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CITY OF AMESBURY, MA

PLANNING BOARD DECISION

Property Ownership: **Mark Wojcicki, Wojcicki Holdings LLC
110 Main Street, Amesbury MA 01913**

Applicant: **Mark Wojcicki, Wojcicki Holdings LLC
110 Main Street, Amesbury MA 01913**

Application Type: **SITE PLAN REVIEW & SPECIAL PERMIT –
Historic Preservation**

Project: **2 Lot Subdivision with one (1) existing historic residential structure**

Location: **14 Maple Street, Amesbury, MA 01913**

Date: **April 13th, 2026**

A. GENERAL

On or about 11/20/2025, the Amesbury Planning Board (the “Board”) received applications for Special Permit and Site Plan Review (“Project”) for a project proposed at 14 Maple Street in Amesbury MA. The application was submitted along with a Site Plan (the “Plan”) drawn by Scott Brown Architects and last revised on 4/8/2026 and submitted along with supporting documents on behalf of Mark Wojcicki of Wojcicki Holdings LLC (the “Applicant”). The set of plans consists of eleven (11) sheets and includes architectural and landscaping plans.

The initial public hearing was held on 1/26/2026 and continued to subsequent meetings. The public hearing was closed and a decision was rendered on 4/13/2026. This is the Final Action of the Board (“Decision”) on the Special Permit and Site Plan applications.

B. FINDINGS:

1. **Subject Property:** The Property is located at 14 Maple Street and is identified on the Assessors Database as Map 51, Lot42. The parcel is zoned residential (R-8). The subject property consists of a total area of approximately 13,980.7 sq. ft. The parcel has frontage along Maple Street.
2. **Existing Conditions:** The Property currently has a single family residential structure with an accessory structure. The Board finds that the plans have identified the existing site and building conditions adequately in the application.
3. **Project Description and Proposed Use:** The proposed site plan shows the existing property being subdivided into two Lot 1 (7,072 sq. ft.) and Lot 2 (6,909 sq. ft). a new single family residential structure is proposed on Lot 1 and the existing house will occupy Lot 2 along with a 2 car garage as shown on the proposed subdivision plan (See Exhibit #1). Site improvements include repairs to the existing sidewalk along the frontage of both lots, access ways, new driveways, landscaping, fences and decks and patios as shown on the site plan.
4. **Site Layout, Grading and Building Location:** The general layout of the site does not change significantly. The new single family structure has been laid out to complement the streetscape and architecture scale and character of the existing historic structure. The architectural designs of the new home has also been reviewed by the Board (See Exhibit #3) and Design Review Committee (DRC). Some of these changes have been made as a result of deliberations during the application review process and comments from the Board. The Board finds that the changes to the site plan are desirable for the proposed historic preservation and the subdivision (See Exhibit #1);
5. **Architectural Design:** Building elevations and preliminary floor plans for existing and proposed new buildings have been provided to the Board along with the proposed site plan. The Board finds the architectural design satisfactory provided the final construction drawings are consistent with these architectural plans (See Exhibit #3).

6. **Historic Preservation Proposal:** The application includes a historical assessment and documentation report of the historical significance of the building and its character defining features. A historic preservation restriction approved by the Amesbury Historical Commission and the City of Amesbury will be placed on the lot and historic residential building and will be required to remain in place in perpetuity (See Exhibit #4).
7. **Public Impact:** The subject property is located in an area with existing municipal utility services. The approved site plan shows water and sewer infrastructure improvements that have been determined by DPW to be adequate for the proposed uses. The Board finds that the project will not create any undue burden on the utilities, municipal services or public infrastructure by the proposed changes to the existing property. The Board finds that the proposed use
 - a) is desirable and compatible with the character of the neighborhood,
 - b) will not be an intensification of the existing uses, and
 - c) is not detrimental to the public health or welfare.
8. **Other Permits Needed:** The Applicant has not requested any other permit from the Planning Board and no other relief has been granted except as outlined in this decision. The Board finds that the Applicant may need the approval of the Amesbury Historical Commission if there are any changes proposed to the building design, improvements or repairs other than those that have been approved within the Preservation Restriction.

Based on the findings noted above, the Board finds that the Project satisfies the Special Permit Criteria under Section X.J, Section XI. J2 and Site Plan Review criteria under Section XI.C of the Amesbury Zoning Ordinance (the "Ordinance").

C. WAIVERS

The Applicant requested waivers sought from the specific provisions of the Zoning Ordinance. The Board has endeavored to grant waivers from those rules and regulations, only to the extent necessary, where the waivers are consistent with the purpose and intent of the regulations and would not threaten public health, safety or welfare and to minimize harm and disruption to the locus and real property abutting the locus. In the event that further waivers are required, the Applicant shall submit a written request for such waiver(s) to the Board and the Board may grant or deny such additional waivers in accordance with applicable rules and regulations in effect at that time. The waivers listed in Table 1 are the only waivers granted to the extent necessary to construct the approved plan as submitted and revised:

TABLE 1:

Section(s) of the Amesbury Zoning Ordinance (AZO)	Requested Waiver	Decision of the Board
Section VI – Dimensional Requirements – Lot 2 – (Existing Historic Residential Structure)	Request to waive the setbacks required per AZB for the pre-existing structure on the new lot as follows: Lot Frontage waived to 59 feet Lot Area waived to 6,909 sf.	A. Granted to the extent shown provided, 1) the landscape screening and vegetative buffers and other fences are installed as per approved final landscaping plan; and 2) review and approval of final architectural details for the building; 3) approval of a subdivision plan. B. Granted to the extent necessary provided a Historic Preservation Restriction is recorded as approved by Amesbury Historical Commission and renovations of the existing building are done as per approved architectural plans approved by the Board.
Section VI – Dimensional Requirements – Lot 1 – (New Residential Structure)	Request to waive the following: Lot Frontage: waived to 63 ft; Front setback waived to 16 feet; Right side yard setback waived to 10.1 ft.	Granted to the extent shown, provided: 1) the landscape screening and vegetative buffers and other fences are installed as per approved final landscaping plan 2) review and approval of final architectural details for the building, and 3) approval of a subdivision plan

D. APPROVAL OF THE SITE PLAN AND CONDITIONS THERETO

Upon notice and after a public hearing in accordance with the statute (General Laws, Chapter 40A, section 11) the Amesbury Zoning Ordinance and Subdivision Rules and Regulations, and after full consideration of the evidence presented, and upon the findings made in Section B of this Decision, the Board granted a **Special Permit and Site Plan Approval for the proposed Historic Preservation application for property located at 14 Maple Street** in Amesbury MA as shown on the approved Plan further upon the conditions and hereinafter set forth, for the premises described in the application.

I. COMPLIANCE WITH LOCAL, STATE AND FEDERAL REQUIREMENTS:

The Project and all construction, utilities, off-site improvements and all related appurtenances with respect to the Project, shall comply with all applicable local, state and federal regulations except as waived specifically by this Decision. The Applicant shall be responsible for acquiring all other local, state and federal permits and approvals as necessary to construct the Project as approved by the Board. Final action on all other permits shall be submitted to the Board for record.

II. GENERAL AND IN PERPETUITY CONDITONS

1. **Allowed Uses:** This Decision allows two (2) residential single-family structures, including the existing historic residential structure and associated accessory structures as shown on the final Site Plan. No other new structures, changes to building footprints or increase in the number of units or lots shall be allowed except as shown on the approved plan and as allowed by this Decision. Changes to uses or changes to the subdivision plan shall only be allowed after subsequent review and approval by the Board;
2. **Historic Preservation Restriction** – The Special Permit is granted subject to the terms of a permanent Historic Preservation Restriction as approved by the Amesbury Historical Commission and held by the City of Amesbury and to be recorded prior to issuance of any occupancy permit or sale of the existing residential structure(s) on Lot 2, whichever is earlier.

The Applicant shall be responsible for all legal costs associated with the review and approval of the legal documents and shall be required to provide the necessary funds in advance of the City's approval and acceptance of the final documents. No exterior alterations, additions, modifications to the building footprint or removal of any of the architectural and character defining features of this structure shall be allowed except as approved by this Decision as shown on the plan. Any architectural element requiring repairs or replacement shall be done in a manner consistent with the historically correct details and materials and pursuant to the Preservation Restriction ("Restriction") as per the provisions of Section XI.J2. The Historic Preservation Restriction shall be submitted to the City for acceptance within ninety (90) days of issuance of a building permit. In the event that the Restriction is not accepted by the City, the Restriction shall be placed on record at the registry of deeds as a perpetual covenant on the existing structures on Lot 1.

