

LOFT'S AT CLARKS POND

STORMWATER MANAGEMENT & DRAINAGE IMPROVEMENT DESIGN

15 CEDAR ST,
AMESBURY MA 01913

JULY 2025

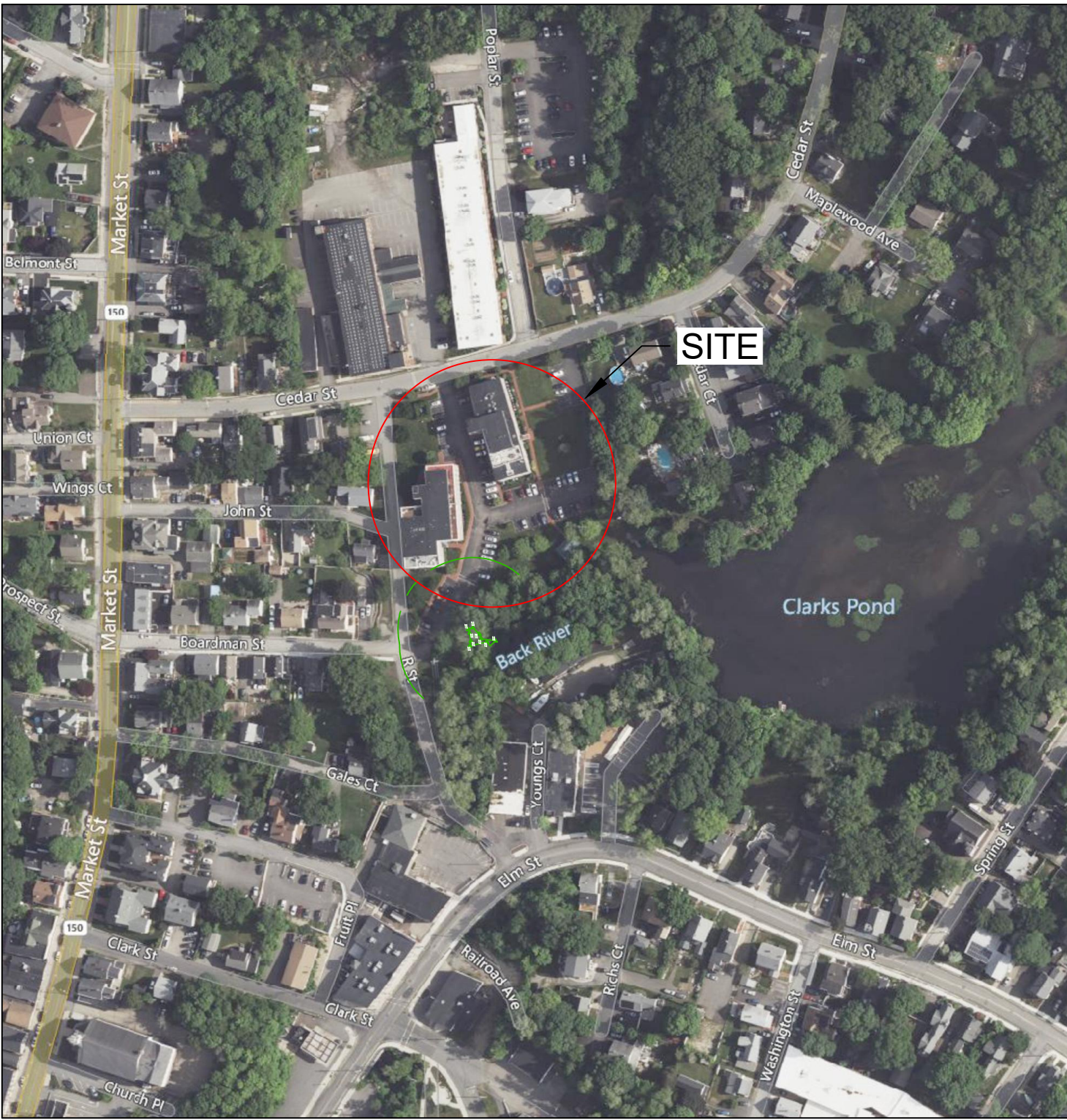
PREPARED FOR:

LOFT'S AT CLARK'S POND
HOMEOWNER ASSOCIATION
15 CEDAR STREET
AMESBURY, MA 01913

DESIGNED BY:



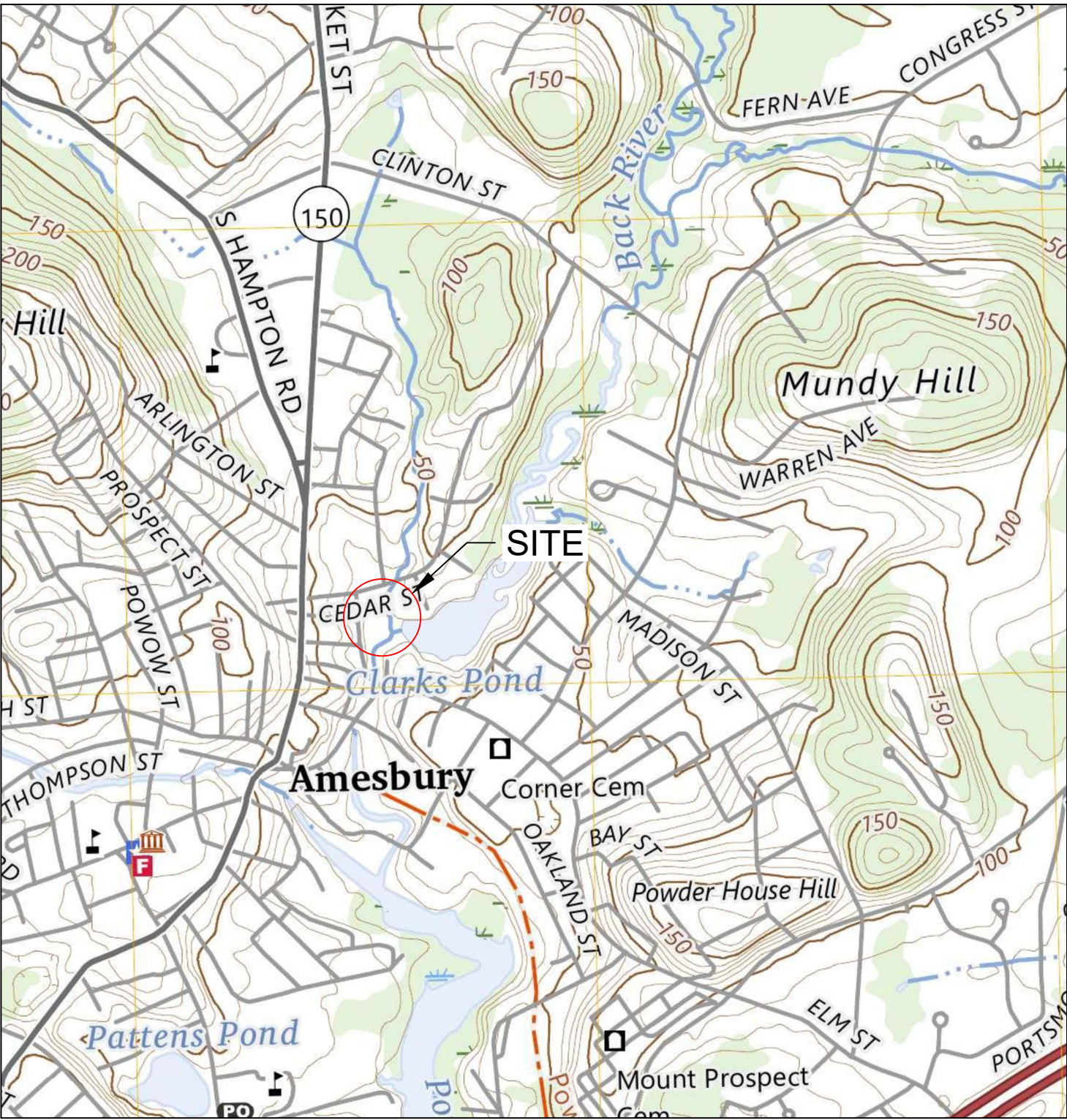
GZA GEOENVIRONMENTAL, INC.
188 VALLEY STREET, SUITE 300
PROVIDENCE, RI 02909



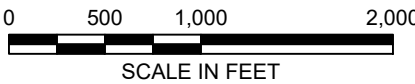
PROJECT VICINITY MAP



SOURCE: BASE MAP FROM MASSACHUSETTS MASSMAPPER GIS.



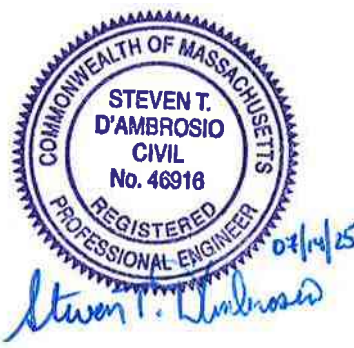
PROJECT LOCUS MAP



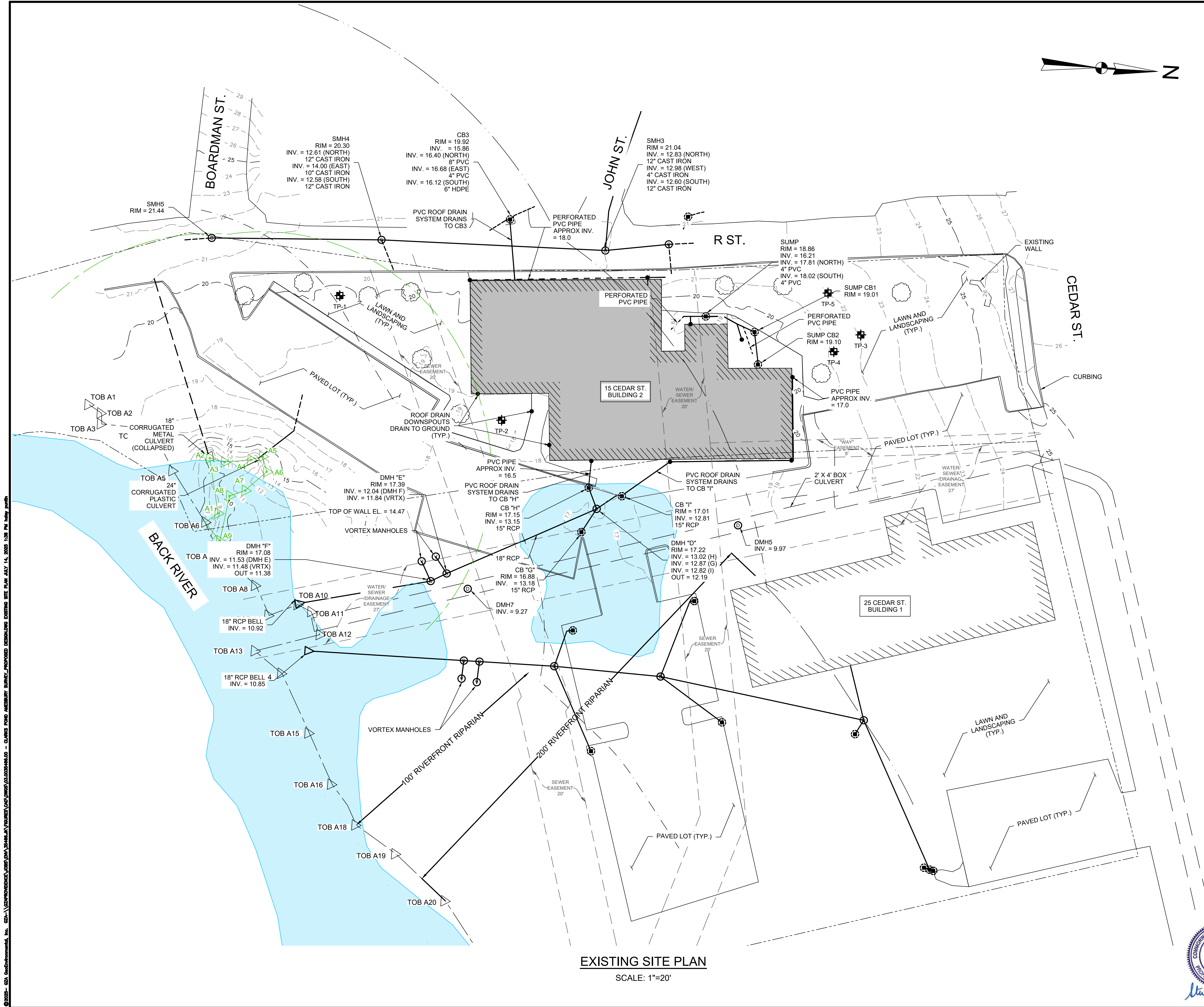
SOURCE: BASE MAP FROM USGS 7.5-MINUTE SERIES
NEWBURYPORT WEST QUADRANGLE 2024.
CONTOUR ELEVATIONS REFERENCE NAVD88 SHOWN IN 10
FOOT INTERVALS

