

LEGEND

- GAS GATE
- ⊙ SEWER MANHOLE
- ⑦ TELEPHONE MANHOLE
- ① DRAIN MANHOLE
- ⊞ CATCH BASIN
- ☆ STREET LAMP
- ⌘ UTILITY POLE
- CHAIN LINK FENCE
- STOCKADE FENCE

FOR REGISTRY USE ONLY

I CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMITY WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS

DATE

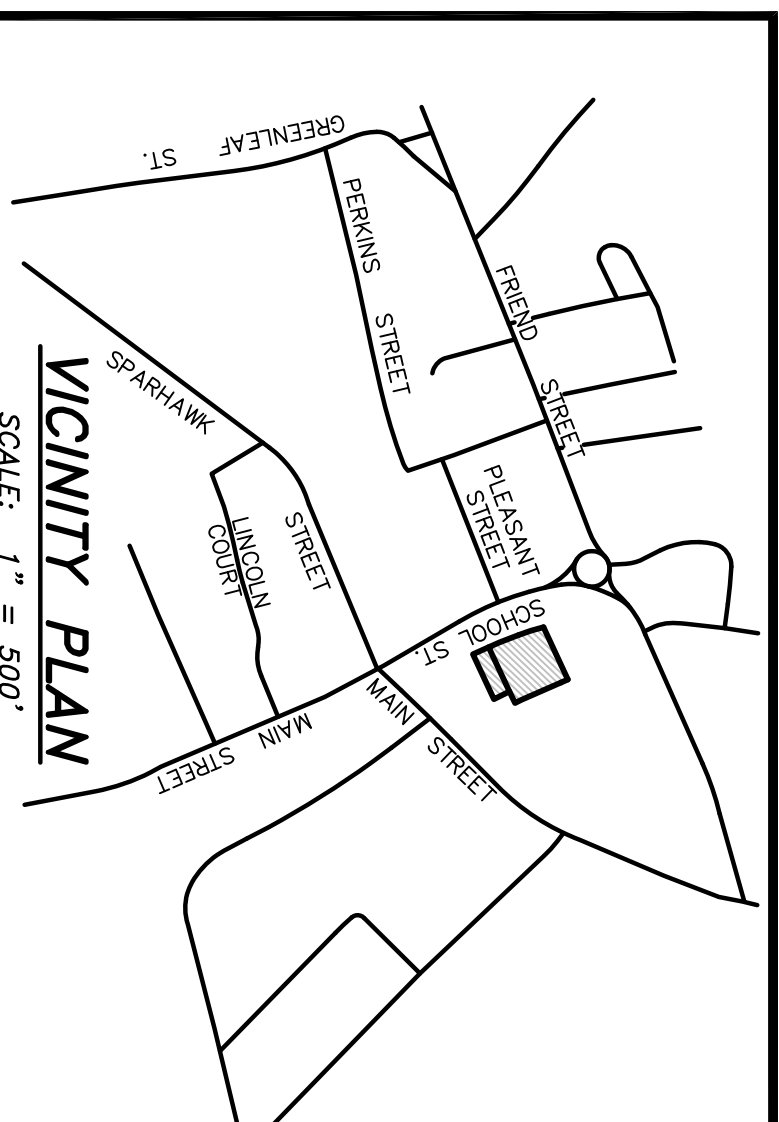
AMESBURY PLANNING BOARD

APPROVED SUBJECT TO THE PLANNING BOARD DECISION
DATED 11/17/2025 RECORDED IN THE ESSEX SOUTH REGISTRY
OF DEEDS IN BOOK 0546 PAGE 196

CITY OF AMESBURY
OFFICE OF THE CITY CLERK

THIS IS TO CERTIFY THAT ON 11/17/2025 I RECEIVED FROM AMESBURY PLANNING BOARD CERTIFICATION OF ITS APPROVAL OF THIS PLAN AND THAT DURING THE (20) TWENTY DAYS NEXT FOLLOWING I HAVE RECEIVED NO NOTICE OF ANY APPEAL FROM SAID DECISION

CLERK DATE



VICINITY PLAN

SCALE: 1" = 500'

