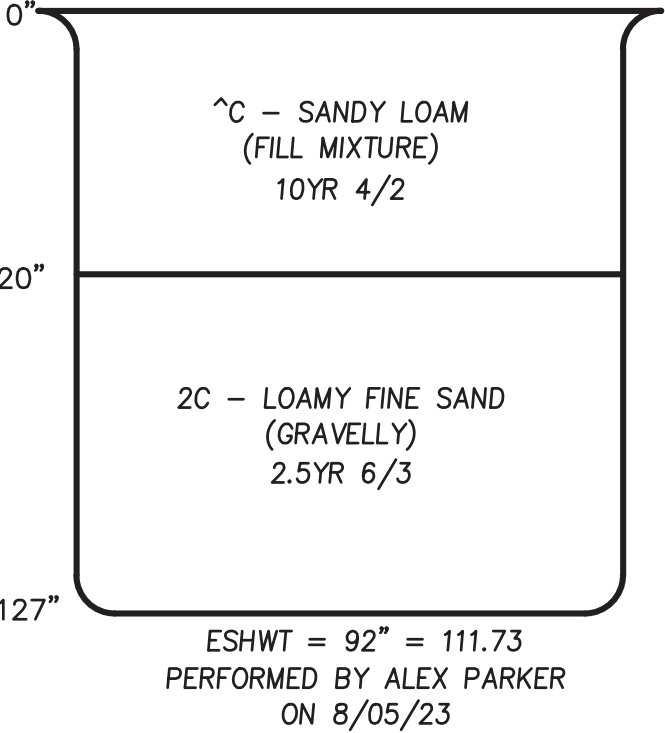
TEST PIT#24-13
ELEV. = 124.5



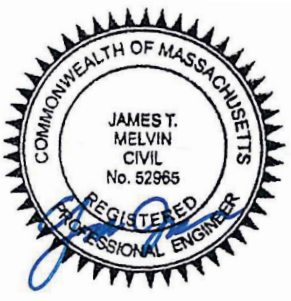
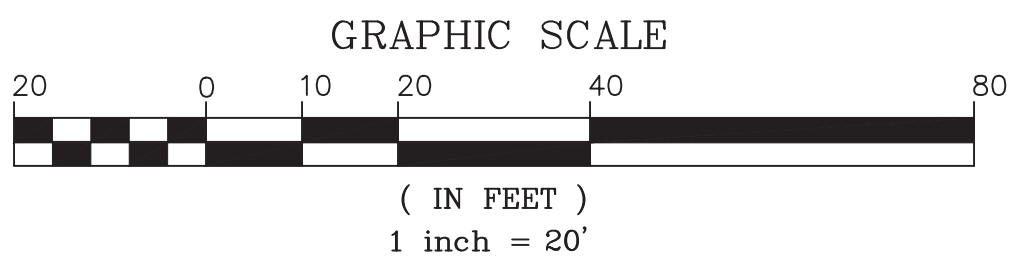
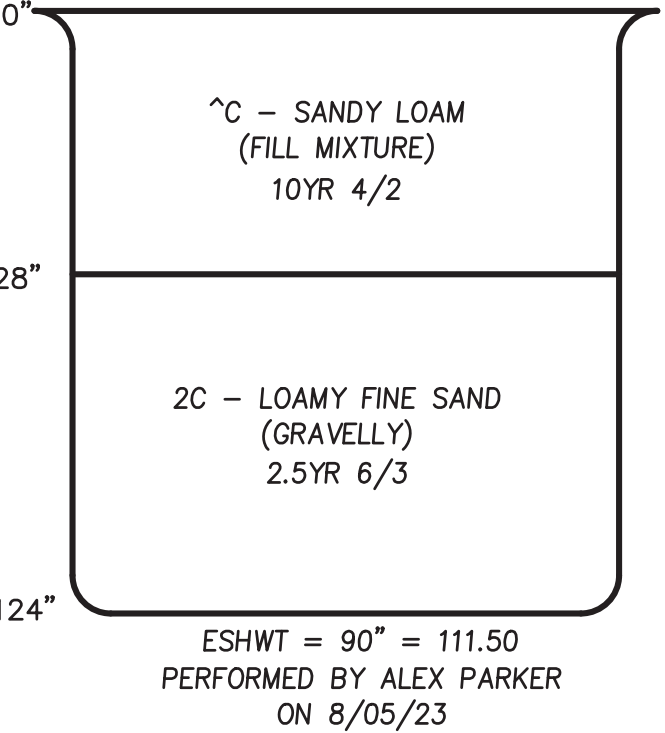
TEST PIT#24-14
ELEV. = 119.50



TEST PIT#24-15
ELEV. = 119.40



TEST PIT#24-16
ELEV. = 119.00



PREPARED FOR

80 HAVERHILL ROAD, LLC
80 HAVERHILL ROAD
AMESBURY, MA



MILLENNIUM ENGINEERING, INC.
ENGINEERING AND LAND SURVEYING
62 ELM ST. SALISBURY, MA 01952 (978) 463-8980
13 HAMPTON RD. EXETER, NH 03833 (603) 778-0528

SCALE: 1"=20'

CALC. BY: S.R.C.

DATE: NOV. 8, 2024

CHKD. BY: E.W.B.

PROJECT: M234276

SITE PLAN
IN
AMESBURY, MA
AT
80 HAVERHILL ROAD

DETAILS

SHEET: C-11



project:

80 HAVERHILL RESIDENCES

80 Haverhill Road
Amesbury, MA

architect:

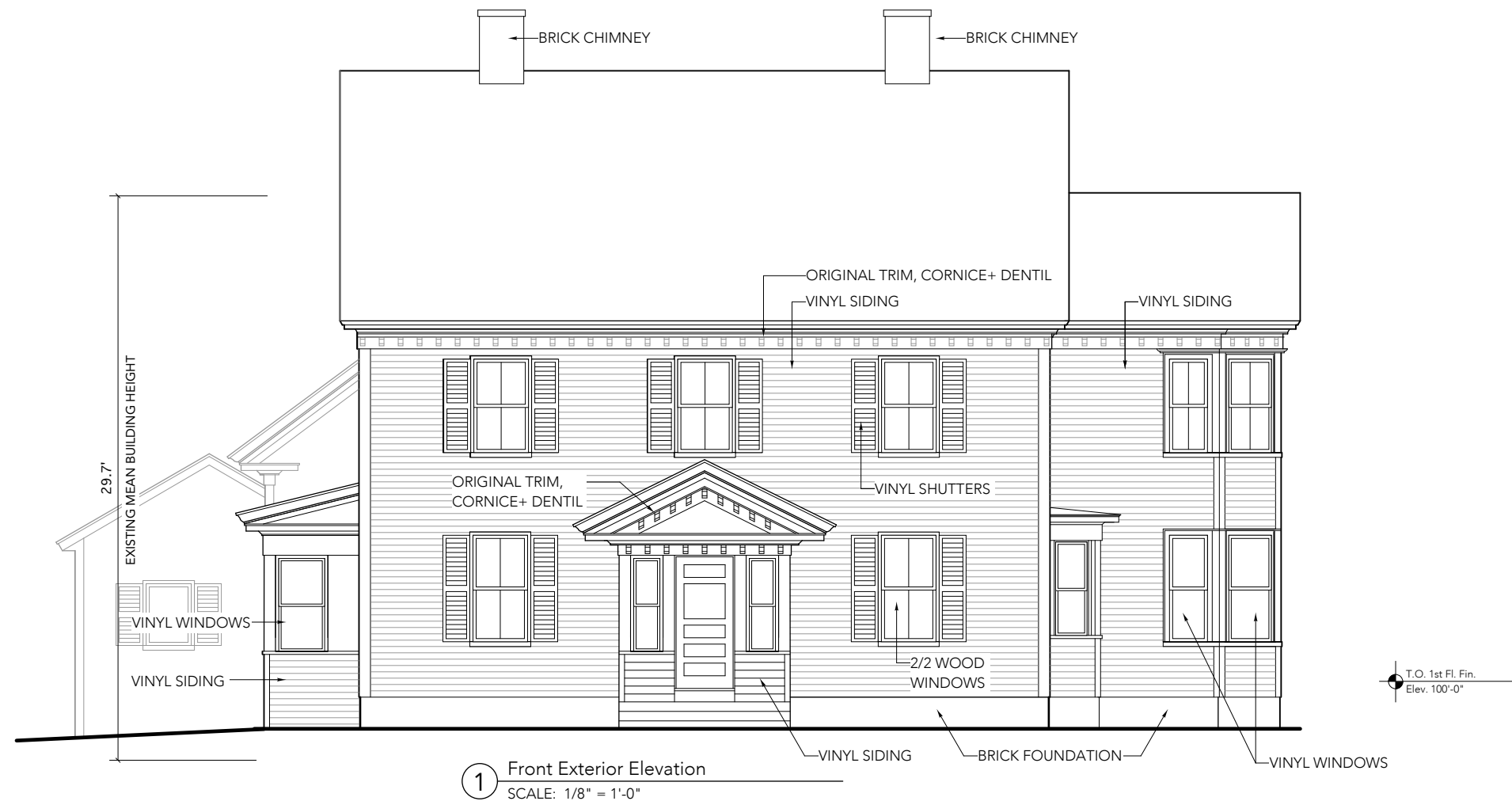
**GRAF
ARCHITECTS**
2 Liberty Street
Newburyport, MA
01950
T. 978 499 9442
www.grafarch.com