3. **Historic marker:** A historic plaque shall be installed on the building as per approval by the Amesbury Historical Commission.
4. **Site and Building Design** – The existing building renovations shall conform to the building design as per Exhibit #3 (Architectural Drawing Set). Specifically, the final architectural and construction drawings for the existing historic home at 14 Maple Street shall include the saw-toothed detail on the shingles in the gables per details seen on 16 Maple Street house and retain the fluted corner boards on the bay window and add a decorative metal cap to the tower. The new residential structure shall be built as per architectural drawings and details as approved by the Board and shown on preliminary drawings per Exhibit #3. Any garage for either lot shall also be built as per approved details included in this Decision.
5. **Subdivision Plan:** The Final Site Plan shows the proposed residential structure on Lot 1 and the existing structure on Lot 2. The approval of the Site Plan shall not be deemed as approval of these new lots. The Applicant shall file a Subdivision Plan and application pursuant to the Amesbury Subdivision Rules and Regulations with the Board. Only upon approval of a subdivision plan for the creation of the new lots and subsequent to recording of such plan endorsed by the Board, can commencement of any construction associated with the proposed new single family residential structure shall be allowed. The Site Plan may have

to be modified pursuant to the approval of a Subdivision Plan showing lots in substantial compliance with these lot lines.

6. **Setback Waivers:** The Board shall grant the requested waivers from Table VI – Dimensional Controls of the Zoning Ordinance for the setbacks shown based on the proposed lot lines. However, any waivers associated with any new or proposed lot lines or associated with any existing or new residential structures shown on the approved Site Plan, shall be effective upon the approval and recording of a Subdivision Plan endorsed by the Board.
7. **New Residential Structures on Proposed New Lot:** Prior to any construction activity associated with the single family residential structure, including but not limited to, site grading, foundation, utility installation or issuance of a building permit, a Subdivision Plan approved and endorsed by the Board shall be put on record showing each of the proposed lots as approved per this Decision.
8. **Performance Bond:** The Applicant shall be required to post a surety with the Board for all improvements including but not limited to landscaping, patios, walkways, fencing, landscape buffers, driveways, parking areas and other drainage and utility improvements as shown on the Final Plans. The performance bond amount shall be established based on work not completed prior to the making request for an occupancy permit for residential structure on any lot. Prior to release of any Surety, the Board shall verify with its construction observation consultant and its staff that the work has been completed as per approved plans and approval by the Board of a Final As-Built Plan.
9. **Final Release of the Performance Bond** - Final release of performance bond shall be made when all the following conditions have been met:
 - a) Upon completion of work as shown on the Final Plans, the Applicant shall furnish a report from the Board's construction observation consultant or its representative indicating that all work has been completed as per the Board's Decision and as shown on the Final Plans.

- b) All City Department and the Board's inspectional engineer have recommended release of surety.
 - c) Upon completion of all off-site improvements including but not limited to, stormwater management systems, driveways, walkways, trash enclosures, fences and off-site improvements and, submission of an "As-Built Plan" to the Board along with a written confirmation from a Registered Professional Engineer (P.E.), indicating that construction complies with the approved site plans and conditions of approval, including drainage and utility plans, and
 - d) all landscaping plant materials (trees, shrubs, and other plants) have survived two (2) growing season and that dead/damaged plants have been replaced as per Final Plans.
 - e) If applicable, a Certificate of Compliance (CoC) from the Conservation Commission has been recorded at the Registry of Deeds.
10. **As-built Plans:** To ensure compliance with the terms and conditions of this Decision and any approval or order by any federal or state agency, the Applicant shall submit to the Board complete and detailed Progress "As-Built" Plans with its request for a Certificate of Occupancy for any of the new single family residential structures approved in this Decision. Before release of the performance guarantee, the Applicant shall have prepared and submitted Final As-Built Plans, which shall indicate the actual location of permanent monuments; inverts and location of required utilities and drainage; location of all underground utilities; and location of all permanent structures. The accuracy of such Final As-Built Plans shall be certified by a Land Surveyor or a Professional Engineer, Registered in the Commonwealth of Massachusetts, retained by the Applicant. Any damage to public roads and walkways shall be repaired and/or replaced to the satisfaction of the Director of Public Works.
11. **Draft Deeds:** Draft deeds for the new lots shall be provided to the Board for review prior to release of these lots by the Board for sale.
12. **Indemnification:** The Applicant agrees that the City of Amesbury shall be free of any liability for any negligent acts or omissions by or of the Applicant, its employees, agents, subcontractors, beneficiaries or trustees with relation to this Project. The Applicant, on

behalf of itself and its successors and assigns, further agrees to indemnify and hold harmless the City of Amesbury, its employees and officials for any harm, damage, injury or loss caused by negligent acts or omissions of the Applicant, its employees, agents, subcontractors, beneficiaries or trustees with regard to the construction of this Project.

13. **Right to Enter and Inspect Property**: The Applicant shall as a condition of approval grant to the Board, any representative of the Board, city officials responsible to inspect and review the construction activity, the right to enter the property until such time as the site improvements are complete as per approved plans.
14. **Changes to Site Plan, Project Density or Design** - No further subdivision of the property or increase in density shall be allowed without further review and approval by the Board. Any change to the site plan or any of these conditions of approval, including, but not limited to, the building footprint and driveway locations, landscaping plans, architectural design criteria and the approved building construction materials, site improvements and finished grades or to any recorded legal documents shall only be allowed after review and approval by the Board. Substantive revisions to the Final Plans, such as changes to the building design or any of its exterior façade details, addition of dwelling units, relocation of more than one property line, relocation of the access driveways or other substantive changes from the Final Plans shall not be permitted without further review and written approval of the Board;
15. **Site Plan and Special Permit Modifications**: Prior to expansion, addition or alteration of uses not allowed by this Site Plan and Special Permit Approval, the Applicant shall provide detailed information and plans along with a formal written request for modification to the approved Site Plan and Special Permit for determination of minor or major modification and approval by the Board. Any substantial modifications to the approved Site Plan or changes that impact the criteria under Section X.J, Section XI.J2 or the Performance Standards under XI.C.8 or conditions of approval of this Decision shall be subject to review and approval of the Board. The Board shall, if it so determines, require the applicant to submit a new application for modification to the approved Site Plan and/or Special Permit and hold a new public hearing for review of the requested modifications; and

16. **Validity:** This special permit is valid only for the use and construction of new structures and redevelopment of existing structures to the extent approved in the Decision and shall expire within three years from the issuance date if construction is not started in that time period. Any changes to the site plan, uses or other improvements shown on the approved plan without the approval of the Board shall render those unauthorized improvements or changes null and void. This permit shall become final only upon 1) the recording of the Decision for the Special Permit and the final Site Plan; and 2) the issuance of all other state and federal permits required to start any construction activity allowed per this permit. The Site Plan Approval shall expire upon the expiration of the special permit, unless said permit(s) is extended by the permit granting authority.

IV. PRIOR TO ENDORSEMENT OF PLANS

The approved plans shall become Final Plans upon recording of the endorsed plans. The following conditions shall be met prior to endorsement of the approved plans:

1. **Notations** - The following notes shall be added to the Plans that will be endorsed and recorded:
 - a. A note shall be added that states that "*The existing building on Lot 2 is subject to a permanent Historic Preservation Restriction, held by the City of Amesbury in perpetuity, to be recorded herewith.*" and a notation to this effect shall also appear upon any deeds to any individual unit within the multi-family building on said property;
 - b. "*This subdivision of Land is subject to the Planning Board approval of a Historic Preservation Special Permit recorded herewith and conditions stated therein*";
 - c. A note shall be added to reference the Board's Decision and date of approval;
 - d. "*No further subdivision of any parcel or any changes to the number of residential lots or units thereon, the lot configuration, or the lot lines shall occur without a further review and approval from the Board*" and a notation to this effect shall also appear upon any deeds to any property within the subdivision;

2. **Easements and Covenants** - A copy of draft legal documents and plans describing all covenants, and easements affecting the use of the subject property shall be submitted to the Board for review and approval, said easements to be shown on the Plan to be recorded, and restrictions to be noted on such subdivision plan. The Applicant also shall submit to the Board any written or recorded instruments granting or agreeing to such easements and covenants;
3. **Lot Closure Calculations** - Final lot closure calculations shall be provided by the Applicant as required under the Subdivision Rules and Regulations;
4. **Revisions to the Final Site Plan and Supporting Documents:** The Final Site Plan and Architectural Plan set shall be revised pursuant to this Decision and final comments of the Board and its representatives as part of submission of final plans for endorsement by to the Board. Specifically, landscape between the two lots, fencing details and architectural details shall be revised and added to the final site plan set, and
5. **CAD Drawings** - Three copies of all drawings and site plans as approved by Board shall be provided as Computer Assisted Drawings (CAD) on Compact Disks to the Board.

