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CITY OF AMESBURY

PLANNING BOARD DECISION

Property Ownership: **Newburyport Homes LLC**
11 Lunt Street
Byfield MA 01951

Applicant: **Newburyport Homes LLC**
11 Lunt Street
Byfield MA 01951

Application Type: **SITE PLAN REVIEW**
SPECIAL PERMIT – Multi-family

Project: **Mixed Use Redevelopment**

Location: **26 Friend Street, Amesbury MA 01913**

Date: **July 14th, 2025**

A. GENERAL

On or about 05/08/2025, the Planning Board of Amesbury (the “Board”) received applications for (1) Site Plan Review, and (2) Multi-family Special Permit for property located at 26 Friend Street in Amesbury MA. The applications were submitted along with a Site Plan (the “Plan”) drawn by SBS Engineering, 1 Collins Street Newburyport MA 01950, dated 05/07/2025. The applications and supporting documents were submitted by Ben Roberts of Mead, Talerman and Costa LLC on behalf of Chris Horan of Newburyport Homes, LLC (the “Applicant”).

The Board also received supplemental plans and documents pertaining to proposed activities, which were provided to the Board to supplement the discussion during the public review process.

The Board held the initial public hearing on 6/9/2025. The public hearing was closed, and a decision was rendered on 07/14/2025. This is the Final Action of the Board ("Decision") on the Special Permit and Site Plan applications.

B. FINDINGS

1. **Property Locus and Applicability under Amesbury Zoning Ordinance:** The subject parcels are located in the Central Business zoning district (CBD). The Site Plan includes one parcel as per Assessors Database and shown as Map 53, Lots 261. The site consists of a total of 2,447+/- square feet. The applicant requests a multi-family residential development on the property. The requested uses require a multi-family Special Permit under Section XI.J and Site Plan Approval under Section XI.C of the Amesbury Zoning Ordinance.
2. **Existing Conditions:** The site consists of an existing single-story commercial building and a parking space towards the rear of the building. (Exhibit #1).
3. **Project Description and Proposed Use:** The multi-family special permit seeks to redevelop the existing single-story building into a mixed-use building with one commercial unit on the first floor and three (3) residential dwelling units on the floors above. Site improvements will include parking areas located behind the existing structure, trash disposal areas, landscape and fencing and walkways as shown on the site plan.
4. **Site Layout and Building Location:** The location of the existing building remains unchanged. A small portion of the existing structure towards the rear will be demolished to create space for three parking spaces with vehicular access from Hanley Court public parking area. There is a walkway that provides pedestrian access from Friend Street to a shared commercial and residential entrance to the improved building and another walkway for a rear entrance to the residential units (Exhibit #1). Outdoor decks are located towards the rear yard to provide privacy. A landscape plan (Exhibit #2) has been provided that shows

landscape screening along abutting properties and shows a general planting scheme around the building.

5. **Architectural Design:** The applicant has proposed a building that is consistent in design with the traditional character and architectural design of the buildings in this neighborhood. Building elevations have been presented to the Board along with the proposed site plan. The Board finds the proposed architectural design satisfactory provided the final construction drawings are consistent with these drawings and include all the necessary details as recommended by Design Review Committee (See Exhibit #3).
6. **Site Access, Traffic and Vehicular Circulation:** The Board finds that the access from Hanley Court and parking areas towards the rear of the building are adequate for the proposed use. The proposed building, access and parking layout provides convenient, safe access and egress for residents at this development. The Board finds that the proposed use and site layout will not create any adverse traffic or circulation impact on nearby uses.
7. **Utilities and Municipal Infrastructure:** The site is serviced by adequate public water and sewer utilities. The stormwater run-off will be handled by the proposed stormwater and drainage improvements.
8. **Trash, Recycling and Service Areas:** The solid waste disposal bins will be stored in designated areas on site. The Board finds the proposed location adequate for the these uses at this site.
9. **Stormwater Design and Environmental Mitigation:** On-site stormwater management system has been proposed.
10. **Neighborhood Impact:** The existing commercial building is not compatible with the urban character of building in the downtown Amesbury. The layout and design of the proposed 3.5 story mixed use building is compatible with the character of the buildings in the zoning district. The Board finds that the proposed use will not impair the integrity or character of

the neighborhood, the zoning district or adjoining districts and will not be detrimental to the health or welfare;

11. **Public Impact:** The subject property is located in an area with existing municipal utility services. The approved site plan shows improvements to the existing infrastructure and the proposed improvements have been found to be adequate for the proposed uses. Recommendations from Technical Review Committee (TRC) have been incorporated into the site plan and the Board finds that the project will not create any undue burden on the utilities, municipal services or public infrastructure by the proposed changes to the existing property. The Board finds that the proposed use:
 - a) is desirable and compatible with the character of the neighborhood,
 - b) will not be an intensification of the existing uses, and
 - c) is not detrimental to the public health or welfare.
12. **Site Plan Compliance:** Based on the findings noted above and the information and details included in the application materials, the Board finds that the Project, as detailed in the project materials and as conditioned in this decision, constitutes a suitable development in compliance with the criteria and design performance standards set forth in the Zoning Ordinance – subject to the conditions and design performance conditions imposed in this decision to ensure the health, safety, and welfare of the community.
13. **Special Permit findings:** Based on the findings noted above and the information and details included in the application materials, the Board finds that the Project, as detailed in the project materials and as conditioned in this decision, constitutes a suitable development in compliance with the criteria and design performance standards set forth in the Zoning Ordinance – subject to the conditions and design performance conditions imposed in this decision to ensure the health, safety, and welfare of the community.

C. WAIVERS

Requirement	Requested Waiver	Decision of the Board
Section VIII – parking	To waiver the parking and loading area requirements and allow only one (1) onsite parking for each residential unit only and no onsite loading areas.	Granted provided the building footprint is not enlarged or expanded except as approved and all site improvements are completed as shown on the final site plan.

D. APPROVAL OF THE SITE PLAN AND SPECIAL PERMIT APPLICATIONS AND CONDITIONS THERETO

After public hearing, upon notice in accordance with the statute (General Laws, Chapter 40A, section 11) and the Amesbury Zoning Ordinance, and after full consideration of the evidence presented, and upon the findings made by the Board as set forth herein, applications for Site Plan Review and Mixed Use Special Permit for proposed expansion and redevelopment of an existing building at 26 Friend Street in Amesbury, MA are hereby approved for the premises described in the application upon the conditions that follow:

1. COMPLIANCE WITH LOCAL, STATE AND FEDERAL REQUIREMENTS

The Project and all construction, utilities, roads, drainage, earth removal and filling and all related appurtenances with respect to the Project, shall comply with all applicable local, state and federal regulations except as waived specifically by this Decision. The Applicant shall be responsible for acquiring all other local, state and federal permits and approvals as necessary to construct the Project as approved by the Board. Final action on all other permits shall be submitted to the Board for record, including any renewals.

2. GENERAL CONDITIONS

1. **Allowed Uses:** This Decision allows one commercial unit and three (3) residential units in the proposed mixed use redevelopment project as shown on the Site Plan. Any changes to the approved building footprint, gross floor area, total number of dwelling units or increase in the number of stories shall be allowed only after written approval of the Board.
2. **Lighting** – Only goose neck style lighting as shown shall be allowed to provide indirect lighting for building mounted sign. No other building mounted lighting shall be allowed without further review and approval by the Board.
3. **Public Parklet** – The Applicant shall make certain improvements to the adjoining public parklet adjoining the project site. The Applicant shall work with OCED to finalize the

conceptual landscape and parklet improvement plan prepared by OCED (Exhibit #4) and that shows the proposed improvements to the public parklet and landscaping buffers along the parking spaces to the rear of the building. This concept plan also shows the installation of landscaped plant materials that includes shrubs and trees, adding granite curbing and creating outdoor patio and access walkway to the side door from the commercial unit. The final plan shall be submitted to OCED for review and approval prior to issuance of building permit.