title:

LANDSCAPE PLAN

SCALE: 1/8" = 1'-0"
23 october 2024

L01



1 Front Exterior Elevation
SCALE: 1/8" = 1'-0"



2 Side Exterior Elevation
SCALE: 1/8" = 1'-0"

project:

80 HAVERHILL RESIDENCES

80 Haverhill Road
Amesbury, MA

architect:

**GRAF
ARCHITECTS**

2 Liberty Street
Newburyport, MA
01950

T. 978 499 9442

www.grafarch.com

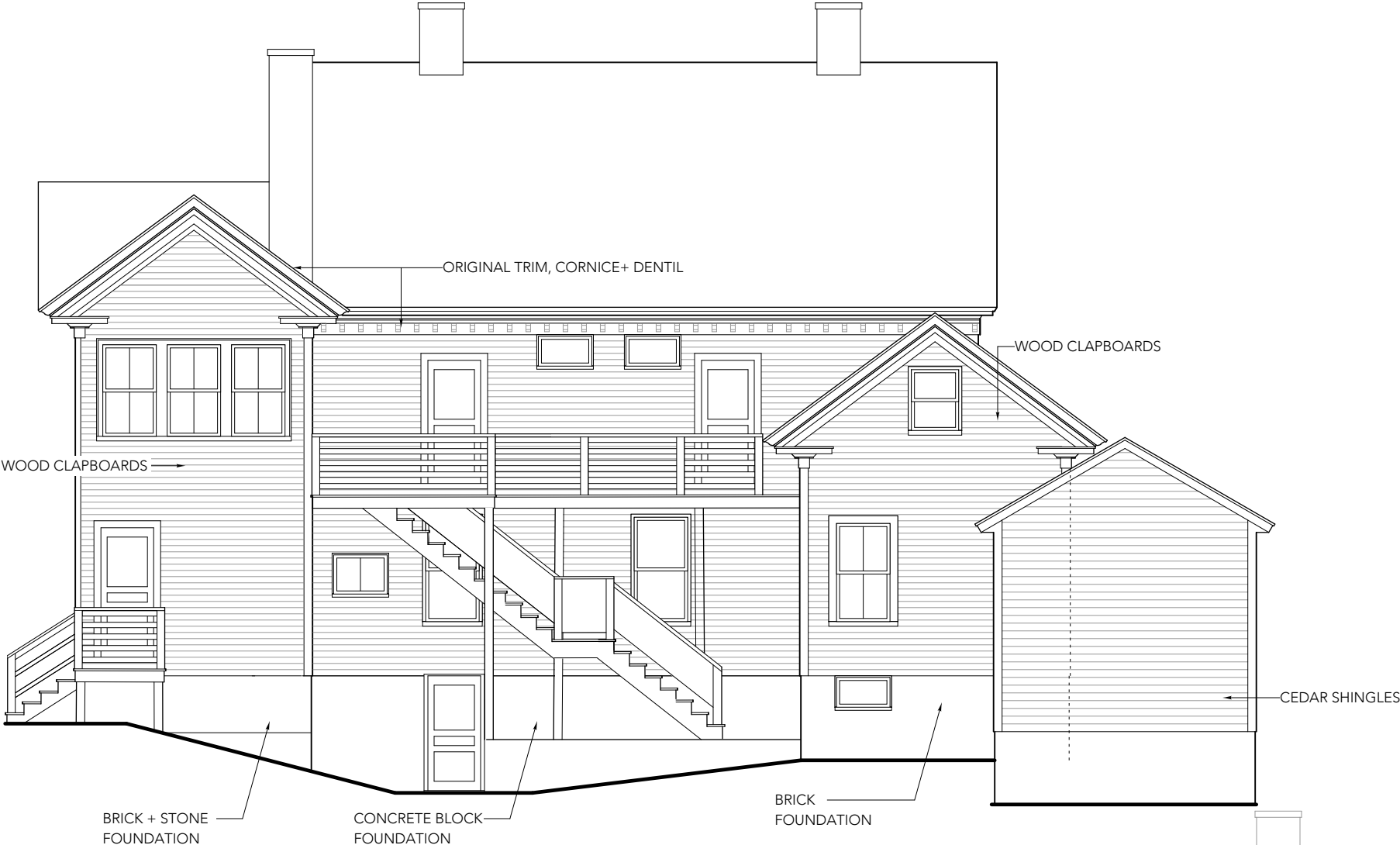
title:

**EXISTING
Exterior Elevations**

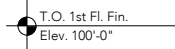
SCALE: 1/8" = 1'-0"

23 october 2024

EX1



1 Front Exterior Elevation
SCALE: 1/8" = 1'-0"



2 Side Exterior Elevation
SCALE: 1/8" = 1'-0"

project:

80 HAVERHILL RESIDENCES

80 Haverhill Road
Amesbury, MA

architect:

**GRAF
ARCHITECTS**
2 Liberty Street
Newburyport, MA
01950
T. 978 499 9442
www.grafarch.com

title:

**EXISTING
Exterior Elevations**

SCALE: 1/8" = 1'-0"