III. PRIOR TO START OF ANY CONSTRUCTION ACTIVITY ON SITE

The Applicant shall file with the Board and all other relevant public agencies for review and for consistency with this Decision any documents and shall have completed the following actions:

1. **Legal Documents:** The following documents shall be submitted to the Board and the Building Inspector:
 - a) **Documents Recorded at the Southern Essex Registry of Deeds:** The following documents as recorded at the Southern Essex Registry of Deeds after endorsement by the Board:
 - i. Planning Board Decision - A copy of this Decision certified by the City Clerk; and
 - ii. Final Site Plan Set – Upon making any required revisions per this decision, the final site plan set shall be endorsed by the Board and certified by the City Clerk.

iii. Covenant, as further outlined below.

b) Covenant - Prior to the commencement of any construction activity or building improvements, a covenant shall be placed on the issuance of occupancy permit and sale of any residential unit in the Project. A full release from the covenant may be requested upon completion of all the following requirements:

- 1) Endorsement by the Board of a subdivision ANR plan in compliance with the Board's subdivision rules and regulations and recording of such plan at the registry of Deeds.
- 2) an Erosion Control and Sedimentation Bond has been established prior to start of any construction activity or disturbance on site.
- 3) a Performance Bond has been established for any and all remaining improvements including but not limited to landscaping, patios, walkways, fencing, landscape buffers, driveways, parking areas and other drainage and utility improvements as shown on the Final Plans prior to seeking an occupancy permit for any dwelling unit on any lot.
- 4) All exterior restoration, renovations and construction work of the historic building have been completed as per historic and period details and are consistent with the architectural plan set approved by the Board.
- 5) the final Historic Preservation restriction has been reviewed and approved by the Amesbury Historical Commission (AHC), city legal counsel and presented to the City Council for acceptance.

2. Erosion Control Barriers - Prior to the commencement of any work at the site, an erosion control barrier (hay bales staked end to end and siltation fence firmly anchored with six (6) inches of soil on the uphill side) shall be installed in a location reasonably acceptable to the Board or its representative. The erosion control barrier shall be inspected by the Board or its representative prior to work commencing on the site and shall be maintained until all disturbed areas have been stabilized to the satisfaction of the Board or its representatives.

3. Sedimentation and Erosion Control Surety – The Applicant shall be required to post Surety with the Board for Sedimentation and Erosion to ensure that all drainage and erosion

control measures are implemented, including but not limited to, the proposed impervious surfaces and grading plan as per the Final Plans and other engineering drawings. Prior to release of any portion of the Surety, the Board shall verify with its construction observation consultant or its staff representatives that all finished grades have stabilized, and drainage have been installed and functioning as per approved design and that there is evidence of healthy mature grass and/or landscaping on the site. A request for any release of funds may only be made after the completion of two growing seasons from the installation of all landscape materials on the site and approval of a final As-built Plan

4. **Request for Pre-construction Conference:** The request for a Pre-construction Conference shall be acted upon by the Board only AFTER the Board has received and reviewed ALL of the documents required per this Decision before start of construction and has received a final Construction Monitoring and Management Plan (CMMP) and also determined that the Project is ready to proceed to the construction phase. Upon authorization by the Board, its representatives shall schedule the Pre-construction Conference; and
5. **Pre-Construction Conference** - At least five (5) business days prior to any initial site work, a Pre-Construction conference shall be held with the Applicant, Applicant's contractor, a representative of the Board, its consulting engineer, and representatives of the City Departments having an interest in the Plan. Said meeting shall be for the purpose of familiarization with the project, the conditions of approval, and the project's construction sequence and timetable and for reviewing and approval of the CMMP. Copies of all other permits shall be provided to the Board in advance of this meeting.

V. PRIOR TO MAKING REQUEST FOR LOT RELEASE or BUILDING PERMIT

The Applicant shall file with the Board and all other relevant public agencies for review and for consistency with this Decision any documents and shall have completed the following actions:

1. **Legal Documents:** The following documents shall be submitted to the Board and the Building Inspector as recorded at the Southern Essex Registry of Deeds after endorsement by the Board:

- i. Subdivision (ANR) Plan
 - ii. Lot Release Form; and
 - iii. Covenant
2. **Submission of Architectural Drawings:** No less than 30 days prior to the submission of a building/foundation permit application, a copy of the complete set of detailed architectural elevations and floor plans for the building(s) shall be submitted to the Board. The final architectural drawings shall be sufficiently annotated to describe in detail the building materials, details and color scheme for the building. The Board shall review the final construction drawings to establish conformance with architectural drawings presented to the Board, which approval shall not unreasonably withheld, before making request for a building permit for said building.
3. **Final Private Utility Layout:** The Applicant shall obtain all necessary private utility permits, including but not limited to gas pipeline, electric, telephone and cable service required by the respective utilities. Documentation of all Permits/approvals issued by private utilities pertaining to the development of the Project shall be provided to the Board for record.
4. **Building Permit Form** - The Applicant or their successors shall provide the Building Inspector with the form attached with this decision completed and signed off by each of the City officials listed on that form (PB200601-BUILDING).

VI. DURING CONSTRUCTION

The following shall apply to all construction activity as per approved Site Plan:

1. **Stockpiles** -Earth material stockpiles shall not be allowed immediately adjacent to perimeter siltation barriers, steep slopes or drain inlets. Long term stockpiles over 30 days shall be shaped stabilized and circled by siltation fence and haybales and shall be stabilized by temporary seeding, sheeting or netting;
2. **Repair and Cleanup**: The existing roadways shall be kept clean of all earth materials during the construction phase. Any damage to public roads and sidewalks shall be repaired and/or replaced to the satisfaction of the DPW Director and City Engineer;
3. **Utility Trenches** - Utility trenches within the public right of way shall be saw-cut prior to excavation. Open trenches shall be backfilled with bank gravel and compacted to 95%. Trenches shall be paved with asphalt binder to a minimum depth of three (3) inches and overlaid curb to curb to a minimum depth of one and half (1.5) inches. Water service trenches shall be infrared joint paved. The Director of DPW and the City Engineer shall have the final signoff on the right of way improvements and any change to these standards or those shown on approved plans shall be subject to their review and approval; and
4. **Construction Activities** - During construction, except within the individual building envelopes, the Applicant and its agents and employees shall conform to all local, state and federal laws regarding noise, vibration, dust and use of public roads and utilities. The Applicant shall at all times use all reasonable means to minimize inconvenience to residents in the general area and maintain safe and adequate vehicular access on Maple Street. Construction shall not commence on any day Monday through Saturday before 7:00 AM. Construction activities shall cease by 6:00 PM Monday through Friday and by Noon on Saturday. No construction or activity whatsoever (except for interior finishing) shall take place on Sunday;
5. **Police Detail** - The Applicant shall, if needed, pay for any police details associated with construction on the site along Maple Street;

VII. PRIOR TO MAKING REQUEST FOR AN OCCUPANCY PERMIT

The Applicant shall file with the Board and all other relevant public agencies for review and for consistency with this Decision any documents and shall have completed the following actions:

1. **Certification of Improvements** - The Applicant shall request the Board for a Certificate of Improvements and submit it to the Building Inspector from the Board verifying that all conditions of approval have been met and that construction to date is in conformance with the approved plans;
2. **Recorded Documents:** The following documents shall be submitted:
 - a) **Lot 2 - Historic Preservation Restriction** - A copy of the Final Preservation Restriction pursuant to the provisions of Section XI. J2 as recorded at the Essex Registry of Deeds shall be submitted to the Board;
3. **Landscape Improvements, Vegetative Screening and Fencing:** All proposed trees shall be placed in position or staked out for approval by the Board (or its designated agent) prior to digging. All site improvements, including landscape plantings, vegetative buffers, lighting and fencing shall be completed and installed as per Final Plans prior to making application for the occupancy permit. The Board's construction observation consultant or its representative shall submit a certification that the trees, shrubs and screening plants have been installed as per approved plans. Alternatively, the Board shall retain a performance bond equivalent to twice the amount to make all approved landscape and remaining site improvements prior to the request for the first certificate of occupancy by the Applicant. The Architect for the project shall submit a certification that the trees, shrubs and screening plants have been installed as per approved Final plans prior to release of such performance bond.
4. **Infrastructure Improvements:** All off-site infrastructure improvements and the on-site stormwater drainage system shall be completed as per Final Plans. The Applicant shall request written confirmation from the City Engineer and DPW Director that the finished

construction of all utilities that all municipal structures located within the public right of way are adjusted to appropriate finished grade, and are adequately accessible for future maintenance.

5. **Architect's Certification**: The Project Architect, registered in the Commonwealth of Massachusetts, shall submit a written statement to the Board certifying that the renovation of existing structure(s) and construction of new residential structure(s) on each of the Lots is in conformance with the architectural drawings and details approved by the Board and the Amesbury Historical Commission.
6. **Public Way Repairs**: Any damage to public roads and walkways shall be repaired and/or replaced to the satisfaction of the DPW Director and City Engineer;
7. **As-Built Plans and Lot Closure Details** – The Applicant shall submit plans with a certification from a Professional Engineer or Architect registered in the Commonwealth of Massachusetts that the Site Improvement "As-Built Plan" complies in all substantive engineering details with this Decision and Final Site Plan. Final lot closure calculations shall be provided to the Board and the monuments shall be installed as appropriate for legal documentation purposes and transfer of properties to future owners;
8. **Occupancy Form** - The Applicant or their successors shall provide the Building Inspector with the form attached with this decision completed and signed off by each of the City officials listed on that form (PB200602-OCCUPANCY).