SHEET LIST TABLE	
SHEET #	SHEET TITLE
-	COVER AND INDEX OF DRAWINGS
1	EXISTING CONDITIONS PLAN
2	EXISTING WATERSHED PLAN
3	PROPOSED CONDITIONS PLAN
4	PROPOSED WATERSHED PLAN
5	DETAILS

NO.	ISSUE/DESCRIPTION	BY	DATE
UNLESS SPECIFICALLY STATED BY WRITTEN AGREEMENT, THIS DRAWING IS THE SOLE PROPERTY OF GZA GEOENVIRONMENTAL, INC. (GZA). THE INFORMATION SHOWN ON THE DRAWING IS SOLELY FOR USE BY GZA'S CLIENT OR THE CLIENT'S DESIGNATED REPRESENTATIVE FOR THE SPECIFIC PROJECT AND LOCATION IDENTIFIED ON THE DRAWING. THE DRAWING SHALL NOT BE TRANSFERRED, REUSED, COPIED, OR ALTERED IN ANY MANNER FOR USE AT ANY OTHER LOCATION OR FOR ANY OTHER PURPOSE WITHOUT THE PRIOR WRITTEN CONSENT OF GZA. ANY TRANSFER, REUSE, OR MODIFICATION TO THE DRAWING BY THE CLIENT OR OTHERS, WITHOUT THE PRIOR WRITTEN EXPRESS CONSENT OF GZA, WILL BE AT THE USER'S SOLE RISK AND WITHOUT ANY RISK OR LIABILITY TO GZA.			
LOFT'S AT CLARKS POND STORMWATER MANAGEMENT & DRAINAGE IMPROVEMENT DESIGN 15 CEDAR ST, AMESBURY MA 01913			
COVER AND INDEX OF DRAWINGS			
PREPARED BY: GZA GeoEnvironmental, Inc. Engineers and Scientists www.gza.com		PREPARED FOR: LOFT'S AT CLARK'S POND HOMEOWNER ASSOCIATION 15 CEDAR STREET AMESBURY, MA 01913	
PROJ MGR: JK	REVIEWED BY: JK	CHECKED BY: ABB	DRAWING
DESIGNED BY: JJZ	DRAWN BY: EJW	SCALE: AS SHOWN	
DATE: July 2025	PROJECT NO. 03.0035466.00	REVISION NO.	
			SHEET NO.



© 2025 - GZA GeoEnvironmental, Inc. GZA-1224PROPOSEDCLARKSPOND\PROJECTS\03.0035466.00 - CLARKS POND ACCESSORY SURVEY\PROPOSED EXISTING SITE PLAN JULY 14, 2025 1:38 PM bobby.pauls



EXISTING SITE PLAN
SCALE: 1"=20'

LEGEND

- EXISTING CONTOUR MAJOR
- EXISTING CONTOUR MINOR
- APPROXIMATE PROPERTY LINE
- ROOF DRAIN SYSTEM PIPING
- ROOF DRAIN SYSTEM PERFORATED PIPING
- TOP OF BANK WITH FLAGS
- 100-FOOT RIVERFRONT AREA
- 200-FOOT RIVERFRONT AREA
- FEMA 100-YEAR FLOOD ZONE (ZONE A)
(BORDERING LAND SUBJECT TO FLOODING)
- WETLAND FLAGS
- 100-FOOT BUFFER ZONE
- EASEMENTS
- EXISTING DRAIN MANHOLE
- EXISTING DRAIN MANHOLE
- EXISTING DRAIN MANHOLE
- EXISTING CATCH BASIN
- ROOF DRAIN DOWNSPOUT
- EXISTING TREE
- TEST PITS