23 october 2024

EX2

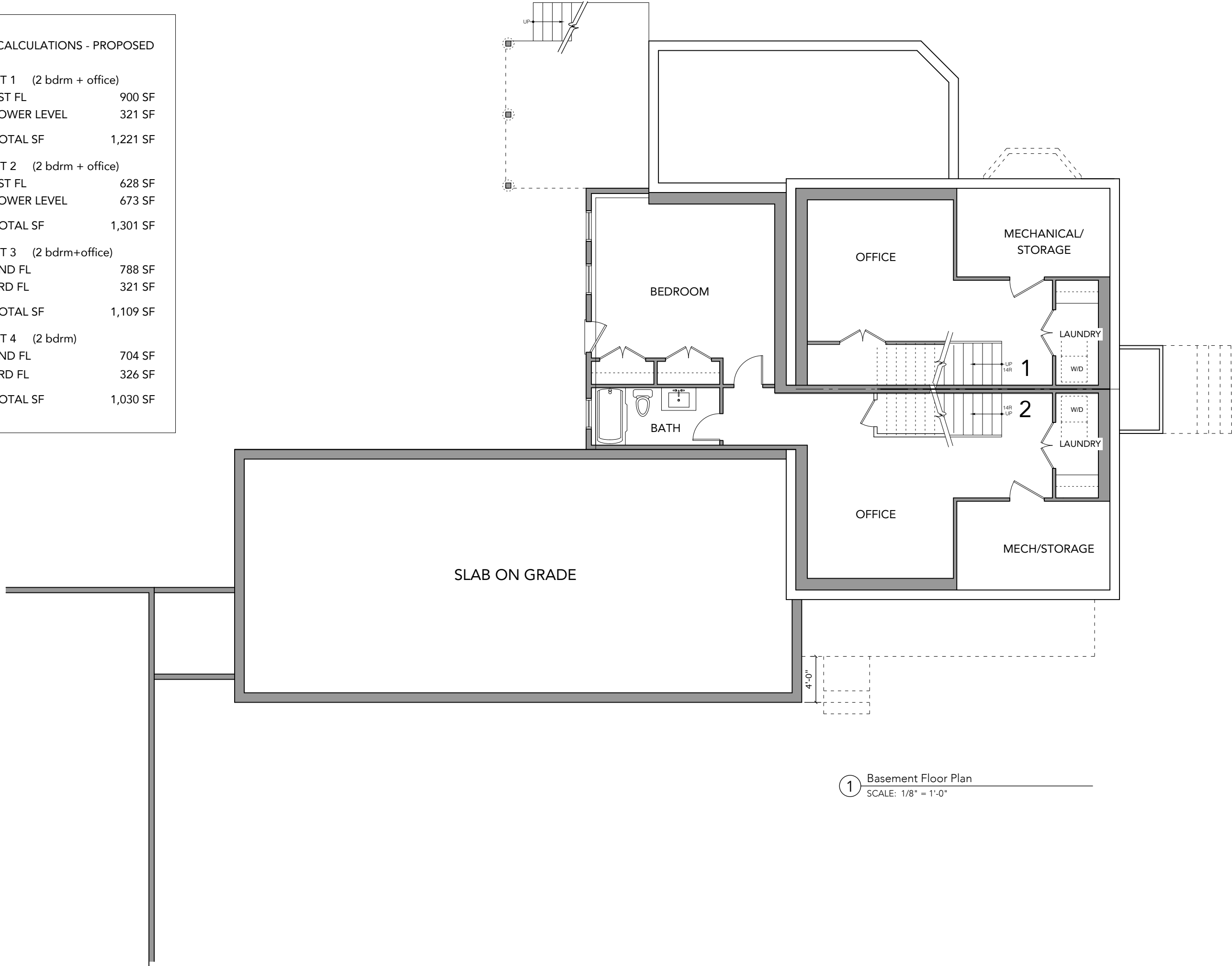
SF CALCULATIONS - PROPOSED

UNIT 1 (2 bdrm + office)	
1ST FL	900 SF
LOWER LEVEL	321 SF
TOTAL SF	1,221 SF

UNIT 2 (2 bdrm + office)	
1ST FL	628 SF
LOWER LEVEL	673 SF
TOTAL SF	1,301 SF

UNIT 3 (2 bdrm+office)	
2ND FL	788 SF
3RD FL	321 SF
TOTAL SF	1,109 SF

UNIT 4 (2 bdrm)	
2ND FL	704 SF
3RD FL	326 SF
TOTAL SF	1,030 SF



1 Basement Floor Plan
SCALE: 1/8" = 1'-0"

project:

80 HAVERHILL
RESIDENCES

80 Haverhill Road
Amesbury, MA

architect:

GRAF
ARCHITECTS
2 Liberty Street
Newburyport, MA
01950
T. 978 499 9442
www.grafarch.com

title:

PROPOSED
Basement
Floor Plan

SCALE: 1/8" = 1'-0"

23 october 2024

A01

SF CALCULATIONS - PROPOSED

UNIT 1 (2 bdrm + office)	
1ST FL	900 SF
LOWER LEVEL	321 SF
TOTAL SF	1,221 SF

UNIT 2 (2 bdrm + office)	
1ST FL	628 SF
LOWER LEVEL	673 SF
TOTAL SF	1,301 SF

UNIT 3 (2 bdrm+office)	
2ND FL	788 SF
3RD FL	321 SF
TOTAL SF	1,109 SF

UNIT 4 (2 bdrm)	
2ND FL	704 SF
3RD FL	326 SF
TOTAL SF	1,030 SF

project:

80 HAVERHILL
RESIDENCES

80 Haverhill Road
Amesbury, MA

architect:

GRAF
ARCHITECTS
2 Liberty Street
Newburyport, MA
01950
T. 978 499 9442
www.grafarch.com

title:

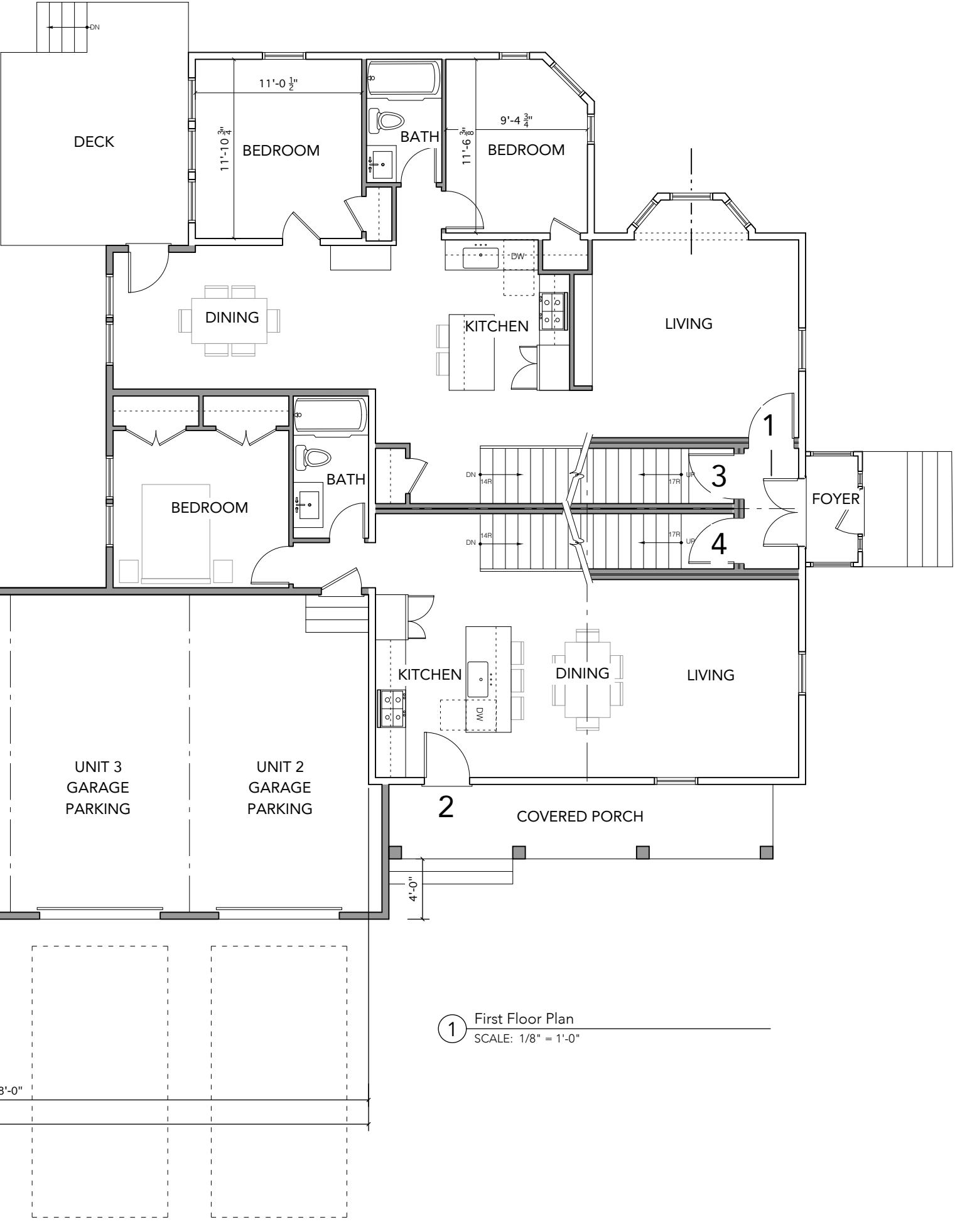
PROPOSED
First Floor Plan

SCALE: 1/8" = 1'-0"