DRAFT EXISTING CONDITIONS PLAN

ASSESSOR'S MAP 52, LOTS 199 & 202
5 & 13 SCHOOL STREET
AMESBURY, MASSACHUSETTS

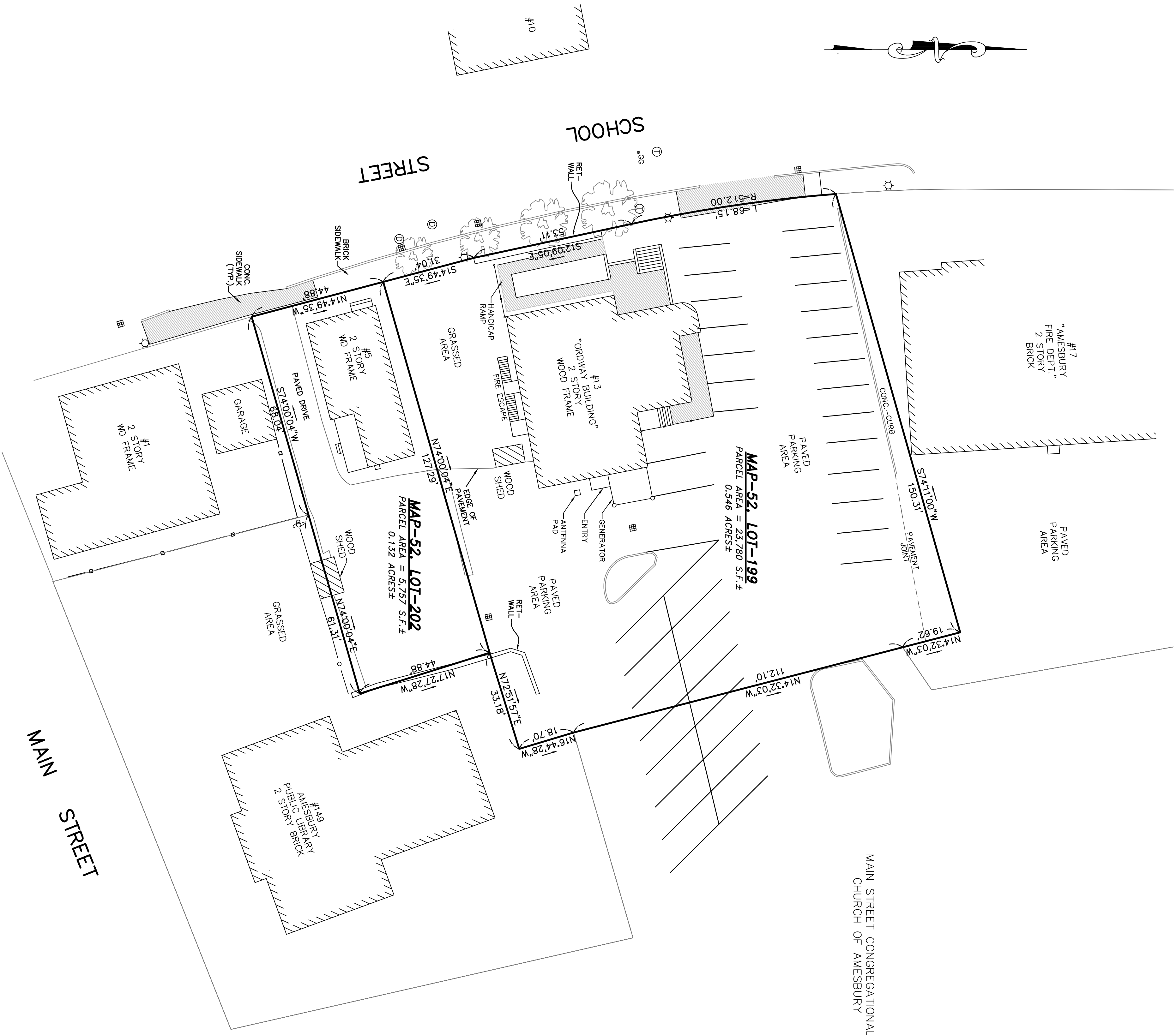
OWNER AND APPLICANT:

WOJCIK HOLDINGS LLC
110 MAIN STREET
AMESBURY, MA 01913

JOHN W. HARGREAVES, PE/PLS
DATE: 11.17.2025
REVISIONS:

SHEET 1 OF 1

GA CONSULTANTS, INC.
10 STATE STREET, NEWBURYPORT, MA 01950
PROFESSIONAL ENGINEERS & LANDSCAPE ARCHITECTS
TEL: 978-502-5197

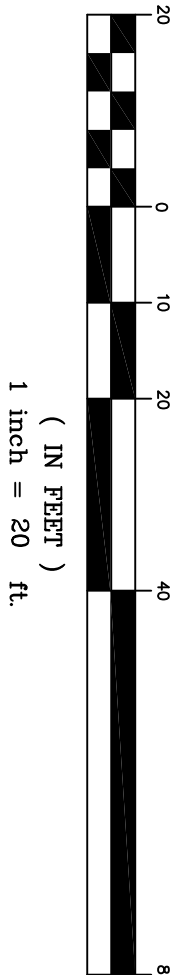


MAP-52, LOT-199
PARCEL AREA = 23,780 S.F.±
0.546 ACRES±

MAP-52, LOT-202
PARCEL AREA = 5,737 S.F.±
0.132 ACRES±

MAIN STREET

GRAPHIC SCALE



SITE PLAN

SCALE: 1"=20'