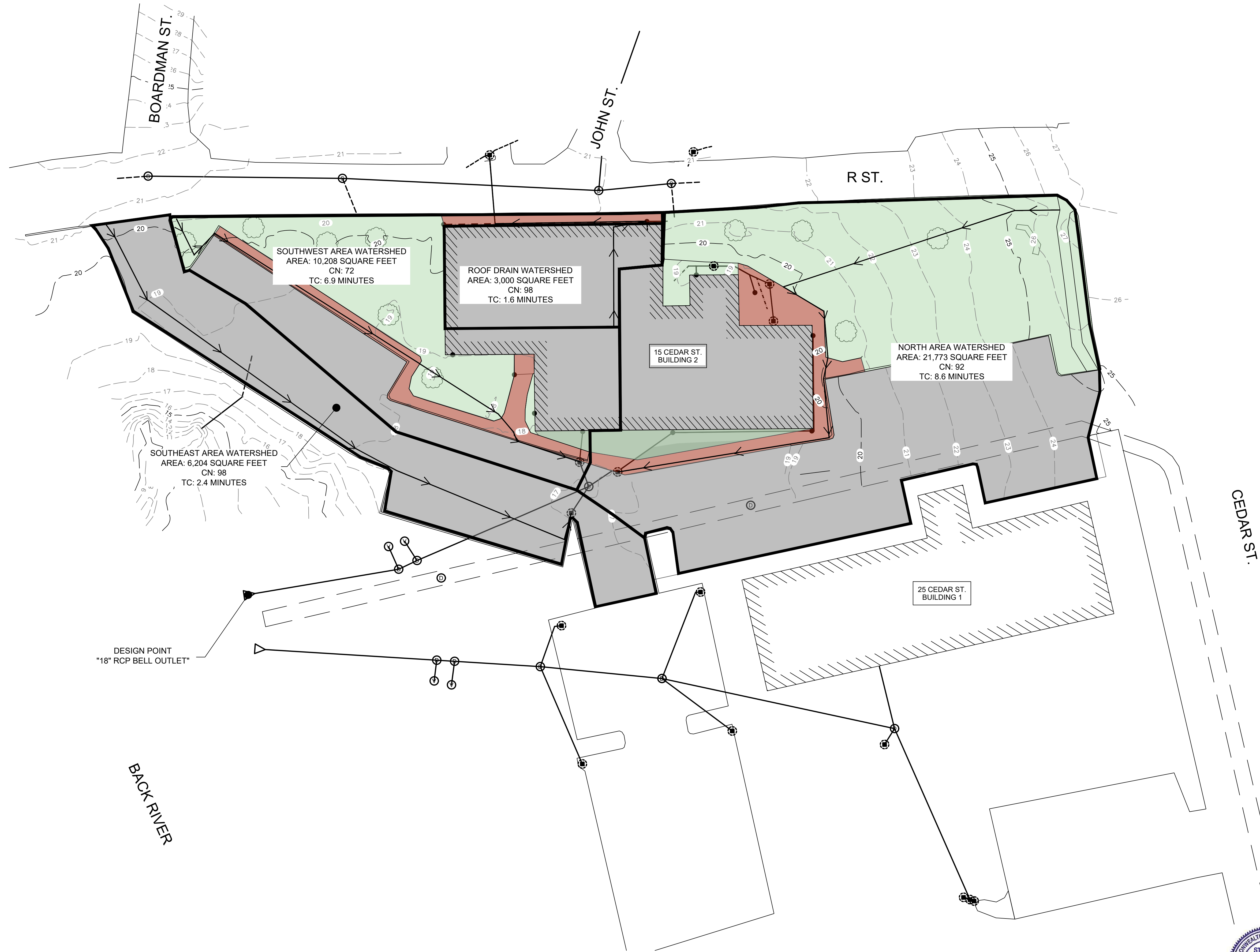
GENERAL NOTES

- HORIZONTAL DATUM: MASSACHUSETTS STATE PLANE NAD83, US FEET.
- ELEVATIONS ARE IN FEET AND REFERENCE THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAV88).
- LIMITED TOPOGRAPHIC SURVEY PERFORMED BY GZA GEOENVIRONMENTAL, INC., ON NOVEMBER 13, 2024 AND REPRESENTS CONDITIONS AT THE TIME OF THE SURVEY.
- APPROXIMATE PROPERTY LINES AND AERIAL IMAGERY DOWNLOADED FROM MASSGIS'S MASSMAPPER ONLINE INTERACTIVE MAP.
- STORMWATER SYSTEM INFORMATION PRODUCED FROM DIGITAL DOCUMENT PRODUCED BY MILLENNIUM ENGINEERING, INC. TITLED 'AS-BUILT PLAN' DATED AUGUST 2008.
- DRAWINGS ARE NOT CONSIDERED A LAND SURVEY.
- TEST PITS WERE PERFORMED BY M.T. MAYO CORPORATION ON JULY 1, 2025 AND OBSERVED BY GZA.
- TOP OF BANK DELINEATION WAS PERFORMED BY GZA ON JULY 1, 2025.

0 10 20 40
SCALE IN FEET

NO.			
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PREPARED BY: GZA GeoEnvironmental, Inc. Engineers and Scientists www.gza.com		PREPARED FOR: LOFT'S AT CLARKS POND HOMEOWNER ASSOCIATION 15 CEDAR STREET AMESBURY, MA 01913	
PROJ MGR: JK	REVIEWED BY: JK	CHECKED BY: ABB	DRAWING
DESIGNED BY: JZ	DRAWN BY: EJW	SCALE: AS SHOWN	1
DATE: July 2025	PROJECT NO. 03.0035466.00	REVISION NO.	SHEET NO.

© 2025 - GZA GeoEnvironmental, Inc. GZA - 1420PROVIDENCE AVENUE, SUITE 300, AMESBURY, MA 01913 - CLARKS POND ACCESSORY SURVEY PROPOSED DRAINAGE DISTRICT INTERESTED JULY 14, 2025 1:38 PM haley.pattin



LEGEND

WATERSHED BOUNDARY

TIME OF CONCENTRATION (TC)

IMPERVIOUS LAND COVER
(PAVED ROAD, ROOFS)

PERVIOUS LAND COVER
(GRASS COVER, BRICK PAVERS)