23 october 2024

A02

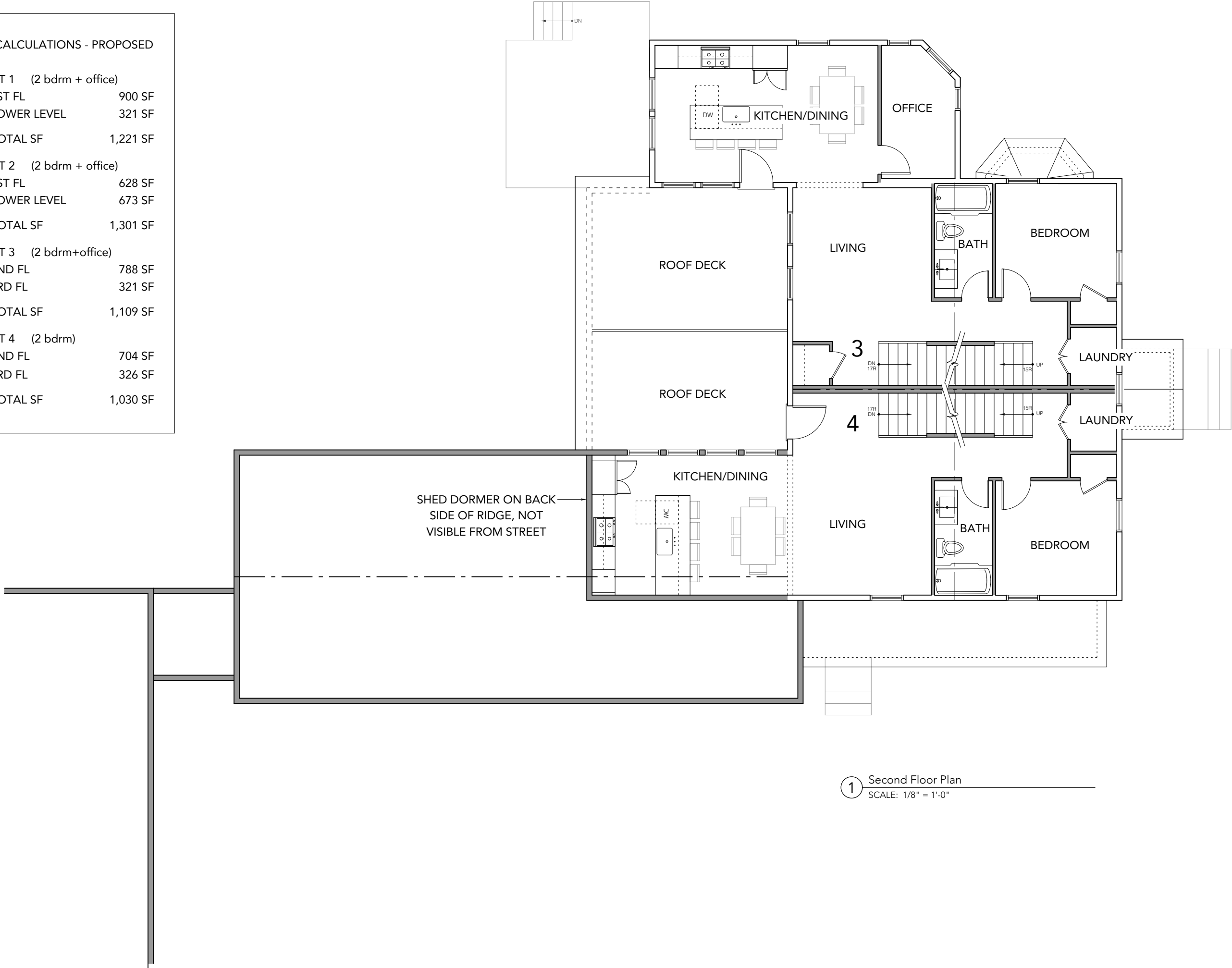
SEE B01 FOR
BARN FLOOR PLANS



1 First Floor Plan
SCALE: 1/8" = 1'-0"

SF CALCULATIONS - PROPOSED

UNIT 1 (2 bdrm + office)	
1ST FL	900 SF
LOWER LEVEL	321 SF
TOTAL SF	1,221 SF
UNIT 2 (2 bdrm + office)	
1ST FL	628 SF
LOWER LEVEL	673 SF
TOTAL SF	1,301 SF
UNIT 3 (2 bdrm+office)	
2ND FL	788 SF
3RD FL	321 SF
TOTAL SF	1,109 SF
UNIT 4 (2 bdrm)	
2ND FL	704 SF
3RD FL	326 SF
TOTAL SF	1,030 SF



1 Second Floor Plan
SCALE: 1/8" = 1'-0"

project:

80 HAVERHILL
RESIDENCES

80 Haverhill Road
Amesbury, MA

architect:

GRAF
ARCHITECTS
2 Liberty Street
Newburyport, MA
01950
T. 978 499 9442
www.grafarch.com

title:

PROPOSED
Second Floor Plan

SCALE: 1/8" = 1'-0"