4. **Notations** - The following notes shall be added to the Plan prior to endorsement:
 - a. A note shall be added that states that *"No change to the number of dwelling units, or site layout shall occur without a further review and approval of a site plan and special permit modification by the Board"* and a notation to this effect shall also appear upon any deeds to any unit on the property, and
 - b. A note shall be added that states that *"This site plan layout and mixed uses are subject to the Planning Board decision recorded herewith and conditions stated therein."*
5. **Legal Documents – Stormwater Management and Snow Removal and Solid Waste Disposal:** The condominium association shall be responsible for snow storage and removal and to ensure that only private property is used for such purposes. Solid waste bins shall only be stored in designated locations on site. Parking spaces and other site amenities shall be maintained and repaired at the association's expenses. The condominium documents shall clearly refer to the specific maintenance requirements and responsibilities of unit owners, individually and collectively for the overall stormwater management system. Draft condominium documents for this purpose shall be provided to the Board for review prior to release by the Board of any of these units for sale.
6. **Signage:** Any and all existing signage on the property and building shall be permanently removed from the site. Any proposed signage for the commercial use shall be allowed upon approval of a formal sign application.
7. **Public Infrastructure along Friend Street:** The Applicant shall be responsible for any repairs and reconstruction of the public infrastructure, including but not limited to, light

poles, sidewalks, street curbing, trees and cross walk ramps. No relocation of any assets with the public right of way shall be allowed without further approval by the Board;

8. **Temporary Construction Access Easements:** The Applicant shall be required to seek temporary construction access and staging license along the public parklet and towards the rear of the property along Hanley Court parking area. Further, the Applicant shall be responsible for ensuring safe pedestrian access along Friend Street in front of the building. The use of parking spaces in front of the building along Friend Street for temporary loading and staging purposes during construction shall require permission from public safety officials. Any repairs to these areas shall be made and completed to the satisfaction of the public safety officials and building department.
9. **Compliance with Site Plan and Application Materials:** All proposed improvements and building redevelopment shall be carried out in compliance with this special permit and site plan approval decision, the approved Project Documents (Site Plan and Architectural Plans), and the representations made in the submitted Application materials;
10. **Final Release of the Performance Bond** - Final release of performance bond shall be made when all the following conditions have been met:
 - a) Upon completion of work as shown on the Final Plans, the Applicant shall furnish a report from the Board's construction observation consultant indicating that all work has been completed as per the Board's Decision and as shown on the Final Plans.
 - b) All City Department and the Board's inspectional engineer have recommended release of bond funds.
 - c) Upon completion of all off-site improvements and stormwater management system, submission of an "As-Built Plan" to the Board along with a written confirmation from a Registered Professional Engineer (P.E.), indicating that construction complies with the approved site plans and conditions of approval, including drainage and utility plans, and
 - d) Improvements shown to the parklet adjoining the building as per plan approved by OCED and the Board shall have been completed. Landscape plant materials (trees, shrubs, and other plants) shall have survived two (2) growing season and that dead/damaged plants shall have been replaced as per Final Plan.

11. **As-Built Plans and Repairs:** To ensure compliance with the terms and conditions of this Decision and any approval or order by any federal, state-agency, the Applicant shall submit plans with a certification from a Professional Engineer or Architect registered in the Commonwealth of Massachusetts that the Project "As-Built Plan" complies in all substantive respects with this Decision and any other approval or order by any federal, state or local agency. Any damage to public roads and walkways shall be repaired and/or replaced to the satisfaction of the DPW Director and City Engineer.
12. **Indemnification:** The Applicant agrees that the City of Amesbury shall be free of any liability for any negligent acts or omissions by or of the Applicant, its employees, agents, subcontractors, beneficiaries or trustees with relation to this Project. The Applicant, on behalf of itself and its successors and assigns, further agrees to indemnify and hold harmless the City of Amesbury, its employees and officials for any harm, damage, injury or loss caused by negligent acts or omissions of the Applicant, its employees, agents, subcontractors, beneficiaries or trustees with regard to the construction of this Project.
13. **Changes in Project Density or Design** - No further subdivision of the property or increase in density shall be allowed without further review and approval by the Board. Any change to the site plan or any of these conditions of approval, including, but not limited to, the building footprint and driveway locations, landscaping plans, architectural design criteria and the approved building construction materials, site improvements and finished grades or to any recorded legal documents shall only be allowed after review and approval by the Board. Substantive revisions to the Final Plans, such as changes to the building design or any of its exterior façade details, addition of dwelling units, relocation of more than one property line, relocation of the access driveways or other substantive changes from the Final Plans shall not be permitted without further review and written approval of the Board.
14. **Site Plan Modifications:** Prior to expansion, addition or alteration of uses allowed by this Approval, the Applicant shall provide detailed information and plans along with a formal written request for modification to the approved Site Plan for determination of minor or major modification and approval by the Board. Any substantial modifications to the Special

Permit and Site Plan or changes that impact the Performance Standards under XI.C.8 or conditions of approval of this Decision shall be subject to review and approval of the Board. The Board shall, if it so determines, require the applicant to submit a new application for modification to the approved Site Plan or uses and hold a new public hearing for review of the requested modifications.

15. **Validity:** This permit is valid only for the use and structure to the extent approved in the Decision and shall expire within two years from the issuance date if construction is not started in that time period. Any changes to the site plan, uses or other improvements shown on the approved plan without the approval of the Board shall render those unauthorized improvements or changes null and void. This permit shall become final only upon 1) the recording of the Special Permit and Site Plan Approval granted by the Board for the final Site Plan and improvements shown on said Plan and accompanying Site Plan set (civil only); and 2) the issuance of all other state and federal permits required to start any construction activity allowed per this permit. The Site Plan Approval shall expire upon the expiration of the special permit, unless said permit(s) is extended by the permit granting authority.

3. PRIOR TO START OF CONSTRUCTION:

The Applicant shall file with the Board and all other relevant public agencies for review and for consistency with this Decision any documents and shall have completed the following actions:

1. **Legal Documents:** The following documents shall be submitted to the Board and the Building Inspector:
 - a) **Documents Recorded at the Southern Essex Registry of Deeds:**
 - i. Planning Board Decision and Plan Set - A copy of this Decision and Approved Plan Set endorsed by the Board.
 - b) **Covenant** - A covenant shall be placed on the development or building(s) or other structures erected or placed on and require a release by the Board. The covenant shall require 1) an Erosion Control and Sedimentation Bond to be established prior to

making application for a building permit for any unit, and 2) a Performance Bond to be established for any and all remaining work prior to sale of any dwelling unit, 3) the building has been built and is consistent with the architectural plan set approved by the Board; 4) The improvements to the adjoining public parklet have been completed as per plan approved by the City and acknowledged as such in writing by OCED; and 5) All repairs to public infrastructure, including but not limited to, walkways, sidewalks, drainage structures, public ways and parking driveway and spaces have been completed to the satisfaction of the DPW and public safety officials. This covenant shall be endorsed by the Board prior to the commencement of any of the on- or off-site improvements.