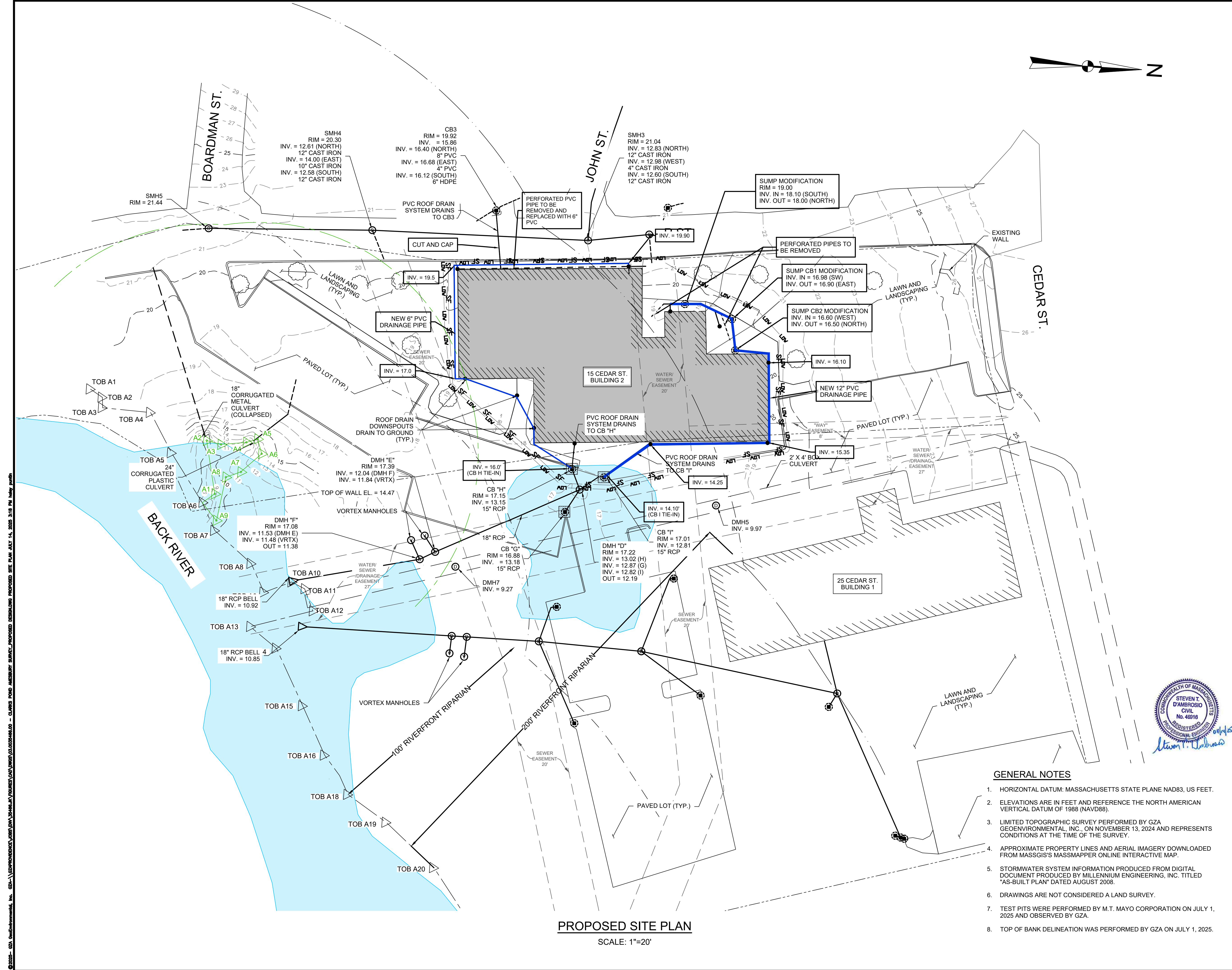
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LOFT'S AT CLARKS POND STORMWATER MANAGEMENT & DRAINAGE IMPROVEMENT DESIGN 15 CEDAR ST, AMESBURY MA 01913			
EXISTING WATERSHED PLAN			
PREPARED BY: GZA GeoEnvironmental, Inc. Engineers and Scientists www.gza.com		PREPARED FOR: LOFT'S AT CLARKS POND HOMEOWNER ASSOCIATION 15 CEDAR STREET AMESBURY, MA 01913	
PROJ MGR: JK	REVIEWED BY: JK	CHECKED BY: ABB	DRAWING
DESIGNED BY: JJZ	DRAWN BY: EJW	SCALE: AS SHOWN	2
DATE: July 2025	PROJECT NO: 03.0035406.00	REVISION NO:	SHEET NO:



© 2025 - GZA GeoEnvironmental, Inc. GZA - 1220PROPOSED SITE PLAN JULY 14, 2025 3:18 PM NAD83
CLARKS POND MEASUREMENT SURVEY PROPOSED EXISTING ELEVATIONS - CLARKS POND MEASUREMENT SURVEY PROPOSED EXISTING ELEVATIONS



LEGEND

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- ROOF DRAIN SYSTEM PERFORATED PIPING
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- EASEMENTS
- EXISTING DRAIN MANHOLE
- EXISTING DRAIN MANHOLE
- EXISTING DRAIN MANHOLE
- EXISTING CATCH BASIN
- ROOF DRAIN DOWNSPOUT
- EXISTING TREE
- TEST PITS
- TP-1
- PROPOSED STORMWATER FEATURES
- PROPOSED FILTREXX COMPOST SOXX (OR EQUIVALENT)
- LIMIT OF WORK
- PROPOSED CATCH BASIN INLET PROTECTION

SITE RESTORATION NOTES:

- SITE WILL BE RESORTED TO EXISTING GRADE POST CONSTRUCTION WORK.
- AREAS OF DISTURBANCE WILL BE RESTORED TO THE PRE-CONSTRUCTION CONDITIONS. PROPOSED SEED MIX SHALL BE APPROVED BY THE ENGINEER.
- SEEDING SHALL OCCUR BETWEEN APRIL 15TH AND SEPTEMBER 15TH.
- IN ADDITION TO THOSE AREAS SPECIFICALLY DESIGNATED ON THE PLANS, ALL DISTURBED AREAS INCLUDING THE CONTRACTOR STOCKPILE AND STAGING AREAS MUST BE RESTORED TO MATCH THE PRE-CONSTRUCTION CONDITION.