Chair, Amesbury Planning Board

EXHIBITS

Exhibit #1:

Proposed Site Plan, prepared by GA Consultants, Inc., 10 State Street, Newburyport MA 01950 dated 11/7/2025 and last revised 2/22/2026

Exhibit #2:

Landscaping Plan and fencing details – See Proposed Architectural Site Plan set that includes the landscaping Plan (sheet A0.1), prepared by Scott Brown Architects, 48 Market Street, Newburyport MA 01950, dated 2/23/2026 and last revised 4/8/2026

Exhibit #3:

Architectural Drawings, prepared by Scott Brown Architects, 48 Market Street, Newburyport MA 01950 as follows:

Lot 1 – Consists of three (3) Sheets, A8-A10, titled Proposed New Residence at 14B Maple Street, Amesbury, MA 01913, dated 2/23/2026; and

Lot 2 - Consists of eight (8) Sheets, A0-A7, titled Renovations/Alterations to the Frank P. Todd House at 14 Maple Street, Amesbury, MA 01913, dated 2/23/2026 and last revised 4/8/2026

Exhibit #4:

Historic Preservation Restriction - Form B

FOR REGISTRY USE ONLY

AMESBURY PLANNING BOARD APPROVAL

APPROVED SUBJECT TO TERMS AND CONDITIONS OF A COVENANT TO BE RECORDED HEREWITH.

AMESBURY PLANNING BOARD

I HEREBY CERTIFY THAT THIS PLAN AND THE CONDITIONS AND REGULATIONS OF THE REGISTERS OF DEEDS.

THIS IS TO CERTIFY THAT ON _____ I RECEIVED FROM AMESBURY PLANNING BOARD CERTIFICATION OF ITS APPROVAL OF THIS PLAN AND THE CONDITIONS AND REGULATIONS OF THE REGISTERS OF DEEDS. NEXT FOLLOWED THE DECISION AND NOTICE OF ANY APPEAL FROM SAID DECISION.

CLERK _____ DATE _____

LEGEND

- W WATER MAIN
- WC WATER GATE
- HYDRANT
- SS SAN SEWER MAIN
- SM SAN SEWER MANHOLE
- SD STORM DRAIN
- DM DRAIN MANHOLE
- CM CATCH BASIN
- UP UTILITY POLE
- OW OVERHEAD WIRE
- F FENCE
- EBR BRUSH
- T TREES

NOTES:

- 1) OWNERSHIP OF ADJUTING LOTS SHOWN HEREIN ARE ACCORDING TO CITY OF AMESBURY ASSESSOR'S DEPARTMENT AT THE TIME OF THE SURVEY.
- 2) THIS PLAN IS PREPARED FOR OUR CLIENT USE AND IS NOT TO BE USED OR RELIED UPON AS A CONSTRUCTION DOCUMENT. ANY CONSTRUCTION OF THE PROJECT WITHOUT WRITTEN CONSENT BY GA CONSULTANTS, INC.
- 3) THIS PLAN DOES NOT SHOW ANY UNRECORDED OR UNWRITTEN EASEMENTS WHICH MAY EXIST. AND NO ATTEMPT HAS BEEN MADE TO OBSERVE ANY ADJUTING LOTS OR EASEMENTS. THE PLAN DOES NOT CONSTITUTE A GUARANTEE THAT NO SUCH EASEMENTS EXIST.
- 4) THE PROPERTY DOES NOT LIE IN A FLOOD HAZARD AREA, REFERENCE FEMA MAP NUMBER 25000C0102G, EFFECTIVE DATE JULY 6, 2005.

ASSESOR'S REFERENCE: MAP 51, LOT 142

DEED REFERENCE: E.S.O.R.D. BOOK 47298, PAGE 224

PLAN REFERENCES: E.S.O.R.D. PLAN BOOK 40333, PLAN 352

E.S.O.R.D. PLAN BOOK 407, PLAN 55

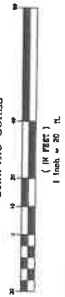
E.S.O.R.D. PLAN BOOK 397, PLAN 97

E.S.O.R.D. PLAN BOOK 354, PLAN 37

ZONING DISTRICT: R8



GRAPHIC SCALE



EXISTING CONDITIONS SITE PLAN

ASSESSOR'S MAP 51, LOT 142
14 MAPLE STREET
AMESBURY, MASSACHUSETTS

OWNER AND APPLICANT:

HOLDSBY HOLDINGS, LLC
110 MAIN STREET
AMESBURY, MA 01913

JOHN W. HARGREAVES, PE/PLS

DATE: 7.14.2025

RECORD

GA CONSULTANTS, INC.

14 STATE STREET, NEWBURYPORT, MA 01950

PROFESSIONAL ENGINEERS
& LAND SURVEYORS
TEL 978-502-2137

SHEET 1 OF 2

FOR REGISTRY USE ONLY

LEGEND

- W WATER MAIN
- WC WATER CISTERN
- HYDRO PUMP
- SEWER MANHOLE
- STORM DRAIN
- DEMAN MANHOLE
- CATCH BASIN
- UTILITY POLE
- OVERHEAD WIRE
- FENCE
- SHRUB
- TREES

MAP 51, LOT 143
10 USAC FARM TRST
N/E 300' 0" 300' 0" 200'
E.S.D. BK. 300' 0" 200'

MAP 51, LOT 143
10 USAC FARM TRST
N/E 300' 0" 300' 0" 200'
E.S.D. BK. 300' 0" 200'

MAP 51, LOT 143
10 USAC FARM TRST
N/E 300' 0" 300' 0" 200'
E.S.D. BK. 300' 0" 200'

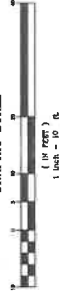
ZONING DISTRICT - RESIDENTIAL B (RB)

PARAMETER	REQUIRED	PROPOSED LOT-1	PROPOSED LOT-2
MINIMUM LOT AREA	8,000 SQ. FT.	7,072 SQ. FT.	6,809 SQ. FT.
MINIMUM LOT FRONTAGE	80 FT.	63.0	59.0 FT.
MINIMUM FRONT YARD	25 FT.	16.0 FT.	12.6 FT.
MINIMUM REAR YARD	30 FT.	15.0 FT.	12.6 FT.
MINIMUM BUILDING HEIGHT	35 FT.	37.7 FT.	43.6 FT.
MAXIMUM STORIES	2.5	< 2.5	< 2.5
MAXIMUM BUILDING AREA	50%	18.4%	23.3%
MINIMUM OPEN AREA	50%	75.1%	58.3%

NOTES:

- OWNERSHIP OF ABUTTING LOTS SHOWN HEREIN ARE ACCORDING TO CITY OF AMESBURY ASSESSOR'S DEPARTMENT AT THE TIME OF THE SURVEY.
- THIS PLAN IS PREPARED FOR OUR CLIENT USE AND IS NOT TO BE USED FOR ANY OTHER PURPOSE WITHOUT WRITTEN CONSENT BY GA CONSULTANTS, INC.
- THIS PLAN DOES NOT SHOW ANY UNRECORDED OR UNWRITTEN EASEMENTS WHICH MAY EXIST. A REASONABLE INVESTIGATION HAS BEEN MADE TO REVEAL ANY APPARENT VISIBLE USES OF THE LAND. HOWEVER, THIS DOES NOT CONSTITUTE A GUARANTEE THAT NO SUCH EASEMENTS EXIST.
- THE PROPERTY DOES NOT LIE IN A FLOOD HAZARD AREA, AS SHOWN ON MAP NUMBER 200600020Z, EFFECTIVE DATE JULY 8, 2025.
- ASSESSORS REFERENCE, MAP 51, LOT 142
- DEED REFERENCES, E.S.D. BOOK 47289, PAGE 224
- PLAN REFERENCES, E.S.D. PLAN BOOK 40933, PLAN 352
E.S.D. PLAN BOOK 307, PLAN 37
E.S.D. PLAN BOOK 354, PLAN 37
- ZONING DISTRICT RB