2. **CAD Drawings:** Three copies of all drawings and recorded site plans as approved by Board shall be provided as Computer Assisted Drawings (CAD) on Compact Disks to the Board.
3. **Submission of Architectural Drawings:** A copy of the complete set of detailed architectural elevations and floor plans for the proposed mixed-use building shall be submitted to the Board. The final architectural drawings shall be sufficiently annotated to describe in detail the building materials, details and color scheme for the building. The Board shall review the final construction drawings to establish conformance with architectural drawings presented to the Board, which approval shall not unreasonably withheld, before making request for a building permit for said building.
4. **Sedimentation and Erosion Control:**
 - a. **Surety Bond:** The Applicant shall be required to post Surety with the Board for Sedimentation and Erosion to ensure that all drainage and erosion control measures associated with parking, stormwater management system, site grading plan are implemented as per the Final Plans and other engineering drawings. Prior to release of any Surety, the Board shall verify with its staff that the disturbed areas have stabilized, and stormwater management systems have been installed and functioning as per approved design and that there is evidence of healthy mature grass and/or landscaping on the site.

5. **Performance Bond:** The Applicant shall be required to post a surety with the Board for all improvements associated with landscaping, parking areas, walkways, other site improvements and work within the public right of way as shown on the Final Plans. The performance bond amount shall be established based on work not completed prior to the sale of the first residential unit or request for its occupancy. Prior to release of any Surety, the Board shall verify with its staff that the work has been completed as per approved plans.
6. **Final Private Utility Layout:** The Applicant shall obtain all necessary private utility permits, including but not limited to gas pipeline, electric, telephone and cable service required by the respective utilities. The Applicant is responsible for all expenses associated with removal/relocation of electric poles and overhead wires servicing the proposed buildings. Documentation of all Permits/approvals issued by private utilities pertaining to the development of the Project shall be provided to the Board for record.
7. **Request for Pre-construction Conference:** The request for a Pre-construction Conference shall be acted upon by the Board only AFTER the Board has received and reviewed ALL of the documents required per this Decision before start of construction and has determined that the Project is ready to proceed to the construction phase. Further, the Applicant shall submit a Construction Mitigation and Management Plan (CMMP) to the City for review and approval in advance of the Pre-Construction Conference. Upon authorization by the Board, its representatives shall schedule the Pre-construction Conference; and
8. **Pre-Construction Conference** - At least five (5) business days prior to any initial site work, a Pre-Construction conference shall be held with the Applicant, Applicant's contractor, a representative of the Board, its consulting engineer, and representatives of the City Departments having an interest in the Plan. Said meeting shall be for the purpose of familiarization with the project, the conditions of approval, and the project's construction sequence and timetable. Copies of all other permits shall be provided to the Board in advance of this meeting.

4. DURING CONSTRUCTION:

The following shall apply to all construction activity as per approved Site Plan:

1. **Utility Trenches:** Utility trenches within the public Right of Way shall be saw-cut prior to excavation. Open trenches shall be backfilled with bank gravel and compacted to 95%. Trenches shall be paved with asphalt binder to a minimum depth of three (3) inches and overlaid curb to curb on Friend Street to a minimum depth of one and half (1.5) inches. Water service trenches shall be infrared joint paved. The DPW Director and the City Engineer shall have the final signoff on the right of way improvements and any change to these standards or those shown on approved plans shall be subject to their review and approval.
2. **Repair and Cleanup:** The existing public roadways shall be kept clean of all earth materials during the construction phase. Any damage to public roads and walkways shall be repaired and/or replaced to the satisfaction of the DPW Director and City Engineer.
3. **Construction Activities** - During construction, except within the building envelope, the Applicant and its agents and employees shall conform to all local, state and federal laws regarding noise, vibration, dust and use of public roads and utilities. The Applicant shall at all times use all reasonable means to minimize inconvenience to residents in the general area and maintain safe and adequate vehicular access on Friend Street. Construction shall not commence on any day Monday through Saturday before 7:00 AM. Construction activities shall cease by 6:00 PM Monday through Friday and by Noon on Saturday. No construction or activity whatsoever (except for interior finishing) shall take place on Sunday.

6. PRIOR TO MAKING REQUEST FOR AN OCCUPANCY PERMIT:

The Applicant shall file with the Board and all other relevant public agencies for review and for consistency with this Decision any documents and shall have completed the following actions:

1. **Infrastructure Improvements:** The Applicant shall submit a letter from the engineer of record that all infrastructure improvements have been completed in accordance with the

approved final plans. The Applicant shall request written confirmation from the City Engineer and DPW Director that the finished construction of all utilities, sidewalks and all municipal structures located within the public right of way or easement areas are adjusted to appropriate finished grade and are adequately accessible for future maintenance. Interim or final as-built plan showing the installed stormwater and drainage systems shall have been recommended for approval by the Board's inspectional engineer.

2. **Certification of Improvements** – Upon completion of all site improvements, the Applicant shall request the Board for a Certificate of Improvements and submit it to the Building Inspector from the Board verifying that conditions of approval have been met and that construction to date is per the approved plans.
3. **Landscape Improvements, Vegetative Buffers and Fencing**: All proposed trees/shrubs shall be placed in position or staked out for approval by the Board (or its designated agent) prior to digging. All site improvements, including landscape plantings, walkways, parking, lighting and fencing shall be completed and installed as per Final Plans prior to making application for the first occupancy permit. Alternatively, the Board shall retain a performance bond equivalent to twice the amount to make all approved site improvements at the time the first certificate of occupancy is officially requested by the Applicant.
4. **Architect's Certification**: The Project Architect registered in the Commonwealth of Massachusetts shall submit a certification to the Board certifying that all new residential buildings have been built as per architectural drawings approved by the Board; and
5. **Public Way Repairs**: Any damage to public roads and walkways shall be repaired and/or replaced to the satisfaction of the DPW Director and City Engineer.

Chair, Amesbury Planning Board

EXHIBITS

PROJECT DOCUMENTS

Exhibit #1

Site Plan Set containing 1 sheet prepared by Winter GEC, LLC, 44 Merrimac Street Newburyport MA 01950, dated 5/7/2025

Exhibit #2

Site Plan Set containing 1 sheet prepared by Winter GEC, LLC, 44 Merrimac Street Newburyport MA 01950 and SBS Engineering, 1 Collins Street Newburyport MA 01950, dated 4/29/2025

Exhibit #3

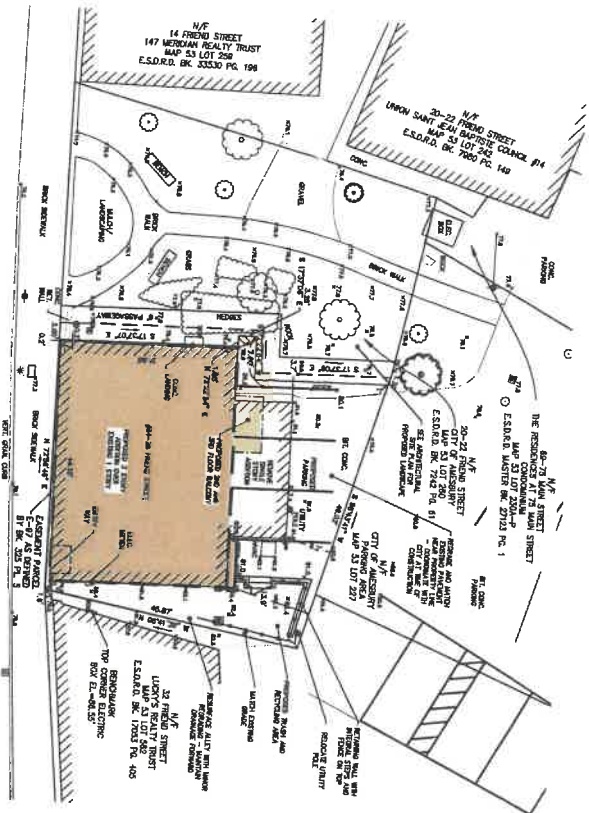
Plan titled "Landscape Plan" dated 4/11/2025, prepared by Graf Architects 2 Liberty Street, Newburyport MA 01950

Exhibit #4

Architectural Drawings for Buildings prepared by Graf Architects 2 Liberty Street, Newburyport MA 01950

Exhibit #5

"Landscape Concept Plan at 20 Friend Street" Phase 1, dated 07/10/2025 prepared by OCED.