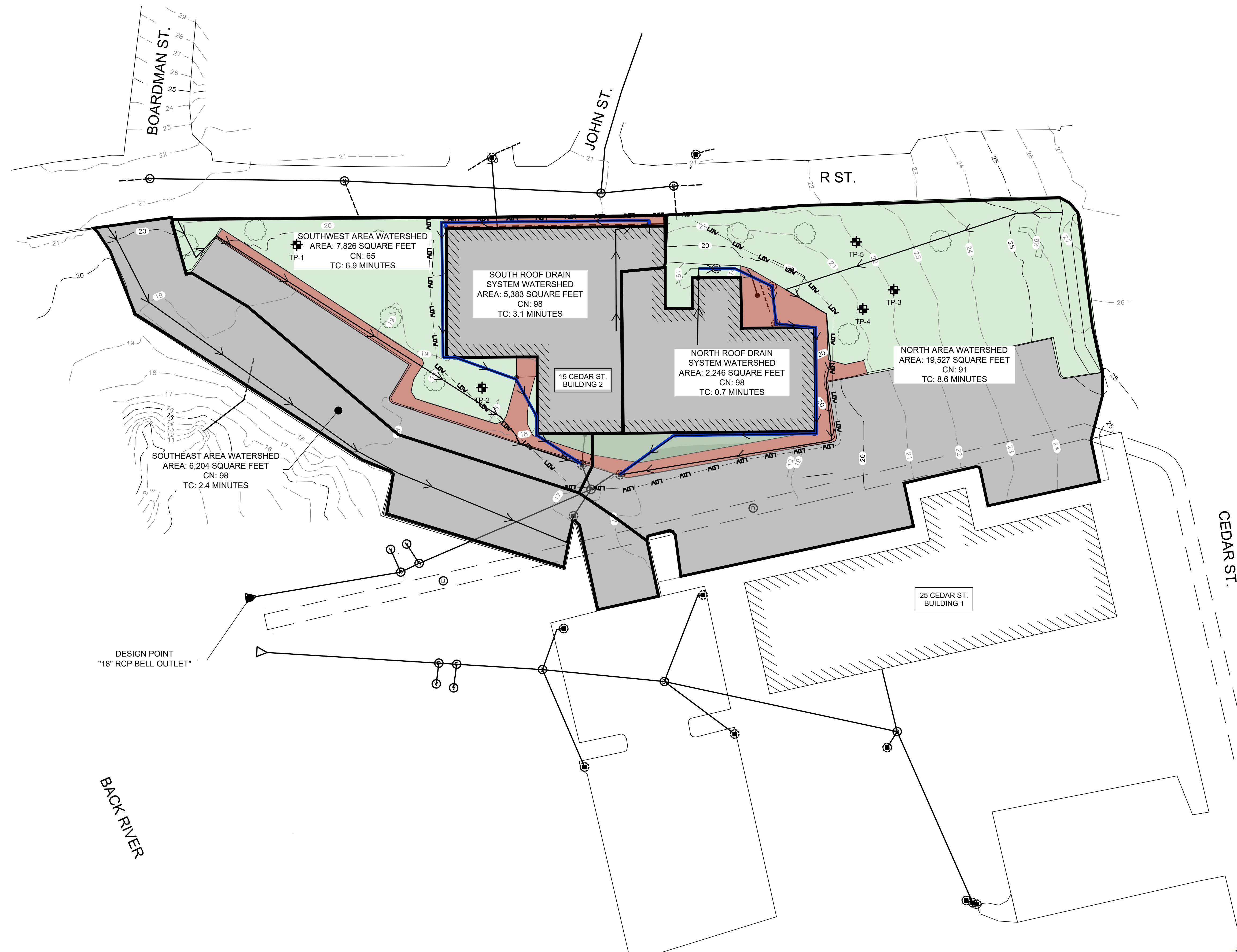
SOIL EROSION AND SEDIMENT CONTROL NOTES:

- THE CONTRACTOR IS RESPONSIBLE FOR ALL SOIL EROSION AND SEDIMENT CONTROLS (SESC) AND IN ACCORDANCE WITH THE PROJECT DOCUMENTS.
- NOTE THE SESC SHOWN ON THESE PLANS ARE THE MINIMUM QUANTITY/TYPE OF EROSION CONTROL DEVICES AND MATERIAL DEEMED REQUIRED BY GZA TO MEET THE OBJECTIVE OF THE MA SESC HANDBOOK. THE SESC IS A WORKING DOCUMENT AND WILL CONTINUE TO EVOLVE THROUGHOUT CONSTRUCTION AS NECESSARY.
- ALL EROSION, RUNOFF AND SEDIMENT CONTROL MEASURE TO BE INSTALLED PER THE MASSACHUSETTS EROSION AND SEDIMENT CONTROL GUIDELINES FOR URBAN AND SUBURBAN AREAS, LATEST EDITION AND WITH THE REGULATIONS/ORDINANCES OF LOCAL AUTHORITIES HAVING JURISDICTION.
- ALL SESC ARE TO BE INSTALLED PRIOR TO THE START OF THE WORK AND ARE TO BE MAINTAINED THROUGHOUT CONTROL AND UNTIL THE SITE IS FULLY STABILIZED.

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LOFT'S AT CLARKS POND STORMWATER MANAGEMENT & DRAINAGE IMPROVEMENT DESIGN 15 CEDAR ST, AMESBURY MA 01913				
PROPOSED SITE PLAN				
PREPARED BY: GZA GeoEnvironmental, Inc. Engineers and Scientists www.gza.com		PREPARED FOR: LOFT'S AT CLARKS POND HOMEOWNER ASSOCIATION 15 CEDAR STREET AMESBURY, MA 01913		
PROJ MGR: JK	REVIEWED BY: JK	CHECKED BY: TG	DRAWING	
DESIGNED BY: JEL	DRAWN BY: JEL	SCALE: AS SHOWN	3	
DATE: July 2025	PROJECT NO. 03.0035466.00	REVISION NO.	SHEET NO.	

