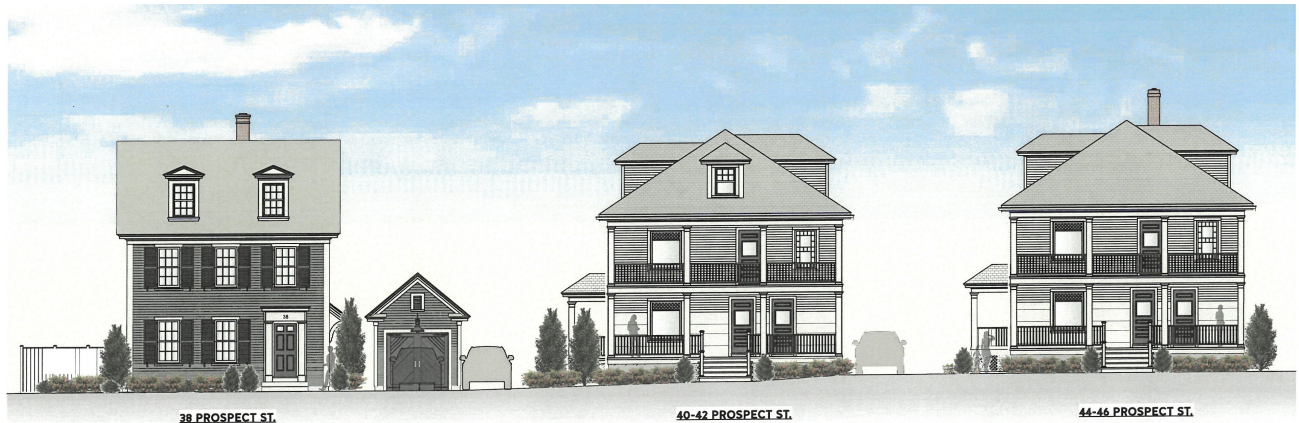


Redevelopment Proposal for 38 – 40 Prospect Street Amesbury MA



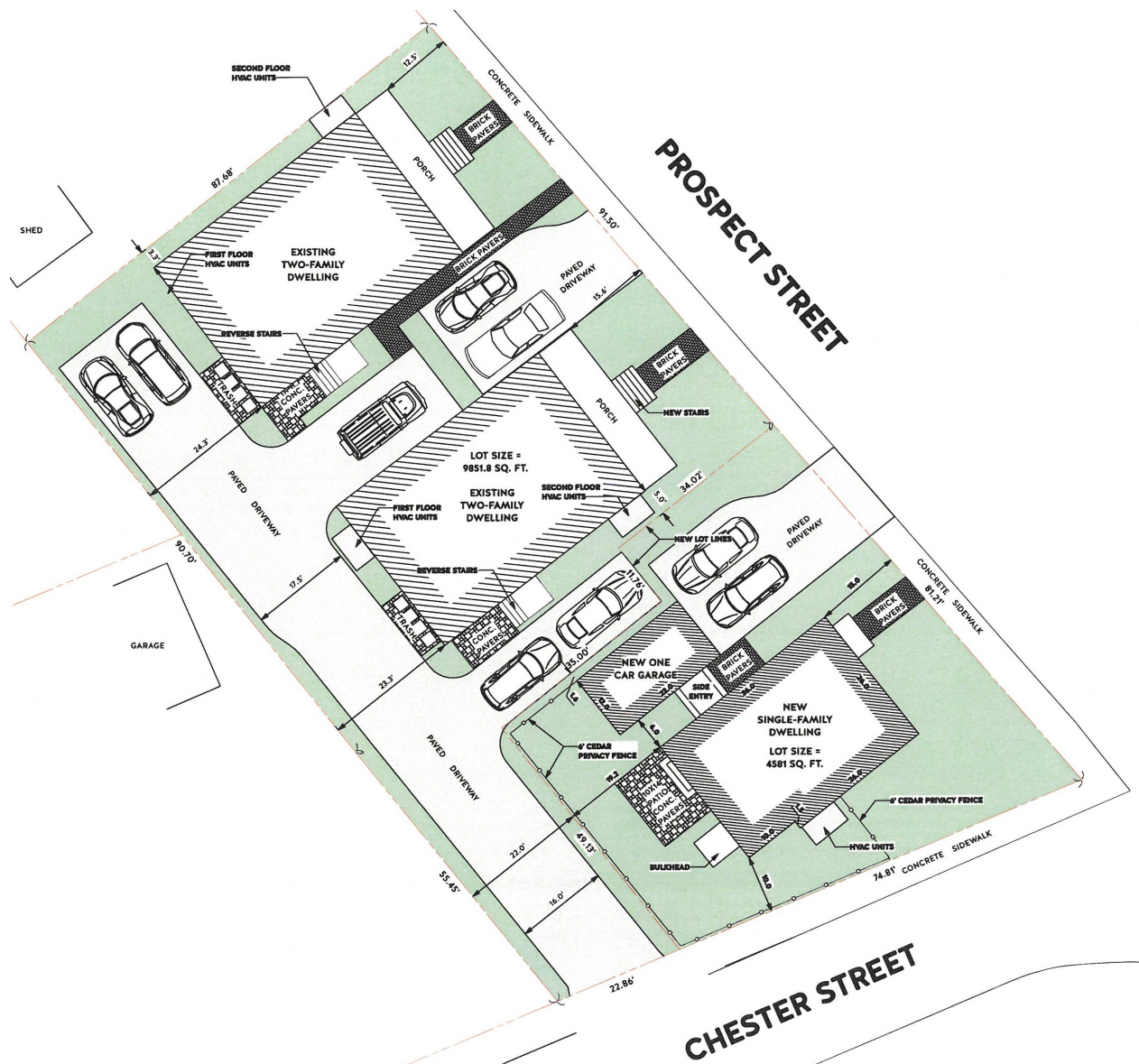
Historic Preservation Special Permit and Site Plan

**40 Prospect Street Development LLC
Geno Ranaldi
21 Low Street, Newburyport MA**

Project Narrative:

The project site consists of two parcels, Map 40, Lots 82 and 83. Currently, there are two duplex residential structures on Map 40, Lots 82.

The Applicant is seeking a Historic Preservation Special Permit to make renovations to the existing historic buildings located at 38 – 40 Prospect Street in Amesbury MA 01913 and to subdivide 40 Prospect Street (Map 40, Lot 83) to create a new lot. A single-family residential structure is being proposed on the new lot.



Site Improvements:

The existing site does not have defined parking spaces for the units in the duplex structures. This proposal includes new parking areas, new brick walkways from Prospect Street to each existing and new structures and improved driveway from Chester Street. New fencing will be installed along the rear property line and along the rear yard of the new lot. New landscaping will be installed along building foundations, walkways and as buffers along abutting properties.



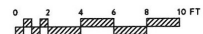
The existing buildings need significant interior and exterior repairs. The exterior building renovations will be made according to historic and traditional architecture details. These renovations and site improvements will be made as per requirements of Section XI.J2 and Section XI.C.8 of the Amesbury Zoning Ordinance. Detailed architectural drawings have been prepared for the proposed exterior renovations of each existing structure. The detailed drawings included in the application show the various finishing materials and details for various exterior elements.



2 NORTH (FRONT) ELEVATION FOR 40-42 PROSPECT
Scale: 1/4" = 1'-0"



1 EAST (LEFT SIDE) ELEVATION FOR 40-42 PROSPECT
Scale: 1/4" = 1'-0"



New house lot:

The new single-family structure shall be designed so that it is consistent with the architectural character of the neighborhood.