MINIMUM LOT AREA	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT FRONTAGE	5,000 SQUARE FEET	3,442 SQUARE FEET	2,447 SQUARE FEET
MINIMUM LOT DEPTH	60 FEET	44.10 FEET	44.10 FEET
MINIMUM LOT AREA	0.7 FEET	1.2 FEET	0.2 FEET
MINIMUM LOT DEPTH	8 FEET	12 FEET	14 FEET
MINIMUM LOT FRONTAGE	10 FEET	14 FEET	14 FEET
MINIMUM LOT DEPTH	30 FEET	0.2 FEET	13.8 FEET
MINIMUM LOT FRONTAGE	70 FEET	8.2 FEET	13.8 FEET
MINIMUM LOT DEPTH	40 FEET	64.7%	64.7%
MINIMUM LOT FRONTAGE	40 FEET	8.2 FEET	30.5 FEET
MINIMUM LOT DEPTH	40 FEET	1 FEET	32.0 FEET
MINIMUM LOT FRONTAGE	10.0%	1.0%	1.0%
MINIMUM LOT DEPTH	0	0	2

ON PURPOSE OF THIS PLAN IS TO SHOW THE POSSIBLE CONSEQUENCES AND THE EFFECTS OF THE PROPOSED CHANGES TO THE LOT AND IS THE RESULT OF AN INDEPENDENT REASONABLE SAFETY ESTIMATION ON MARCH 20TH, 2018.

THE INFORMATION USED IN THE PREPARATION OF THIS PLAN WAS OBTAINED FROM THE CITY OF MARYSBURG PROBATION IS AS PROVIDED BY THE PROJECT ARCHITECT.

THIS LIST OF MY PROFESSIONAL HONORING, INFORMATION, AND SAFETY PLAN CONFORMS TO THE TECHNICAL AND PROFESSIONAL STANDARDS FOR THE PRACTICE OF LAND SURVEYING IN THE COUNCIL OF LAND SURVEYORS. THE COUNCIL OF LAND SURVEYORS IS THE COUNCIL OF LAND SURVEYORS.

LOCAL TITLE INFORMATION
24 BRIND STREET
OWNER: NEWBURYPORT HOMES, LLC
DEED REFERENCE: BOOK 41630 PAGE 431
ASSESSORS: MAP 53 PARCEL 261

Winter GEC, LLC

44 WEDBURN STREET
NEWBURYPORT, MA 01950
578-270-8626

Over 100

HORIZ: 1" = 10'
VERT: N.A.

11/11/2019

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[illegible]

FIELD:	AK
CALCS:	CO/EC

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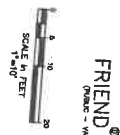
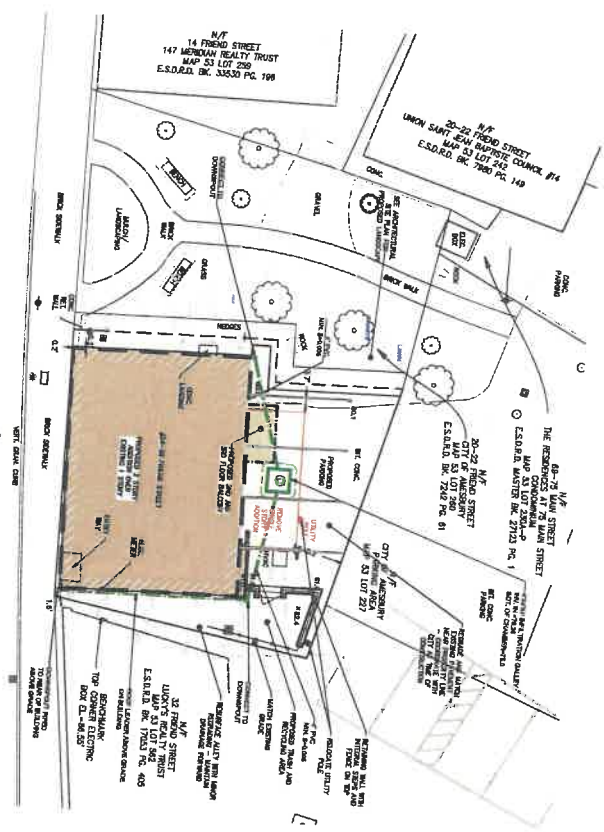
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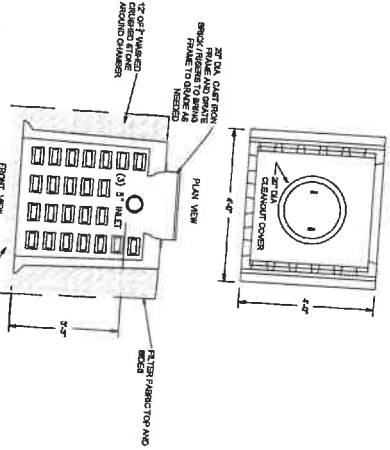
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- NOTES:
1. CONCRETE 4,000 PSI MINIMUM AFTER 28 DAYS.
 2. DESIGNER FOR HORIZONTAL.
 3. GALLEY AREA SHALL BE HORIZONTAL AND CENTER SECTION.
 4. CENTER SECTION SHALL HAVE 1/4\"/>
- 4' X 4' X 4.25' INFILTRATION GALLEY
- NOT TO SCALE



Winter GEC, LLC
18 BROAD STREET
NEWBURYPORT, MA 01950
978-270-8624

SBS Engineering
18 BROAD STREET
NEWBURYPORT, MA 01950
978-270-8624

SCALE	NO.	DATE	BY
HORIZ. 1\"/>			
VERT. 1\"/>			

REVISIONS

FIELD	DATE
DESIGNED - E.C.	
CHECKED - E.C.	
APPROVED - E.C.	