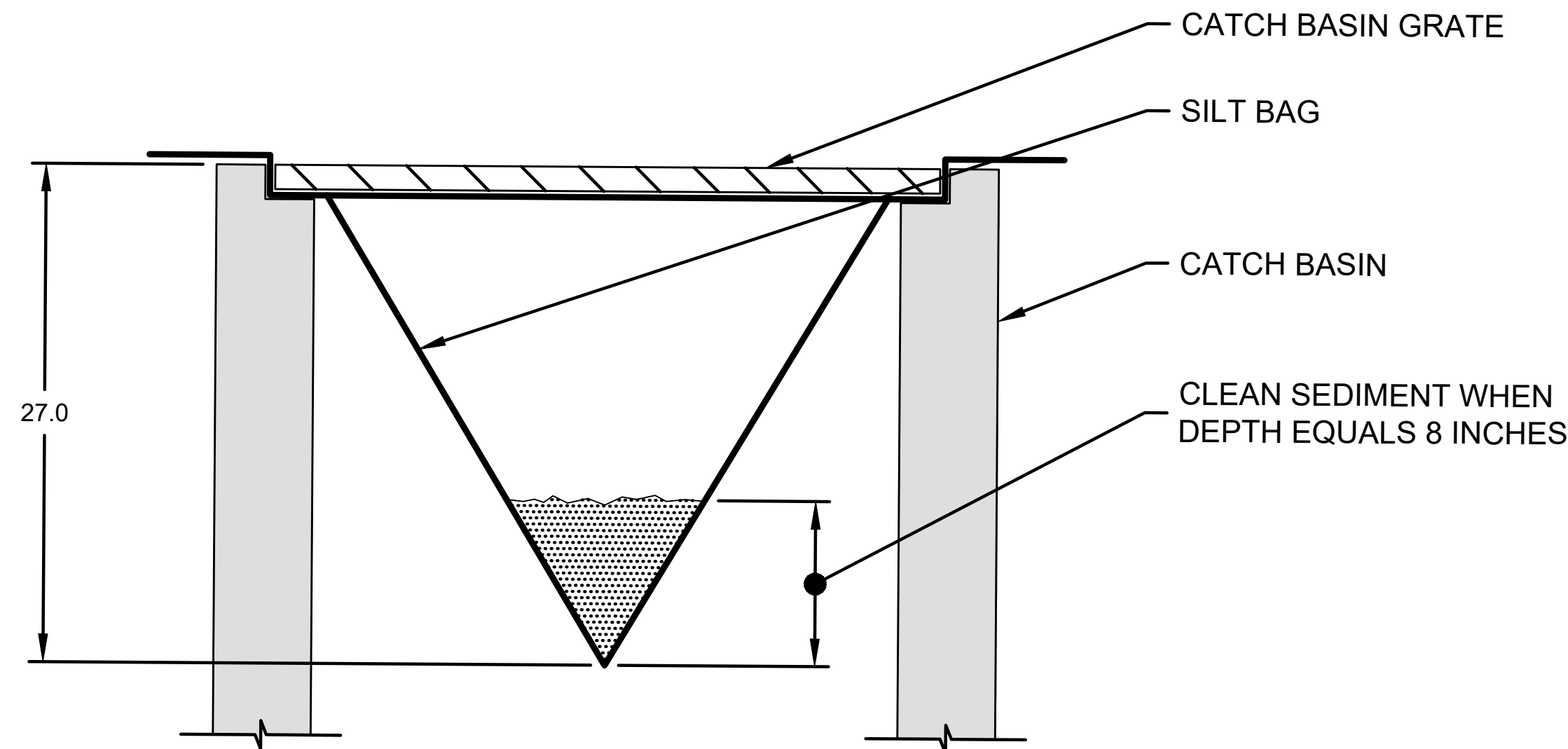


LEGEND

GENERAL NOTES

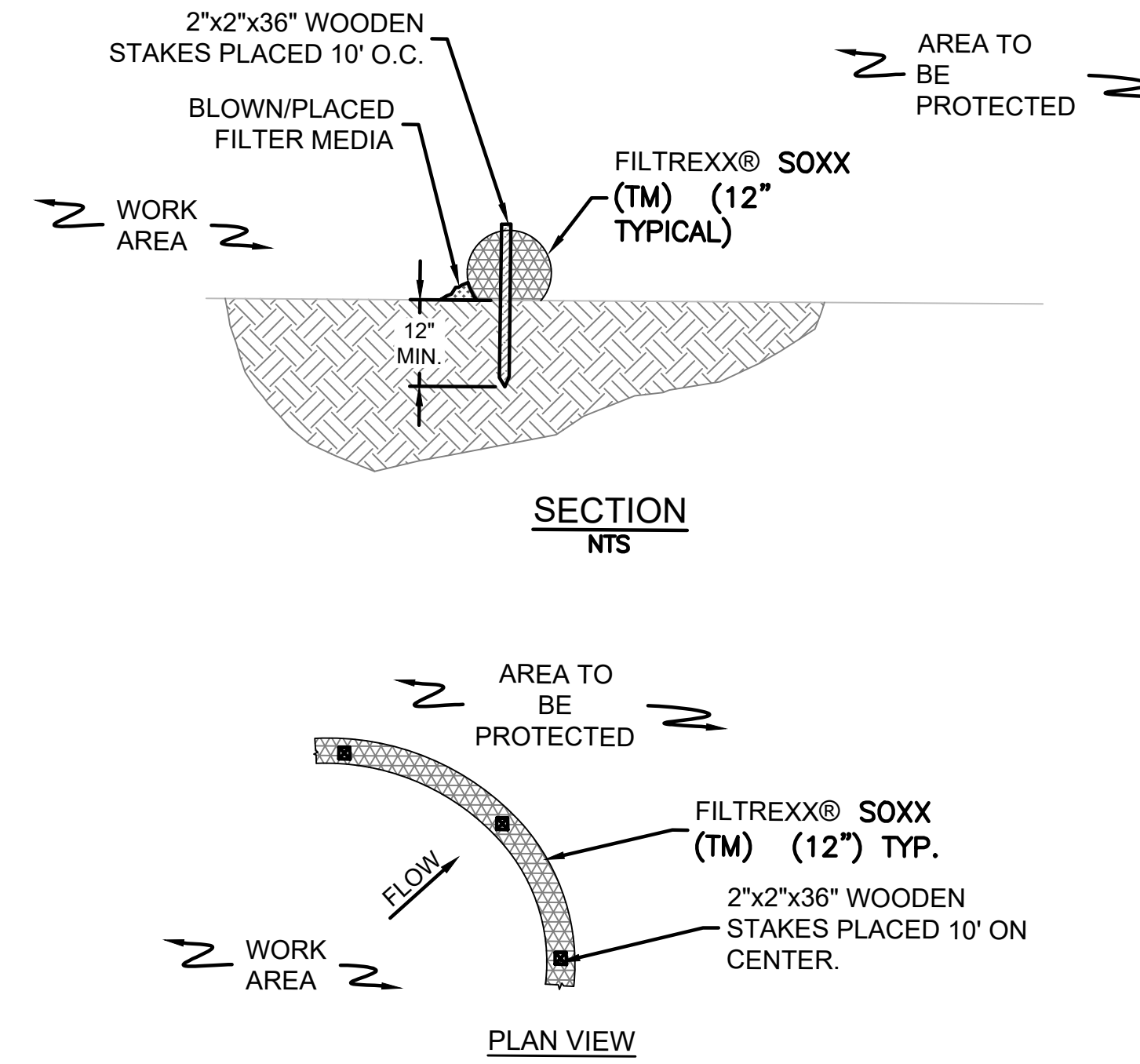


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PROJ MGR:	JK	REVIEWED BY:	JK	CHECKED BY:	ABB
DRAWN BY:	JJZ	DRAWN BY:	ELW	SCALE:	AS SHOWN
DATE:	PROJECT NO. REVISION NO.				
	July 2025 03.0035466.00				
					DRAWING 4 SHEET NO.



CATCH BASIN INLET PROTECTION DETAIL

NOT TO SCALE

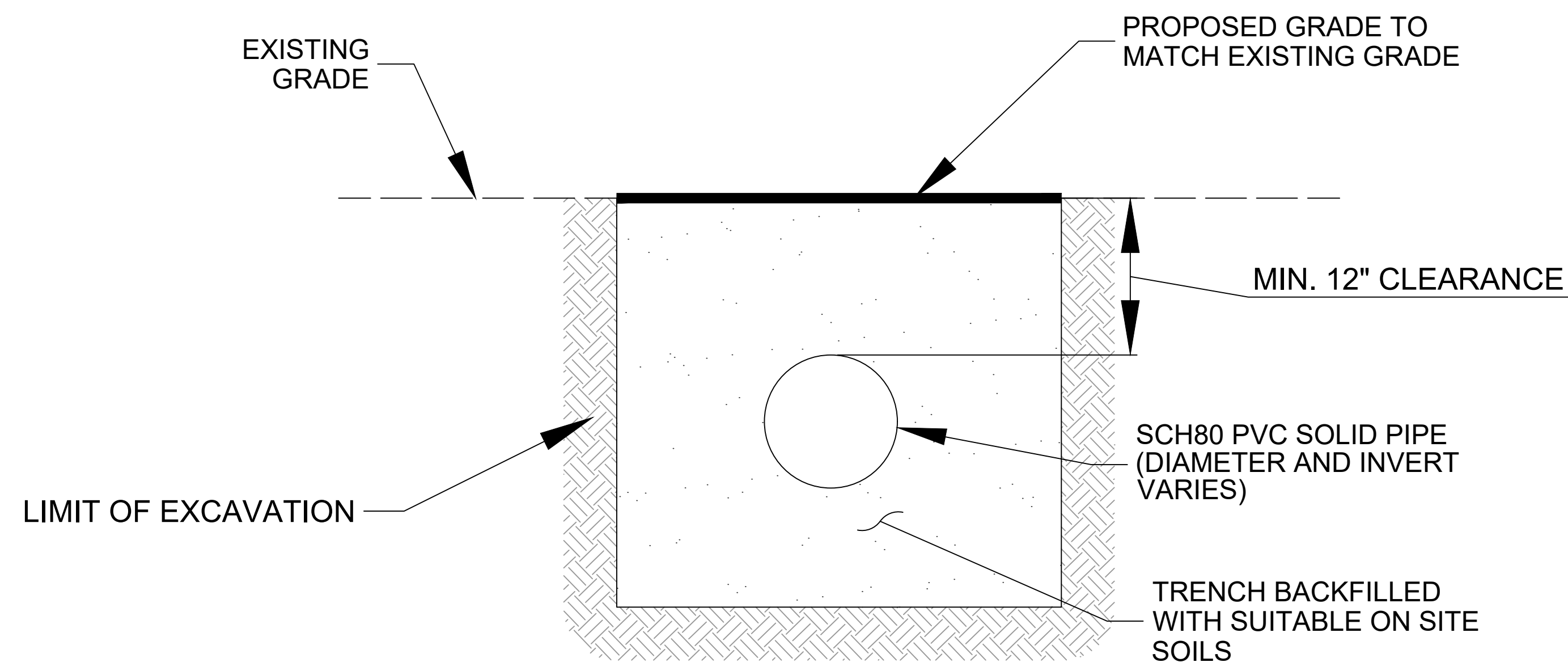


FILTREXX COMPOST SOXX

NOT TO SCALE

NOTES:

1. PRODUCT TO BE FILTREXX SILT SOXX OR APPROVED EQUAL BY NATIONAL GRID ENVIRONMENTAL.
2. ALL MATERIAL TO MEET FILTREXX® SPECIFICATIONS.
3. FILTER MEDIA FILL TO MEET APPLICATION REQUIREMENTS.
4. COMPOST MATERIAL TO BE DISPERSED ON SITE AS DETERMINED BY NATIONAL GRID ENVIRONMENTAL.



DRAINAGE PIPE TRENCH DETAIL

NOT TO SCALE

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DATE: July 2025	DRAWN BY: JEL	PROJECT NO. 03.0035466.00	SCALE: AS SHOWN REVISION NO.
			DRAWING 5 SHEET NO.