23 october 2024

A03

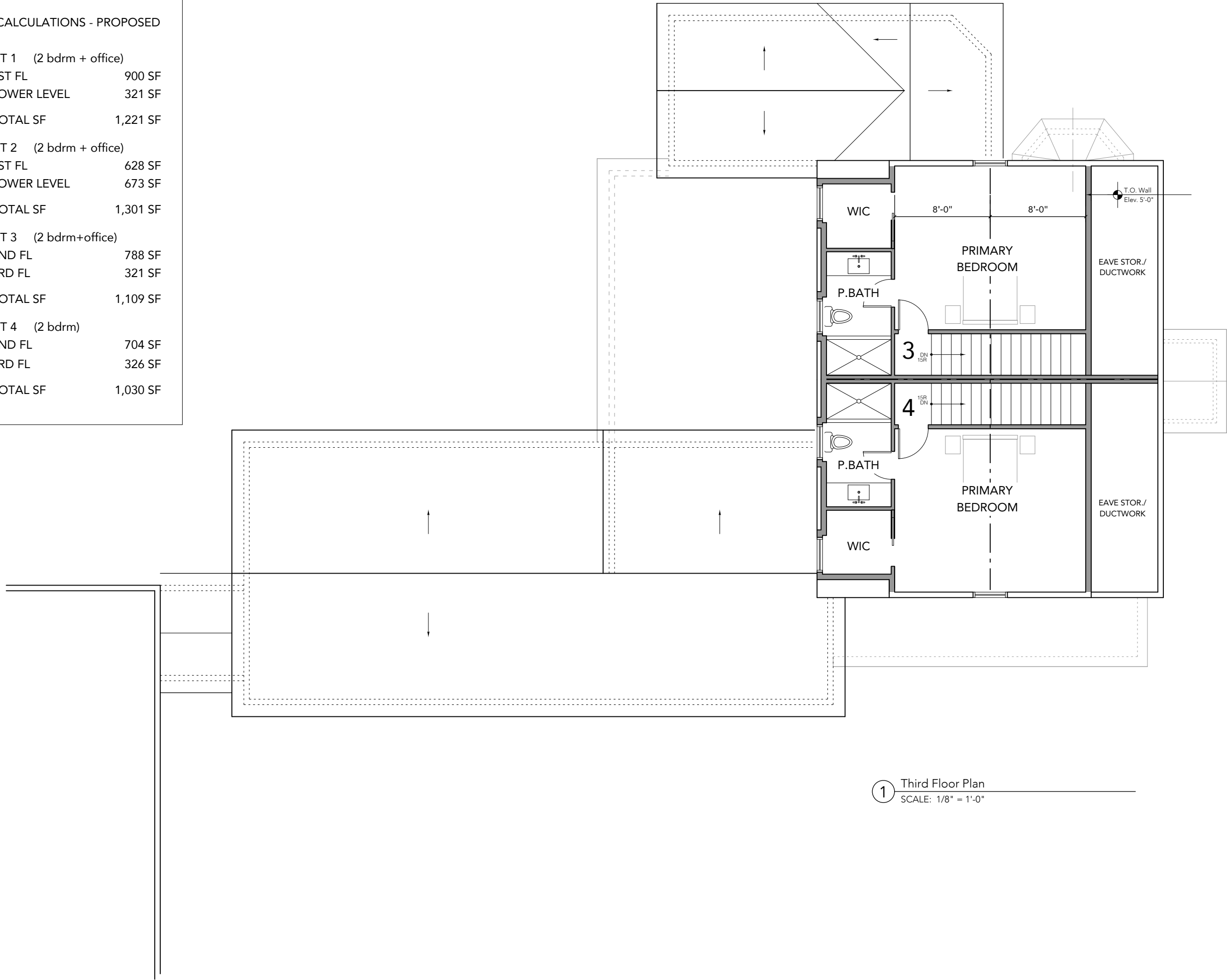
SF CALCULATIONS - PROPOSED

UNIT 1 (2 bdrm + office)	
1ST FL	900 SF
LOWER LEVEL	321 SF
TOTAL SF	1,221 SF

UNIT 2 (2 bdrm + office)	
1ST FL	628 SF
LOWER LEVEL	673 SF
TOTAL SF	1,301 SF

UNIT 3 (2 bdrm+office)	
2ND FL	788 SF
3RD FL	321 SF
TOTAL SF	1,109 SF

UNIT 4 (2 bdrm)	
2ND FL	704 SF
3RD FL	326 SF
TOTAL SF	1,030 SF



1 Third Floor Plan
SCALE: 1/8" = 1'-0"

project:

80 HAVERHILL
RESIDENCES

80 Haverhill Road
Amesbury, MA

architect:

GRAF
ARCHITECTS
2 Liberty Street
Newburyport, MA
01950
T. 978 499 9442
www.grafarch.com

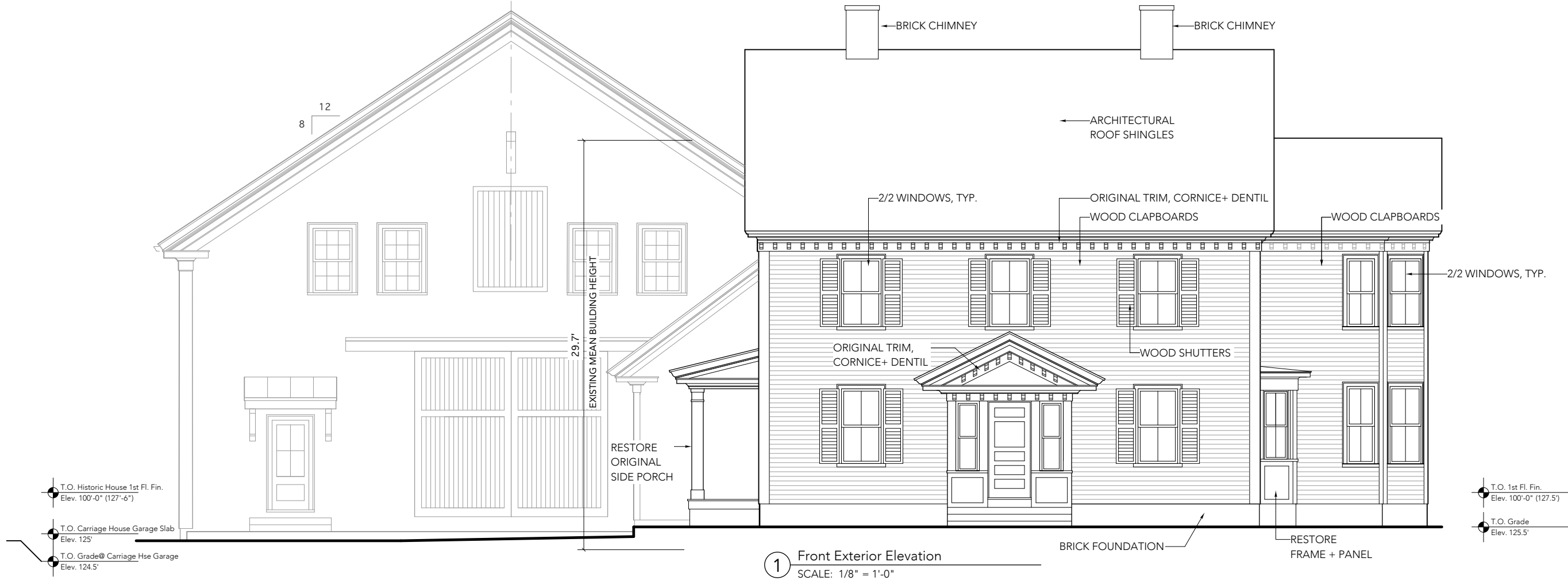
title:

PROPOSED
Third Floor Plan

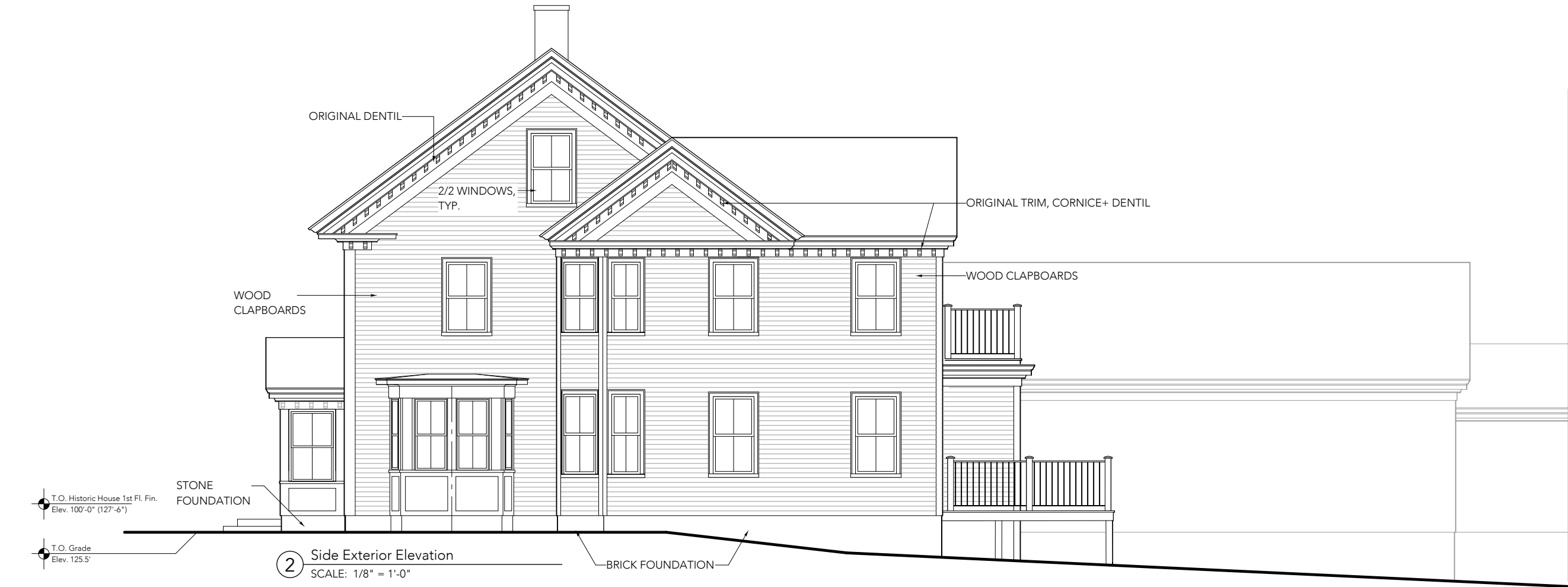
SCALE: 1/8" = 1'-0"