SITE PLAN

24-28 FRIEND STREET

PLAN OF LAND IN
AMESBURY, MASSACHUSETTS
SURVEYED FOR
NEWBURYPORT HOMES, LLC



PROJECT NO.
2023-2026
DATE: APR. 24, 2023
SHEET NO.
1 OF 1

26 FRIEND
STREET

Amesbury, MA

Architect:

**GRAF
ARCHITECTS**
2 Liberty Street
Newburyport, MA
01950
T. 978.499.9442
www.grafarch.com

title:

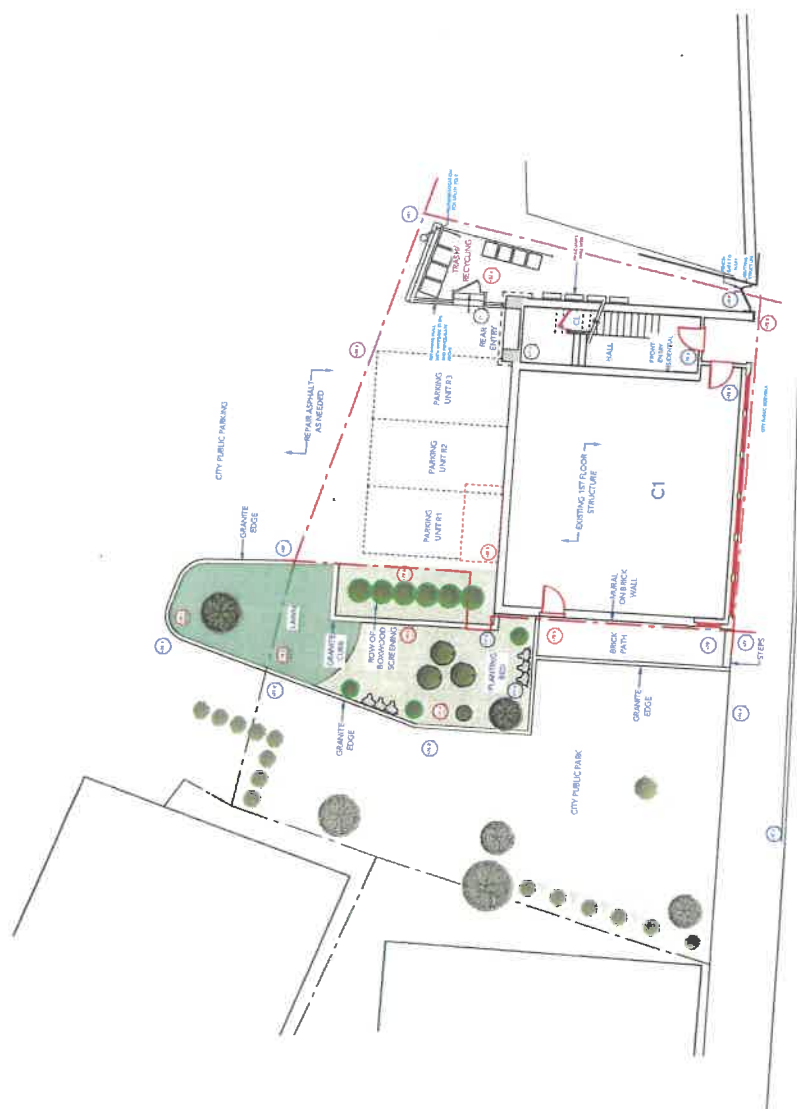
Landscape Plan

SCALE: 1/16" = 1'-0"

11 apr 11 2025

101

Printed By LPT Pages 6, 17, 28 | 07/08/2016 14:00:00



1 Landscape Plan
SCALE: 1/16" = 1'-0"

project:

26 FRIEND STREET

Amesbury, MA

architect:

GRAF
ARCHITECTS
2 Liberty Street
Newburyport, MA
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T. 978.499.9442
www.grafarch.com

title:

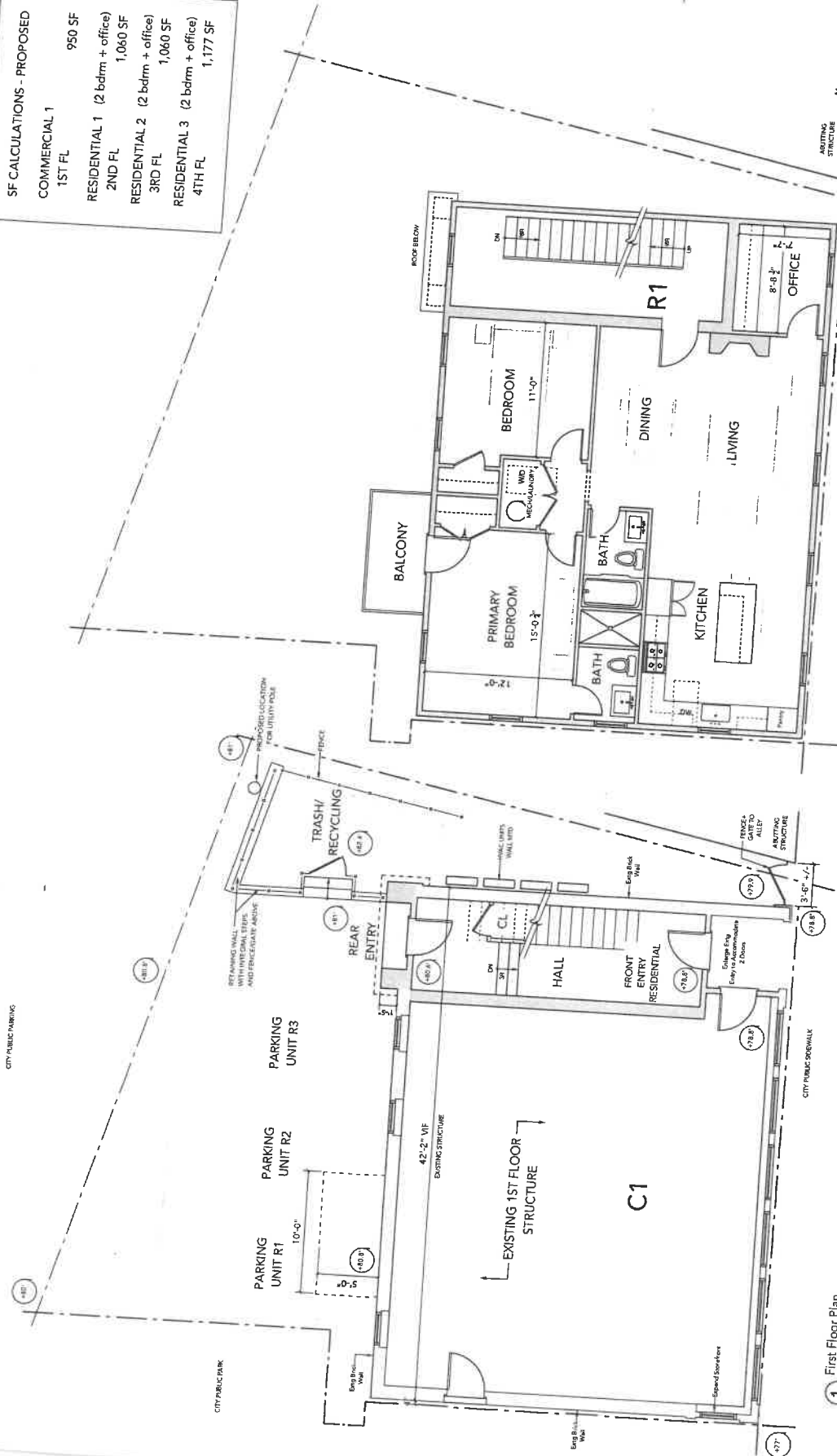
PROPOSED First + Second Floor Plan

SCALE: 1/8" = 1'-0"
11 april 2025

A01

SF CALCULATIONS - PROPOSED

COMMERCIAL 1	950 SF
1ST FL	
RESIDENTIAL 1 (2 bdrm + office)	1,060 SF
2ND FL	
RESIDENTIAL 2 (2 bdrm + office)	1,060 SF
3RD FL	
RESIDENTIAL 3 (2 bdrm + office)	1,177 SF
4TH FL	



1 First Floor Plan
SCALE: 1/8" = 1'-0"

2 Second Floor Plan
SCALE: 1/8" = 1'-0"

project:

26 FRIEND
STREET

Amesbury, MA

architect:

GRAF
ARCHITECTS
2 Liberty Street
Newburyport, MA
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T: 978.459.9442
www.grafarch.com

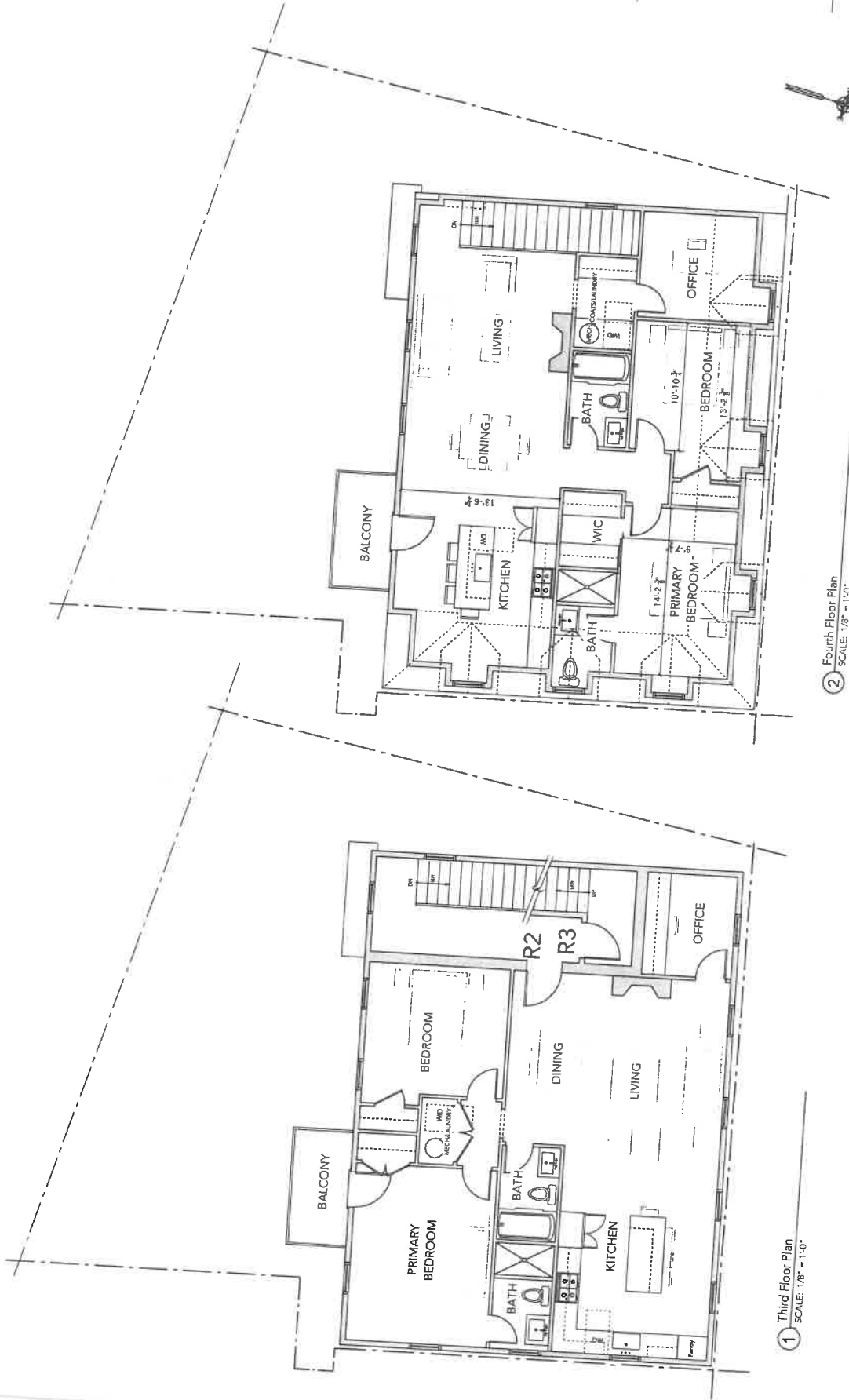
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PROPOSED
Third + Fourth
Floor Plan

SCALE: 1/8" = 1'-0"
11 April 2025

A02

Project: 26 Friend St. 1/25 - 1/25
11 April 2025



1 Third Floor Plan
SCALE: 1/8" = 1'-0"

2 Fourth Floor Plan
SCALE: 1/8" = 1'-0"

26 FRIEND
STREET

Amesbury, MA

Architect:

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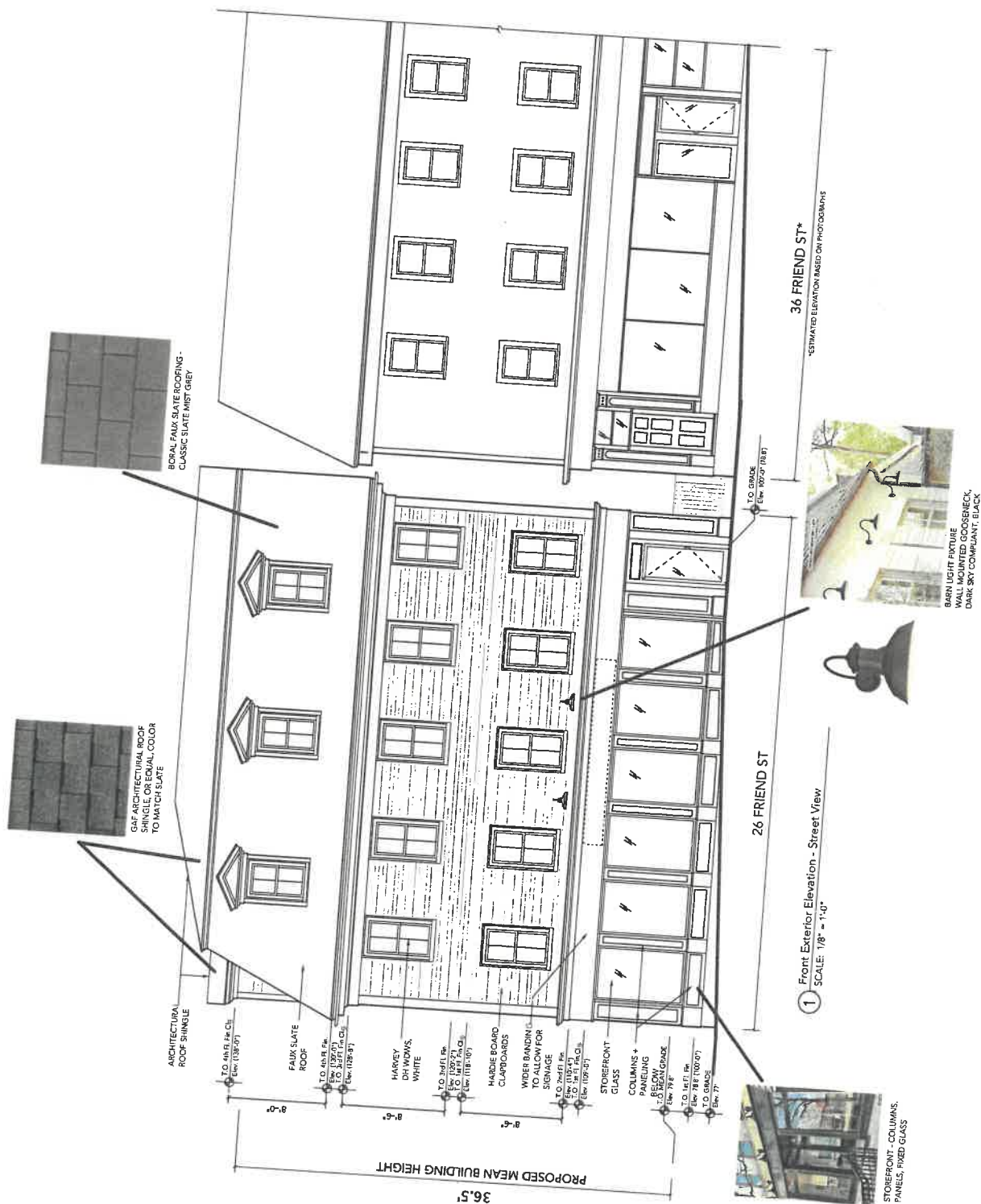
PROPOSED
Exterior Elevations