GRAPHIC SCALE



PROPOSED SITE PLAN
ASSESSOR'S MAP 51, LOT 142
14 MAPLE STREET
AMESBURY, MASSACHUSETTS

OWNER AND APPLICANT:
HOLICHI HOLDINGS, LLC
110 MAIN STREET
AMESBURY, MA 01913

GA CONSULTANTS, INC.
PROFESSIONAL ENGINEERS
10 STATE STREET, NEWBURYPORT, MA 01950
TEL. 978-592-5187

DATE: 11/2/2025
PROJECT: LOT 142

SHEET 2 OF 2

**RENOVATIONS/ALTERATIONS
TO THE:
FRANK P. TODD HOUSE
14 MAPLE STREET
AMESBURY, MA 01913**

REVISION & RESSUE NOTES		
No.	Date	Notes
A	2-19-24	P8 REVISION

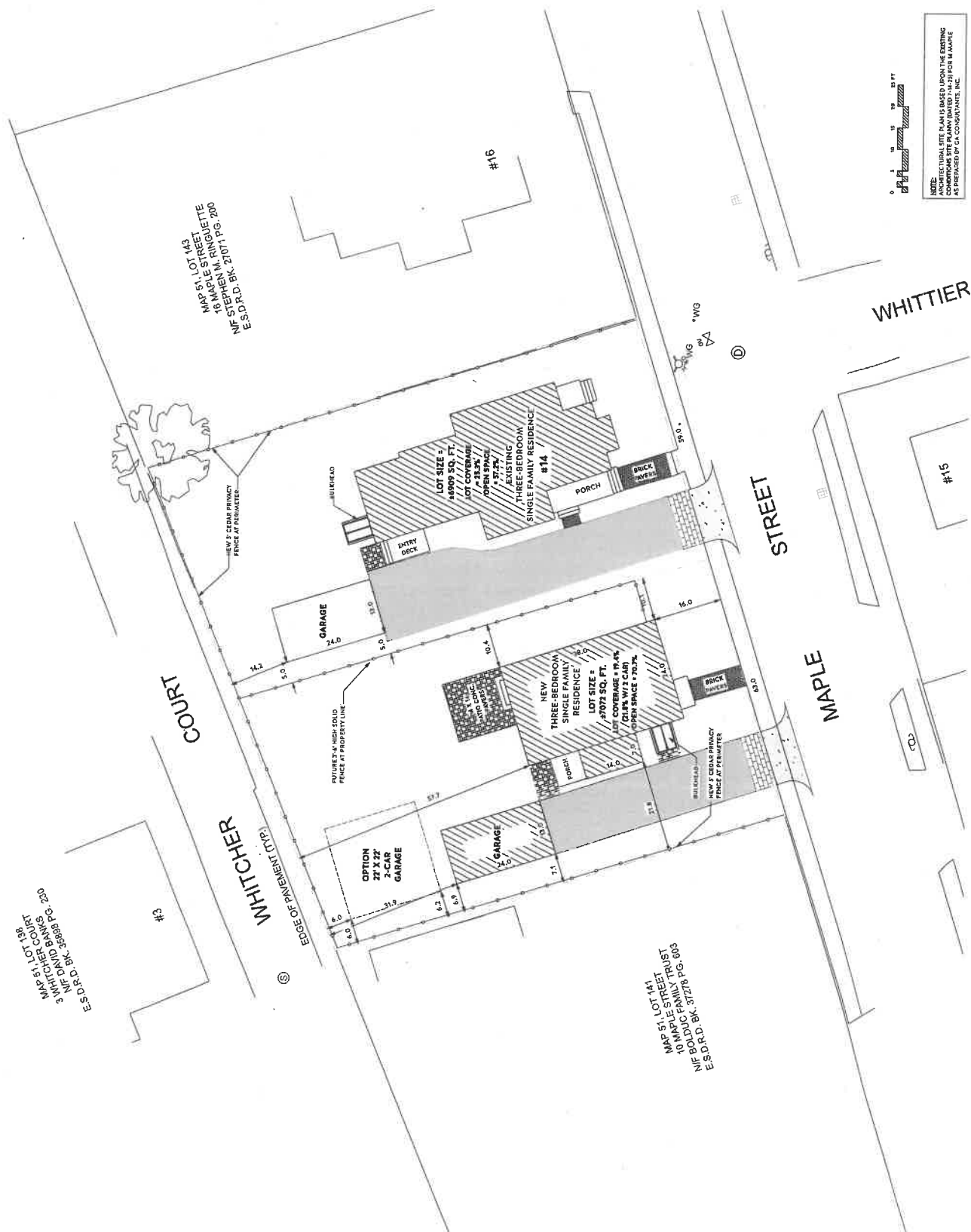
Project #	Project Manager	Date
2025-23	X.X.	4-08-26

Scale: 1" = 10'-0"

**PROPOSED
ARCHITECTURAL SITE
PLAN**

AO.O

...continued from page 10...



NOTE: ARCHITECTURAL SITE PLAN IS BASED UPON THE EXISTING CONDITIONS SITE PLANW (DATED 7-14-25) FOR 14 MAPLE WAS PREPARED BY GA CONSULTANTS, INC.

RENOVATIONS/ALTERATIONS
TO THE:
FRANK P. TODD HOUSE
14 MAPLE STREET
AMESBURY, MA 01913

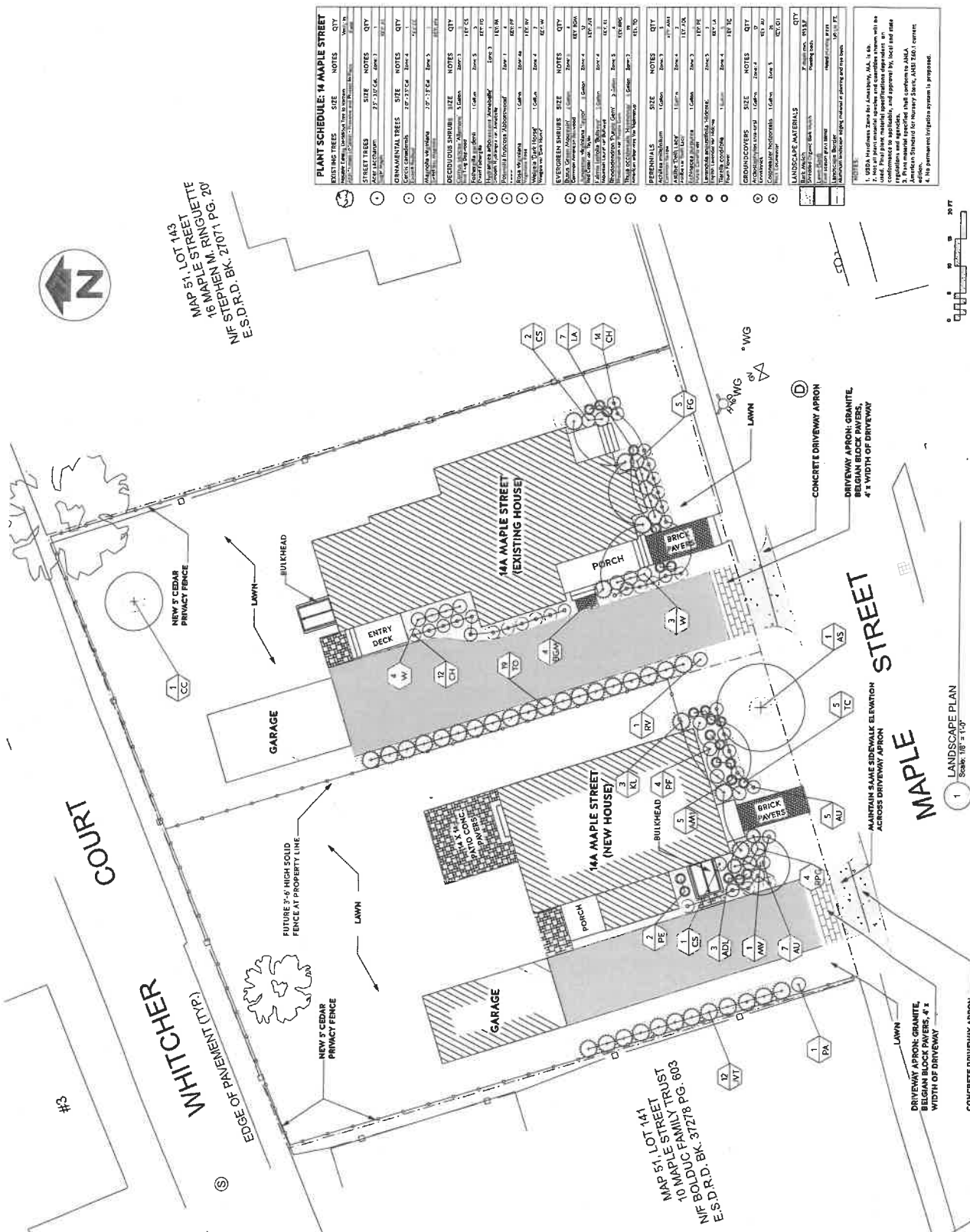
14 MAPLE STREET
AMESBURY, MA 01913

[illegible]