23 october 2024

A04



1 Front Exterior Elevation
SCALE: 1/8" = 1'-0"



2 Side Exterior Elevation
SCALE: 1/8" = 1'-0"

project:

80 HAVERHILL RESIDENCES

80 Haverhill Road
Amesbury, MA

architect:

GRAF
ARCHITECTS

2 Liberty Street
Newburyport, MA
01950
T. 978 499 9442

www.grafarch.com

title:

PROPOSED
Exterior Elevations

SCALE: 1/8" = 1'-0"

23 october 2024

A05

project:

80 HAVERHILL RESIDENCES

80 Haverhill Road
Amesbury, MA

architect:

**GRAF
ARCHITECTS**
2 Liberty Street
Newburyport, MA
01950
T. 978 499 9442
www.grafarch.com

title:

PROPOSED Exterior Elevations

SCALE: 1/8" = 1'-0"

23 october 2024

A06



1 Rear Exterior Elevation
SCALE: 1/8" = 1'-0"



2 Side Exterior Elevation
SCALE: 1/8" = 1'-0"

T.O. Historic House 1st Fl. Fin.
Elev. 100'-0" (127'-6")

T.O. Carriage House Garage Slab
Elev. 125'-6"

T.O. Grade
Elev. 125'

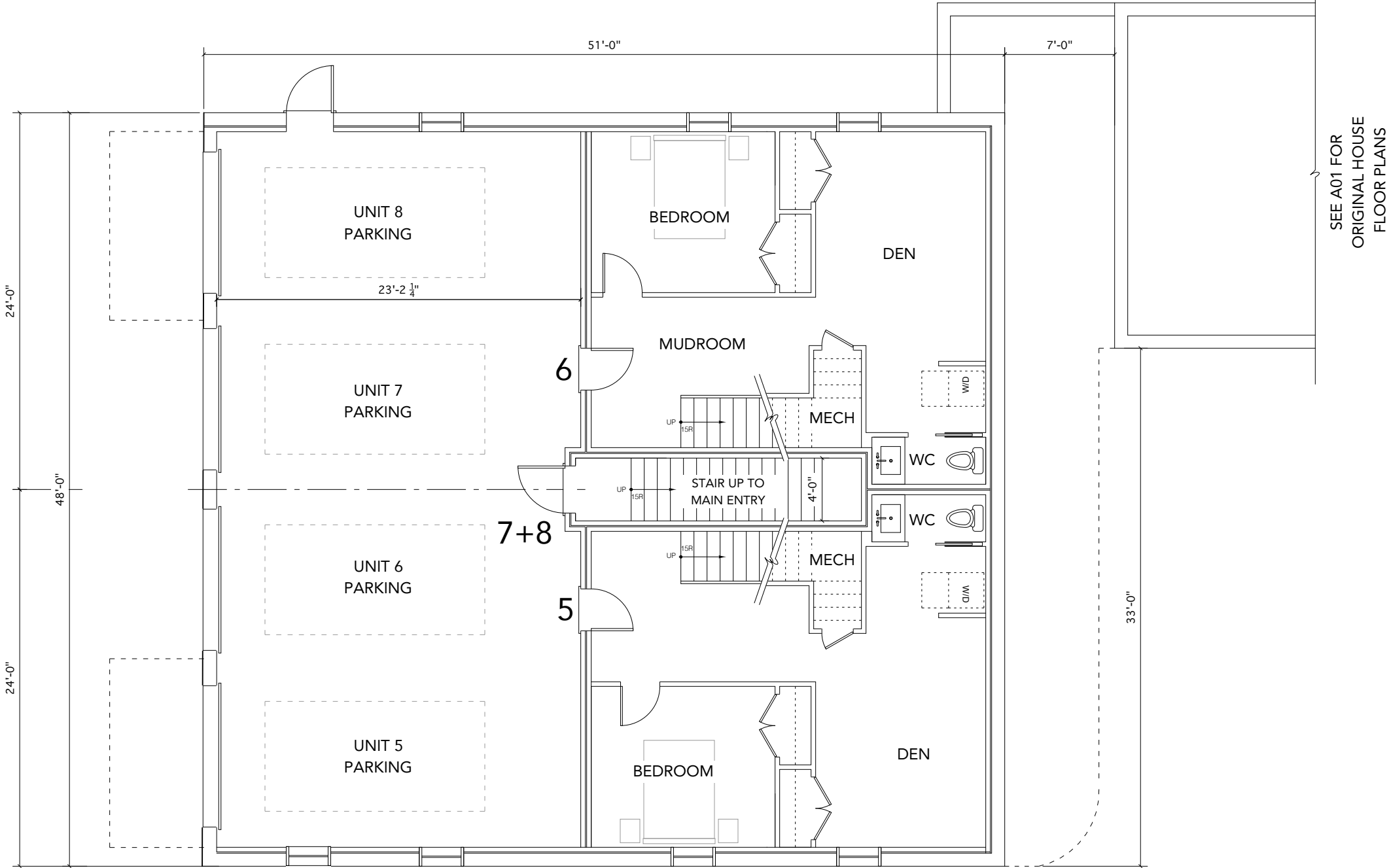
T.O. Historic House 1st Fl. Fin.
Elev. 100'-0" (127'-6")

T.O. Carriage House Garage Slab
Elev. 125'

T.O. Grade@ Carriage Hse Garage
Elev. 124.5'

SF CALCULATIONS - PROPOSED

UNIT 5 (3 bdrm)		
1ST FL		925 SF
LOWER LEVEL		515 SF
TOTAL SF		1,430 SF
UNIT 6 (3 bdrm)		
1ST FL		1031 SF
LOWER LEVEL		515 SF
TOTAL SF		1,546 SF
UNIT 7 (3 bdrm)		
2ND FL		1,052 SF
3RD FL		515 SF
TOTAL SF		1,567 SF
UNIT 8 (3 bdrm)		
2ND FL		1,052 SF
3RD FL		515 SF
TOTAL SF		1,567 SF



1 Basement Floor Plan
SCALE: 1/8" = 1'-0"

project:

80 HAVERHILL
RESIDENCES

80 Haverhill Road
Amesbury, MA

SEE A01 FOR
ORIGINAL HOUSE
FLOOR PLANS

architect:

GRAF
ARCHITECTS
2 Liberty Street
Newburyport, MA
01950
T. 978 499 9442
www.grafarch.com

title:

PROPOSED
Barn Basement
Floor Plan

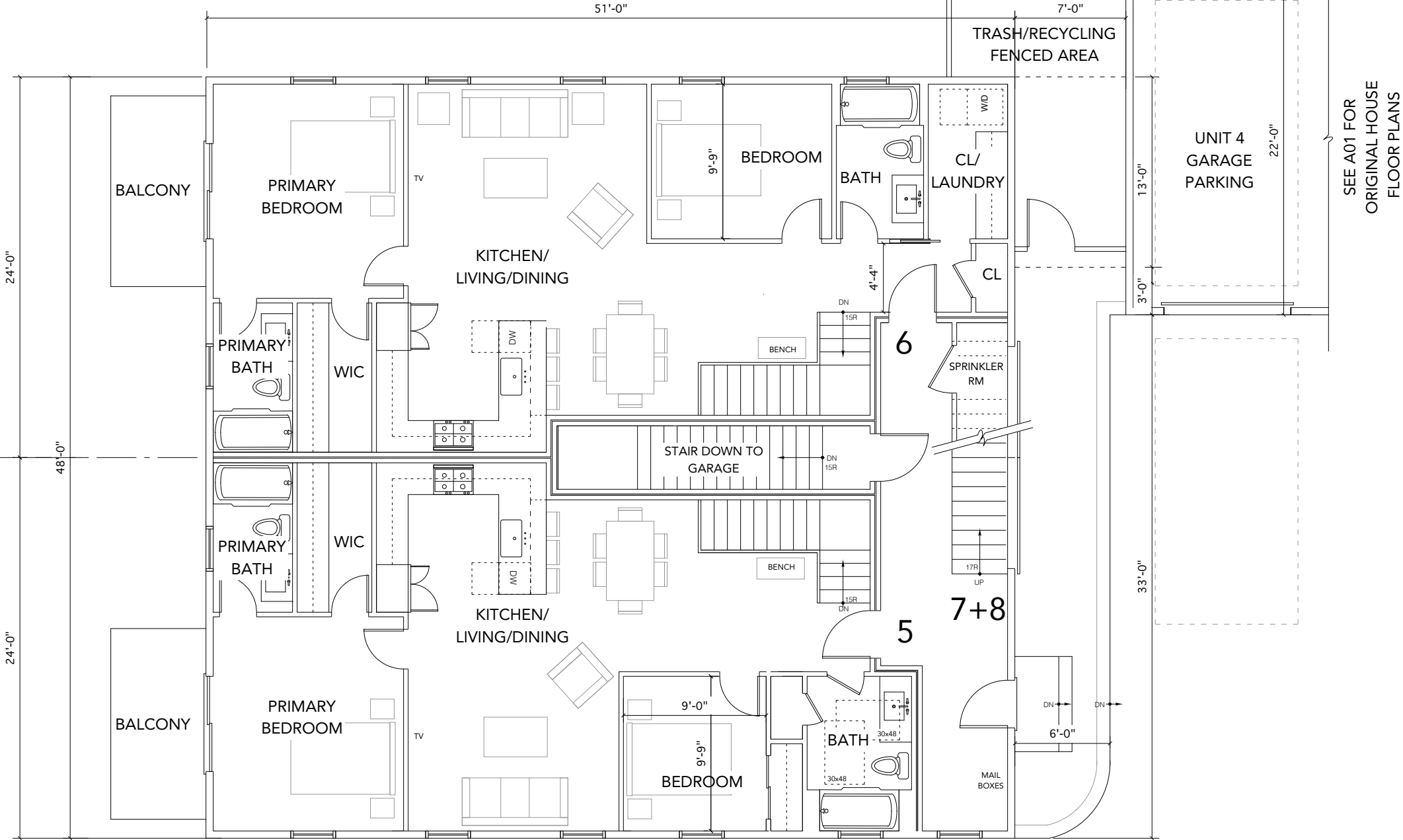
SCALE: 1/8" = 1'-0"

23 october 2024

B01

SF CALCULATIONS - PROPOSED

UNIT 5 (3 bdrm)	
1ST FL	925 SF
LOWER LEVEL	515 SF
TOTAL SF	1,430 SF
UNIT 6 (3 bdrm)	
1ST FL	1031 SF
LOWER LEVEL	515 SF
TOTAL SF	1,546 SF
UNIT 7 (3 bdrm)	
2ND FL	1,052 SF
3RD FL	515 SF
TOTAL SF	1,567 SF
UNIT 8 (3 bdrm)	
2ND FL	1,052 SF
3RD FL	515 SF
TOTAL SF	1,567 SF



1 First Floor Plan
SCALE: 1/8" = 1'-0"

project:

80 HAVERHILL
RESIDENCES

80 Haverhill Road
Amesbury, MA

architect:

GRAF
ARCHITECTS
2 Liberty Street
Newburyport, MA
01950
T. 978 499 9442
www.grafarch.com

title:

PROPOSED
Barn First
Floor Plan

SCALE: 1/8" = 1'-0"

23 october 2024

B02

SF CALCULATIONS - PROPOSED

UNIT 5 (3 bdrm)	
1ST FL	925 SF
LOWER LEVEL	515 SF
TOTAL SF	1,430 SF
UNIT 6 (3 bdrm)	
1ST FL	1031 SF
LOWER LEVEL	515 SF
TOTAL SF	1,546 SF
UNIT 7 (3 bdrm)	
2ND FL	1,052 SF
3RD FL	515 SF
TOTAL SF	1,567 SF
UNIT 8 (3 bdrm)	
2ND FL	1,052 SF
3RD FL	515 SF
TOTAL SF	1,567 SF



1 Second Floor Plan
SCALE: 1/8" = 1'-0"

project:

80 HAVERHILL
RESIDENCES

80 Haverhill Road
Amesbury, MA

architect:

GRAF
ARCHITECTS
2 Liberty Street
Newburyport, MA
01950
T. 978 499 9442
www.grafarch.com

title:

PROPOSED
Barn Second
Floor Plan

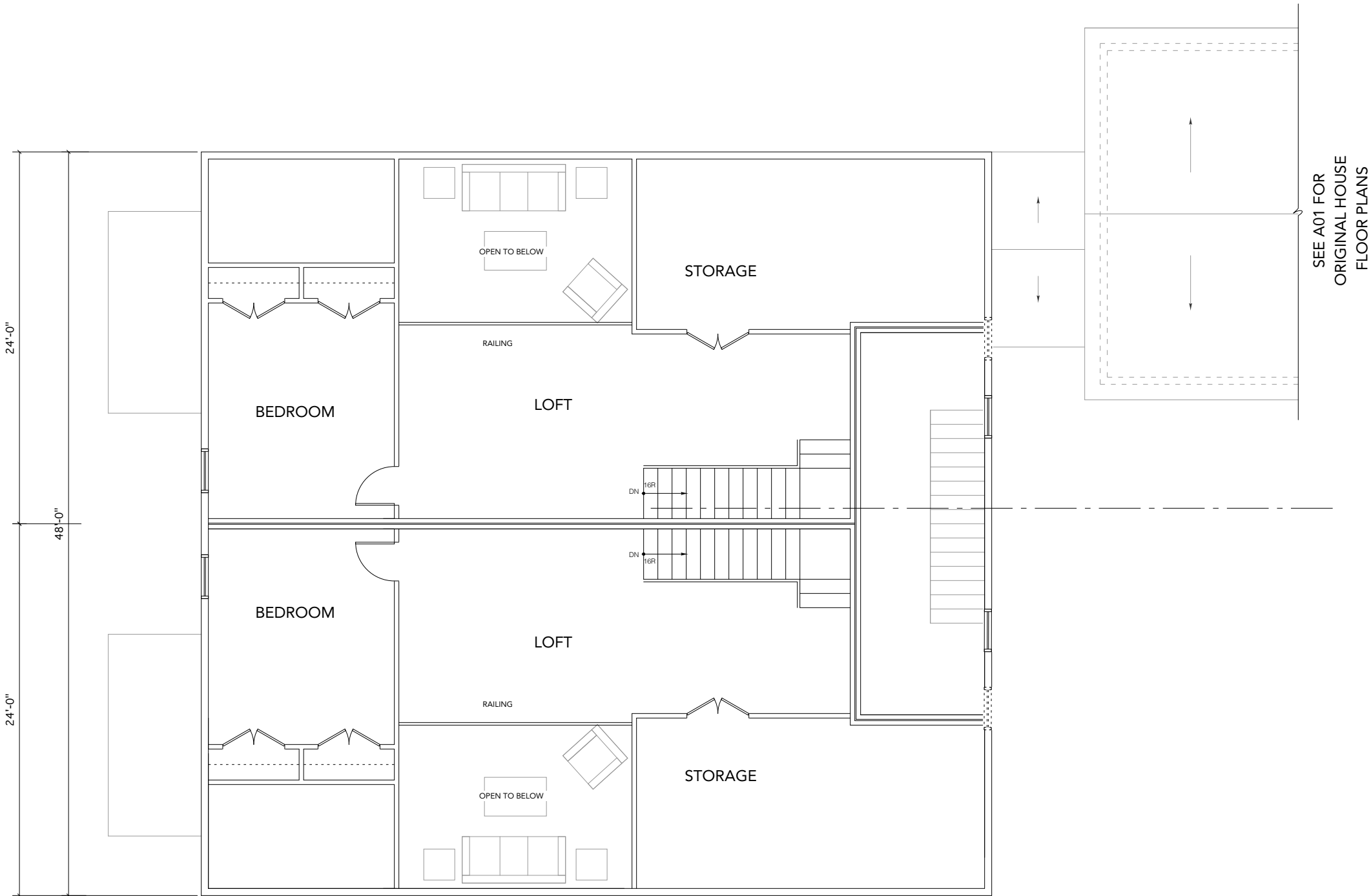
SCALE: 1/8" = 1'-0"