SCALE: 1/8" = 1'-0"

11 APR 11 2025

A03

Period for 2008-2009: 1.1.2008 to 31.12.2009



project:

26 FRIEND STREET

Amesbury, MA

architect:

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2 Liberty Street
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T. 978.459.9442
www.grafarch.com

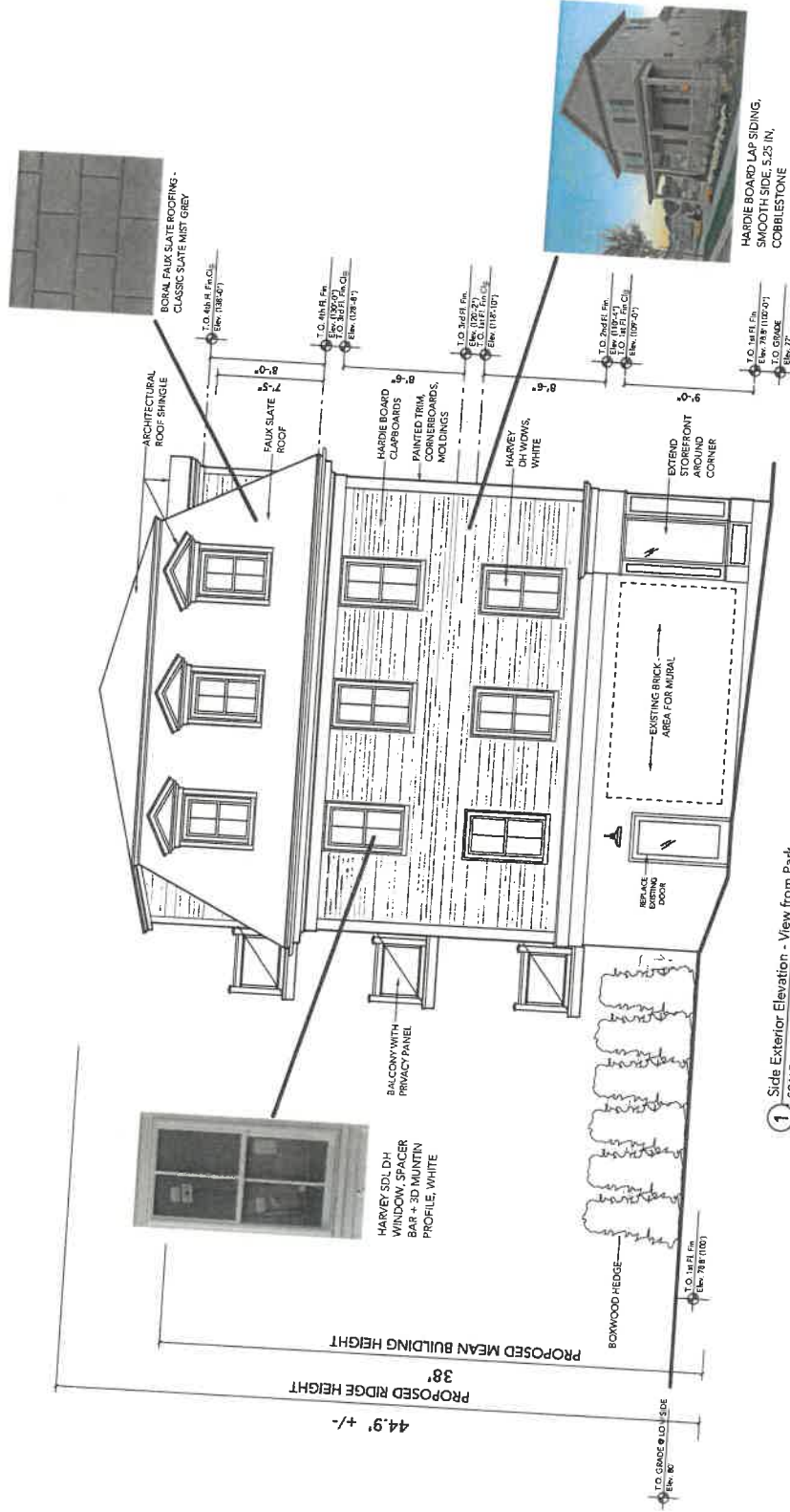
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PROPOSED
Exterior Elevations

SCALE: 1/8" = 1'-0"
11 april 2025

A04

Sheet 2 of 2 (2 of 2) 11.1.25 1' = 1/8" = 1'-0"



project:
26 FRIEND STREET
Amesbury, MA

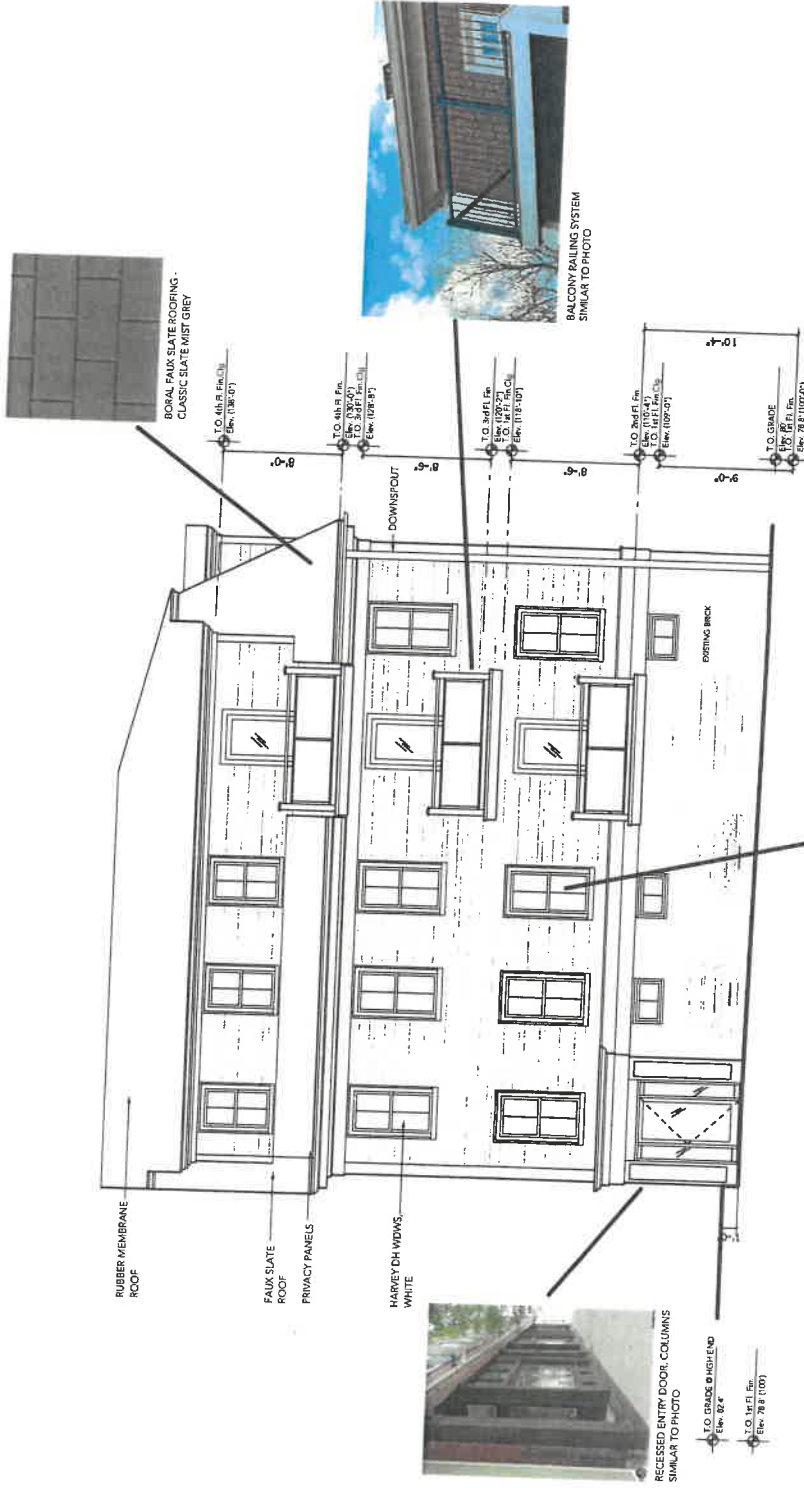
architect:
GRAF ARCHITECTS
2 Liberty Street
Newburyport, MA 01950
T. 978.499.9442
www.grafarch.com