**PROPOSED
LANDSCAPING PLAN**

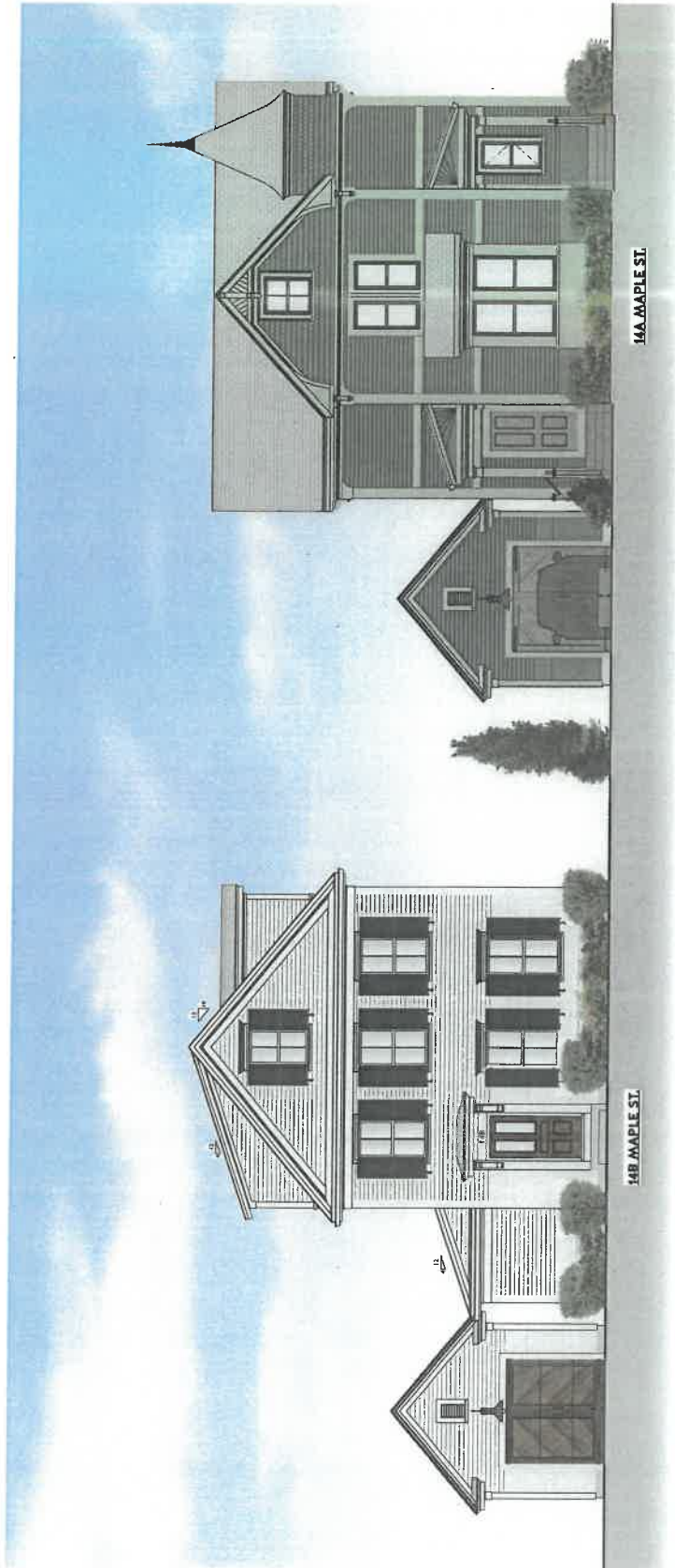
AO.1

... ..

[illegible]

14B MAPLE			
SIDING	TRIM	WINDOW	
B&K CUSTOM WHITE SIDING	B&K CUSTOM WHITE TRIM	B&K CUSTOM WHITE WINDOW	
HARDWOOD SPECKLED	B&K CUSTOM BLACK	HARDWOOD SLATE	

14A MAPLE			
SIDING	TRIM	WINDOW	
B&K CUSTOM WHITE SIDING	B&K CUSTOM WHITE TRIM	B&K CUSTOM WHITE WINDOW	
HARDWOOD SPECKLED	B&K CUSTOM BLACK	HARDWOOD SLATE	



1 MAPLE STREET ELEVATION
Scale: 1/4"

STREET ELEVATION

A2

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SCOTT M. BROWN

ARCHITECTS P.C.

48 MARKET STREET

NEWBURYPORT, MA 01950

T 978.453.3333

WWW.SCOTTBROWNARCHITECT.COM

RENOVATIONS/ALTERATIONS
TO THE:
FRANK P. TODD HOUSE

14 MAPLE STREET
AMESBURY, MA 01913

REVISION & REISSUE NOTES

No.	Date	Notes
A	2-20-26	PER RESUBMISSION

Project #	Project Manager	Date
2025-23	X.X.	04-08-26

Scale: AS NOTED

SCOTT M BROWN

ARCHITECTS

48 MARKET STREET
NEWBURYPORT, MA 01950
TEL: 465-3735
WWW.SCOTTBROWNARCHITECT.COM

FRANK P. TODD HOUSE
TO THE:
RENOVATIONS/ ALTERATIONS
14 MAPLE STREET
AMESBURY, MA 01913

REVISION & RESUBMIT NOTES	
DATE	NOTES
A 3-22-20	PR RESUBMISSION

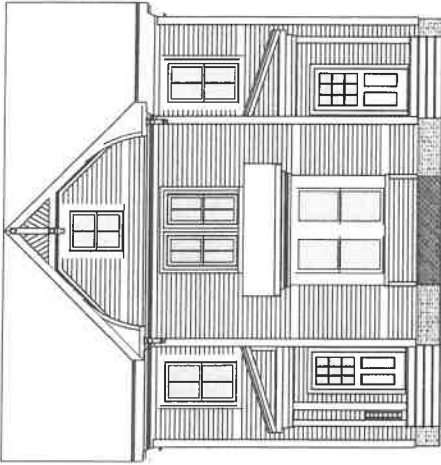
Project #	2015-23	Project Manager	X.X.X.	Date	04-09-26
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Scale: AS NOTED