23 october 2024

B03

SF CALCULATIONS - PROPOSED

UNIT 5 (3 bdrm)	
1ST FL	925 SF
LOWER LEVEL	515 SF
TOTAL SF	1,430 SF
UNIT 6 (3 bdrm)	
1ST FL	1031 SF
LOWER LEVEL	515 SF
TOTAL SF	1,546 SF
UNIT 7 (3 bdrm)	
2ND FL	1,052 SF
3RD FL	515 SF
TOTAL SF	1,567 SF
UNIT 8 (3 bdrm)	
2ND FL	1,052 SF
3RD FL	515 SF
TOTAL SF	1,567 SF



1 Third Floor Plan
SCALE: 1/8" = 1'-0"

project:

80 HAVERHILL
RESIDENCES

80 Haverhill Road
Amesbury, MA

architect:

GRAF
ARCHITECTS
2 Liberty Street
Newburyport, MA
01950
T. 978 499 9442
www.grafarch.com

title:

PROPOSED
Barn Third
Floor Plan

SCALE: 1/8" = 1'-0"

23 october 2024

B04

project:

80 HAVERHILL
RESIDENCES

80 Haverhill Street
Amesbury, MA

architect:

GRAF
ARCHITECTS

2 Liberty Street
Newburyport, MA
01950
T. 978 499 9442

www.grafarch.com

title:

PROPOSED
BARN
Exterior Elevations

SCALE: 1/8" = 1'-0"

23 october 2024

B05



project:

80 HAVERHILL
RESIDENCES

80 Haverhill Street
Amesbury, MA

architect:

GRAF
ARCHITECTS

2 Liberty Street
Newburyport, MA
01950
T. 978 499 9442

www.grafarch.com

- T.O. Historic House 1st Fl. Fin.
Elev. 100'-0" (127.8')
- T.O. Carriage House Garage Slab
Elev. 125.75'
- T.O. Grade
Elev. 125.25'

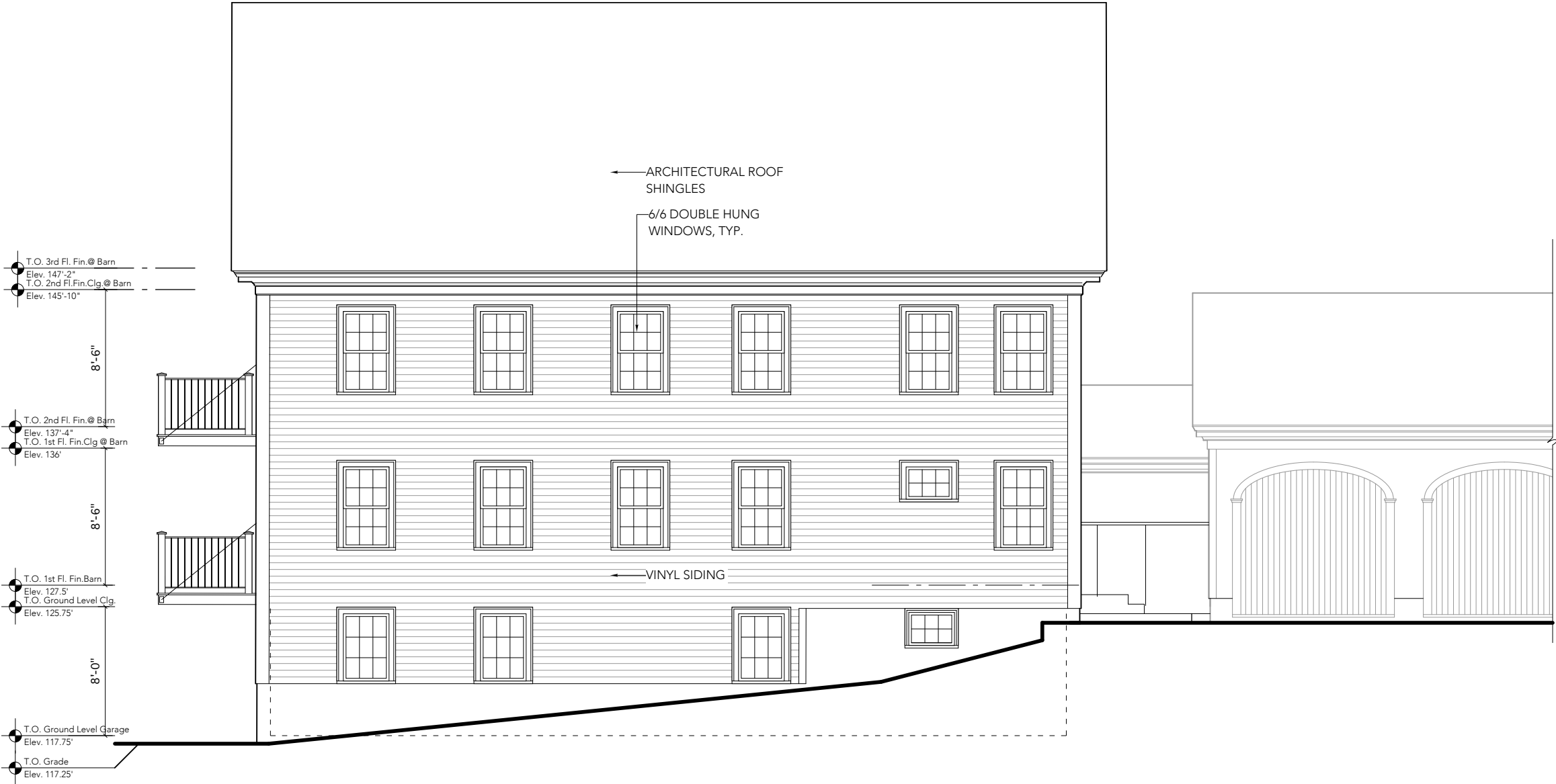
title:

PROPOSED
BARN
Exterior Elevations

SCALE: 1/8" = 1'-0"

23 october 2024

B06



1 Exterior Elevation - SIDE
SCALE: 1/8" = 1'-0"

project:

80 HAVERHILL
RESIDENCES

80 Haverhill Street
Amesbury, MA

architect:

GRAF
ARCHITECTS

2 Liberty Street
Newburyport, MA
01950

T. 978 499 9442

www.grafarch.com

title:

PROPOSED
BARN
Exterior Elevations

SCALE: 1/8" = 1'-0"

23 october 2024

B07



project:

80 HAVERHILL
RESIDENCES

80 Haverhill Street
Amesbury, MA

architect:

GRAF
ARCHITECTS

2 Liberty Street
Newburyport, MA
01950
T. 978 499 9442

www.grafarch.com

title:

PROPOSED
BARN
Exterior Elevations

SCALE: 1/8" = 1'-0"

23 october 2024

B08



1 Exterior Elevation - SIDE
SCALE: 1/8" = 1'-0"