title:
PROPOSED
Exterior Elevations

SCALE: 1/8" = 1'-0"
11 april 2025

A05

PROPOSED EXTERIOR ELEVATIONS 11 april 2025



1 Front Exterior Elevation
SCALE: 1/8" = 1'-0"



project:

26 FRIEND
STREET

Amesbury, MA

architect:

GRAF
ARCHITECTS
2 Liberty Street
Newburyport, MA
01950
T. 978-599-9442
www.grafarch.com

title:

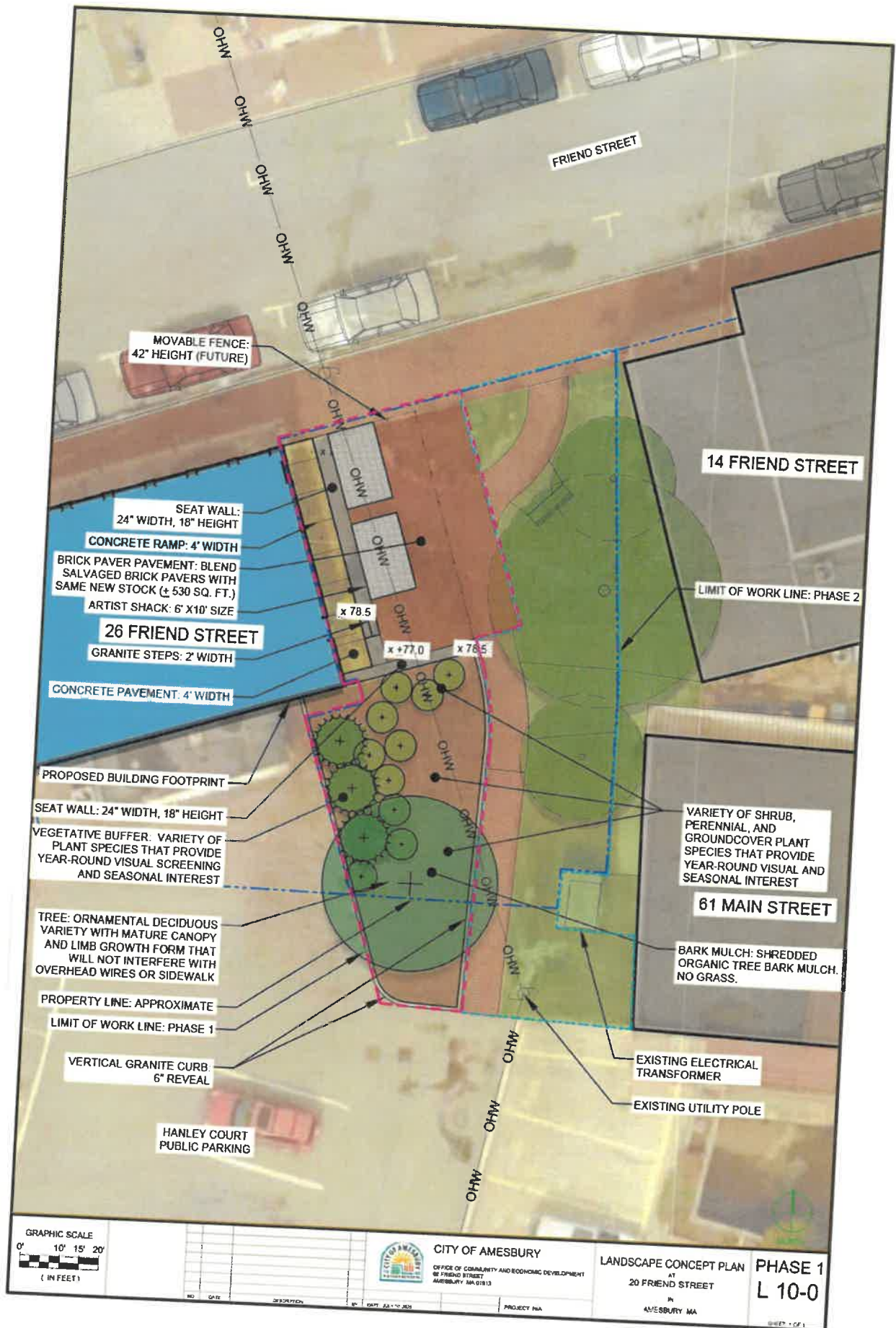
PROPOSED
Exterior Elevations

SCALE: 1/8" = 1'-0"
11 april 2025

A06

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07/14/2025

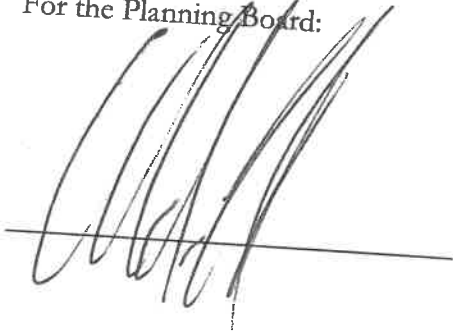
TO:

Newburyport Homes LLC
11 Lunt Street
Byfield MA 01951

PLANNING BOARD VOTE:

On 07/14/2025 the Amesbury Planning Board voted to approve the application for Site Plan Review and a Multi-Family Special Permit for proposed residential development under Section XI.J at 26 Friend Street in Amesbury MA - subject to the findings and conditions noted in this Decision.

For the Planning Board:



Filed with the City Clerk on August 7, 2025



City Clerk

A Building Permit is required for any construction or remodeling. It is your responsibility to file this Special Permit Decision with the Registry of Deeds and to record the plans after endorsement; forms may be obtained from the City Clerk's Office.

Any appeal shall be made pursuant to Mass. General Laws, Section 17, Chapter 40A, and shall be filed within twenty (20) days after the date of filing of such notice in the City Clerk's Office.