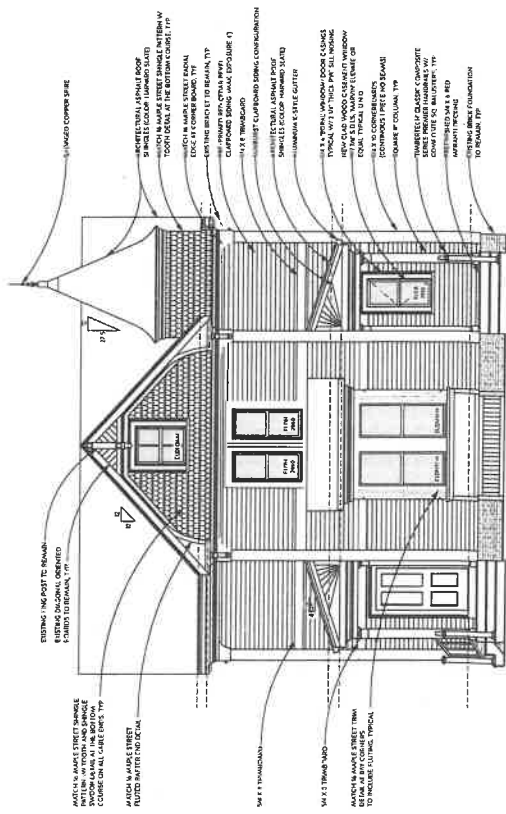
NORTH EAST (FRONT)
ELEVATION

A3

SCOTT M BROWN ARCHITECTS, LLC

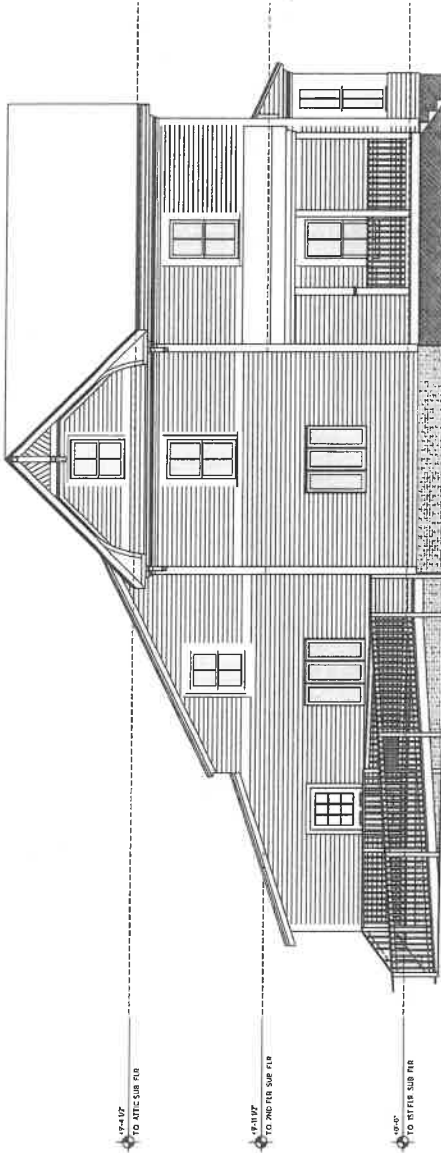


2 EXISTING NORTH EAST (FRONT) ELEVATION
Scale: 1/4" = 1'-0"

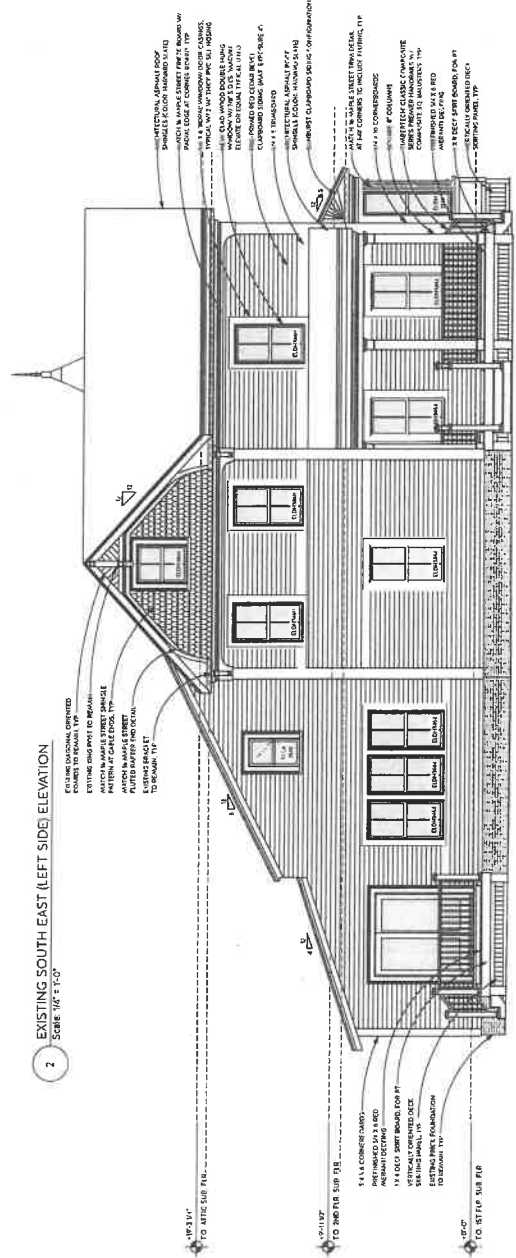


1 PROPOSED NORTH EAST (FRONT) ELEVATION
Scale: 1/4" = 1'-0"





2 EXISTING SOUTH EAST (LEFT SIDE) ELEVATION
Scale 1/8" = 1'-0"



1 PROPOSED SOUTH EAST (LEFT SIDE) ELEVATION
Scale 1/8" = 1'-0"





**SOUTH WEST (REAR)
ELEVATION**

A5

CONSTRUCTED BY: SCOTT & JENNIFER ANDREWS LLC

SCOTT BROWN

ARCHITECTS

48 MARKET STREET
NEWBURYPORT, MA 01960
TEL 978.465.3535
WWW.SCOTTBROWNARCHITECT.COM

FRANK P. TODD HOUSE
TO THE:
RENOVATIONS/ ALTERATIONS
14 MAPLE STREET
AMESBURY, MA 01913

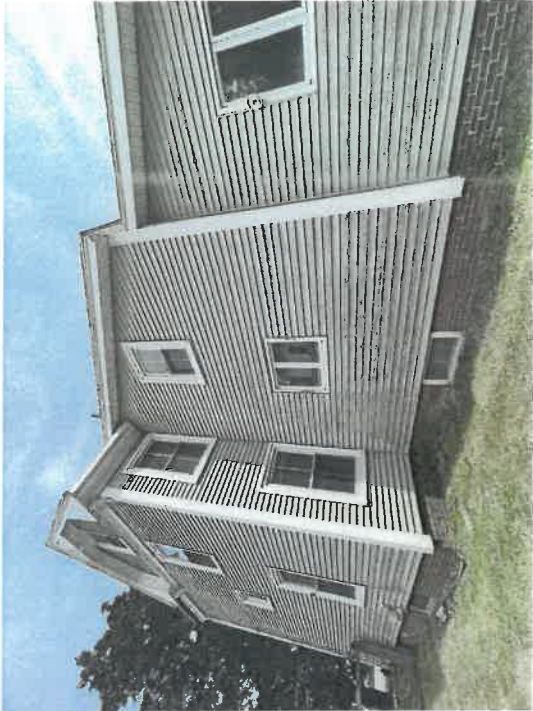
REVISION & RETEIVE NOTES	
No.	Date
A	10/29/25
PM PRESENTATION	

Project's	Project Manager	Date
2025-23	A.J.A.	04-09-25
Scale: AS NOTED		

EXTERIOR IMAGES

A7

FOR MORE INFORMATION VISIT: WWW.SBARCHITECTS.COM



3 VIEW FROM SOUTH WEST CORNER
Scale: NOT TO SCALE



1 LEFT ELEVATION (SOUTH EAST SIDE)
Scale: NOT TO SCALE



4 REAR ELEVATION
Scale: NOT TO SCALE



2 VIEW FROM EAST CORNER
Scale: NOT TO SCALE





SCOTT BROWN
ARCHITECTS

40 MARKET STREET
NEWPORT, MA 01890
T 904.465.5205
WWW.SCOTTBROWNARCHITECTS.COM

PROPOSED NEW RESIDENCE
AT
14 B MAPLE STREET AMESBURY, MA 01913

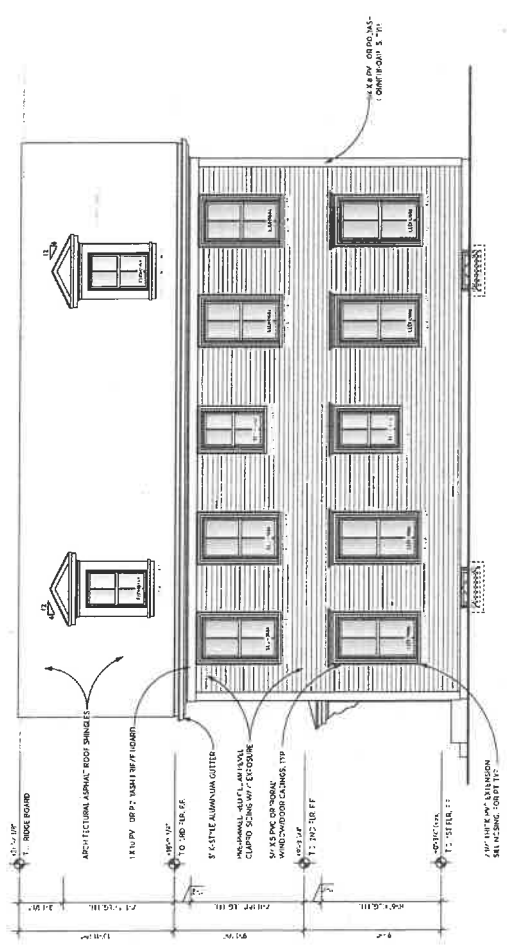
No.	Date	REVISION & REISSUE NOTE
A	2-23-26	PER REVISION

Project # 2025-23
Project Manager X.X.
Date 2-23-26
Sheet AS NOTED

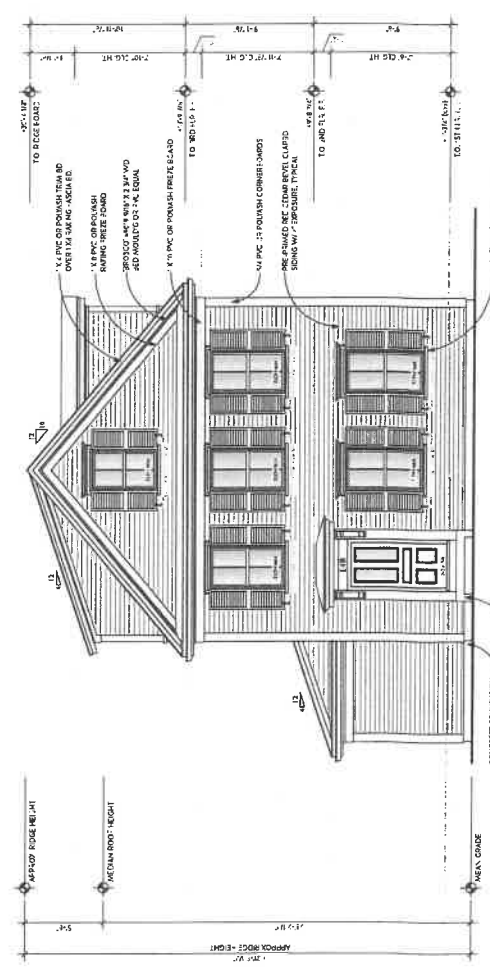
FRONT/RIGHT SIDE
ELEVATION

A8

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2 RIGHT SIDE ELEVATION
Scale 1/8" = 1'-0"



1 FRONT ELEVATION
Scale 1/8" = 1'-0"



PROPOSED NEW RESIDENCE
AT
14 B MAPLE STREET AMESBURY, MA 01913

REVISION & REISSUE NOTE	
No.	Date Notes
1	2003.07.24
2	2003.07.24
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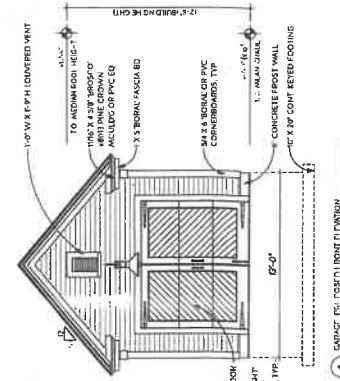
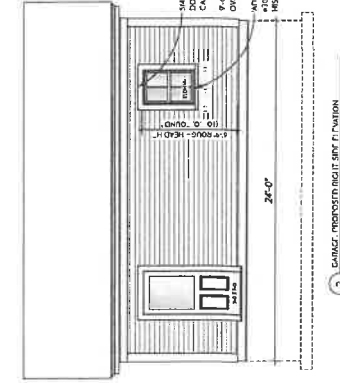
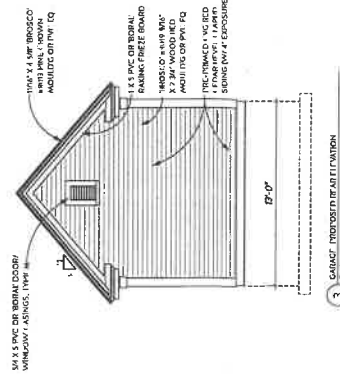
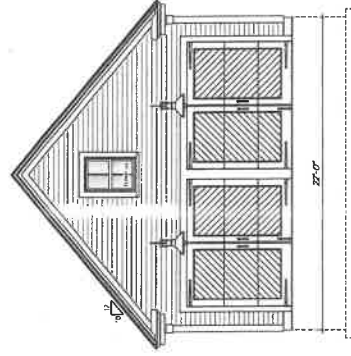
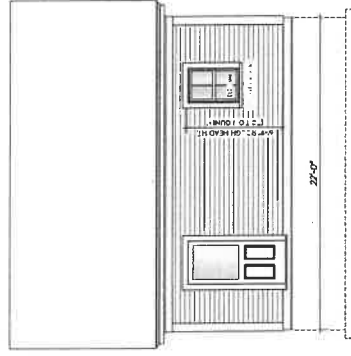
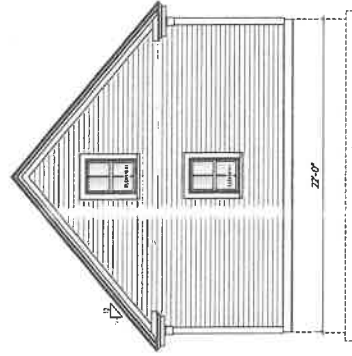
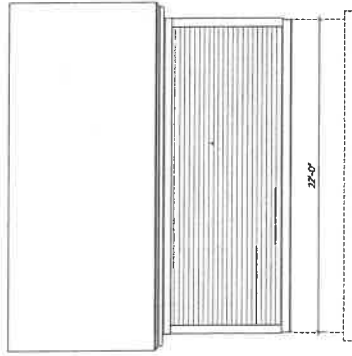
Project #	Project Manager	Date
2025-23	X.X.	2-23-26

Scale: AS NOTED

GARAGE PLANS/ELEVATIONS

A10

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Massachusetts Cultural Resource Information System

Scanned Record Cover Page

Inventory No: AME.471
Historic Name: Todd, Frank P. House
Common Name:
Address: 14 Maple St
City/Town: Amesbury
Village/Neighborhood:
Local No:
Year Constructed: C 1880
Architectural Style(s): Queen Anne; Stick Style;
Use(s): Single Family Dwelling House;
Significance: Architecture;
Area(s): AME.J
Designation(s):
Building Materials: Roof: Asphalt Shingle;
Wall: Wood; Wood Clapboard;
Demolished No



The Massachusetts Historical Commission (MHC) has converted this paper record to digital format as part of ongoing projects to scan records of the Inventory of Historic Assets of the Commonwealth and National Register of Historic Places nominations for Massachusetts. Efforts are ongoing and not all inventory or National Register records related to this resource may be available in digital format at this time.

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Commonwealth of Massachusetts
Massachusetts Historical Commission
220 Morrissey Boulevard, Boston, Massachusetts 02125
www.sec.state.ma.us/mhc

This file was accessed on: Wednesday, July 23, 2025 at 2:58 PM

FORM B - BUILDING

AME 471

AREA

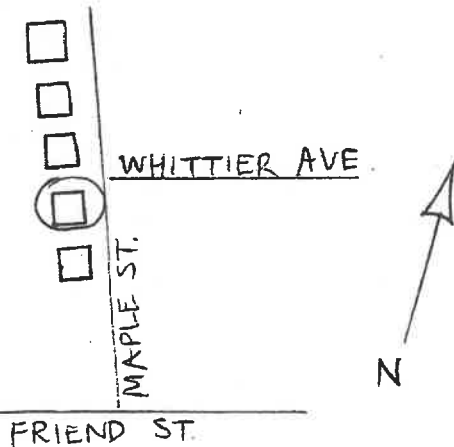
FORM NO.

471

MASSACHUSETTS HISTORICAL COMMISSION
80 BOYLSTON STREET
BOSTON, MA 02116



Sketch Map: Draw map showing property's location in relation to nearest cross streets and/or geographical features. Indicate all buildings between inventoried property and nearest intersection(s).
Indicate north



UTM REFERENCE _____

USGS QUADRANGLE _____

SCALE _____

Amesbury

Address 14 Maple Street

Historic Name Frank P. Todd House

Present Residence

Original Residence

DESCRIPTION

ca. 1880

Source Visual + 1890 Map

Style Queen Anne

Architect _____

Exterior Wall Fabric clapboard

Outbuildings _____

Major Alterations (with dates) 2 rear ells, 1980's 2 picture windows, original staircase to tower removed

Condition Good

Moved no Date _____

Acreage Less than one acre

Setting Located in late 19th century

streetscape of residential dwellings.

Recorded by Kay Flynn/William Young

Organization Preservation Plus Inc.

Date March 1989

ARCHITECTURAL SIGNIFICANCE Describe important architectural features and evaluate in terms of other buildings within the community.

A Queen Anne style house of comparatively modest size, 14 Maple Street, together with its twin next door at #16, displays a wealth of inventive ornamentation characteristic of the ca. 1890 period. Roughly T.-shape in plan its cross gable facade is flanked by side entry porches whose shed rooves match that of the square central bay. Incised fan detailing in the shed roof angles echo verge board cross members, deep cornice, and elaborately oversized eave returns with diminutive brackets on gable ends. Also, in gable pediment are incised beaded match boards in paired diamond configurations flanking a central window. This detail complements the multipaned Queen Anne upper sashes of the windows of the front bay and side staircase hall. An additional side detail is the double depth clapboard casing above ground floor and below second floor windows.

HISTORICAL SIGNIFICANCE Explain the role owners played in local or state history and how the building relates to the development of the community.

14 Maple Street is one of a pair of houses in the Queen Anne style built between 1884, at which date they are not included in the Essex County Atlas, and 1890, when they are depicted in the Bird's Eye View. The 1891 Amesbury Directory lists Frank P. Todd, car builder, as its owner; as the 1889 directory gives Todd's address as 4 Whitehall Road, it is possible that the house was actually built in 1890. Laid out ca. 1874, Maple Street was first built up with late Italianate style houses on large lots, possibly indicating that their owners were at least secondarily farmers. #14 and its twin at # 16, on more conventionally sized residential lots, likely represented a new type of land use on Maple Street.

BIBLIOGRAPHY and/or REFERENCES

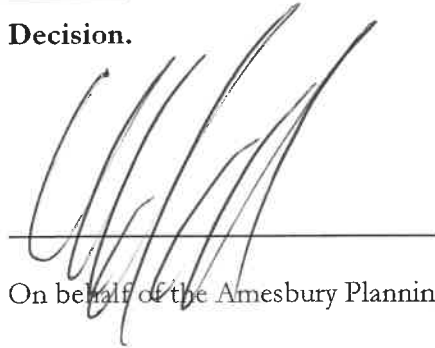
1890 Noted on Bird's Eye View

TO:

Mark Wojcicki
Wojcicki Holdings LLC
110 Main Street
Amesbury MA 01913

PLANNING BOARD VOTE:

On 4/13/2026, the Amesbury Planning Board voted 6-0 in favor of the approval of the Site Plan & Special Permit, as amended, for the proposed Historic Preservation of the existing single family residential structure and to build a new single family residential structure on a new lot in Amesbury MA subject to the findings, waivers and conditions noted in this Decision.



On behalf of the Amesbury Planning Board

Filed with the City Clerk on May 4, 2026



City Clerk

A Building Permit is required for any construction or remodeling. It is your responsibility to file this Decision with the Registry of Deeds and to record the plans after endorsement; forms may be obtained from the City Clerk's Office.

Any appeal of the Special Permit shall be made pursuant to M.G.L. Chapter 40A, Section 17. Any such appeal(s) shall be filed within twenty (20) days after the date of filing of such notice in the City Clerk's Office.