

NOTES:

1. LOCATION: 201 ELM STREET (PARCEL ID: 66-61)
6 MONROE STREET (PARCEL ID: 55-24)
2. DEED: SOUTHERN ESSEX
REGISTRY OF DEEDS
BOOK 42186 PAGE 190
3. ZONE: RESIDENCE 8 (R8)
4. USE: SINGLE FAMILY RESIDENTIAL
5. APPLICANT: RIVERS EDGE DEVELOPMENT LLC
201 ELM ST.
AMESBURY, MA
6. EXISTING CONDITIONS INFORMATION GENERATED FROM RECORD DOCUMENTS, READILY AVAILABLE INFORMATION AS WELL AS AN ON THE GROUND SURVEY PERFORMED BY CIVIL DESIGN CONSULTANTS, INC. IN JULY 2024.
7. PROPERTY IS NOT LOCATED WITHIN A DESIGNATED FLOOD HAZARD AREA PER FLOOD INSURANCE RATE MAP NUMBER 25009C0106F DATED JULY 3, 2012.
8. PLAN BEARINGS ARE BASED UPON THE MASSACHUSETTS STATE PLANE COORDINATE SYSTEM (NAD83) - MAINLAND ZONE, PER GPS OBSERVATIONS.
9. ALL ELEVATIONS REFER TO THE NORTH AMERICAN VERTICAL DATUM (NAVD88), PER GPS OBSERVATIONS.
10. UTILITY LOCATIONS ARE SHOWN PER READILY AVAILABLE RECORD INFORMATION AND OBSERVABLE FIELD EVIDENCE. OTHER UNDERGROUND UTILITIES MAY EXIST WHICH ARE NOT SHOWN ON THIS PLAN. CDCI MAKES NO CLAIM TO THE ACCURACY OR COMPLETENESS OF UTILITY INFORMATION. 72 HOURS PRIOR TO ANY EXCAVATION ON SITE, THE CONTRACTOR SHALL CONTACT DIG-SAFE AT 811.
11. UPON COMPLETION OF CONSTRUCTION ACTIVITIES, THE CONTRACTOR SHALL PREPARE AND PROVIDE AS-BUILT DRAWINGS CONFORMING TO THE CITY'S SUBMISSION STANDARDS.
12. PERMITS:
- SITE PLAN REVIEW
- HISTORIC PRESERVATION SPECIAL PERMIT
13. LIST OF WAIVERS:
- PROPOSED LOT 1:
- WAIVER TO ALLOW A REDUCTION IN FRONT SETBACK FOR PROPOSED FOR A PRE-EXISTING NON-CONFORMING STRUCTURE.
- WAIVER TO ALLOW A REDUCTION TO THE MINIMUM SIDE SETBACK FOR A PRE-EXISTING NON-CONFORMING STRUCTURE.
- PROPOSED LOT 2:
- WAIVER TO ALLOW A REDUCTION TO THE MINIMUM FRONT SETBACK.
- WAIVER TO ALLOW A REDUCTION THE MINIMUM SIDE SETBACK.
- PROPOSED LOT 3:
- WAIVER TO ALLOW A REDUCTION TO THE MINIMUM FRONT YARD SETBACK.
- WAIVER TO ALLOW A REDUCTION TO THE MINIMUM REAR SETBACK.
14. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONSTRUCT ALL IMPROVEMENTS IN STRICT COMPLIANCE WITH THE APPROVED PLANS AND PERMIT CONDITIONS. ANY CHANGES TO THE PLANS SHOULD BE PRESENTED TO THE PROJECT ENGINEER PRIOR TO CONSTRUCTION.
15. THE PROJECT ENGINEER MUST BE ATTEND THE PRE-CONSTRUCTION MEETING WITH THE SITE CONTRACTOR AND THE TOWN.
16. MINIMUM REQUIRED INSPECTION SCHEDULE TO ADDRESS THE AS-BUILT SUBMITTAL REQUIREMENTS NOTED IN THE PERMITS REFERENCED ABOVE, THE FOLLOWING ITEMS REQUIRE CONSTRUCTION PERIOD DOCUMENTATION, CONSTRUCTION LAYOUT, AS-BUILT LOCATION OR PHYSICAL ON-SITE INSPECTION. THE CONTRACTOR SHALL PROVIDE CDCI WITH A MINIMUM OF 48-HOURS NOTICE. FAILURE TO COORDINATE WITH THIS OFFICE TO PERFORM THE FOLLOWING SERVICES WILL RESULT IN AN INABILITY TO ADDRESS THE AS-BUILT SUBMITTAL REQUIREMENTS.
17. PRE-CONSTRUCTION
- SET CONSTRUCTION CONTROL, SET TEMPORARY BENCHMARKS AND LAYOUT LIMIT OF CLEARING AND/OR EROSION CONTROL.
- STAKE-OUT ALL PROPERTY CORNERS ADJACENT TO PROPOSED CONSTRUCTION.
- STAKE-OUT AND FLAG STORMWATER MANAGEMENT SYSTEM.
18. STORMWATER
- STAKE-OUT ALL STORMWATER BMPS
- OBSERVE AND LOCATE THE BOTTOM OF EXCAVATION FOR STORMWATER MANAGEMENT SYSTEMS.
- AS-BUILT BMP'S UPON THE COMPLETION OF ROUGH GRADING (PRIOR TO PLACEMENT OF LOAM)
- MONITOR PONDS DURING CONSTRUCTION TO ENSURE DRAINS W/IN 72-HOURS.

REFERENCE PLANS:

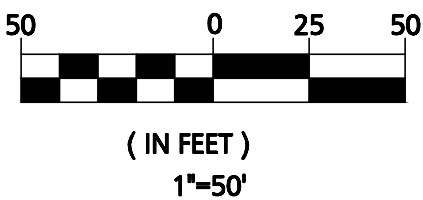
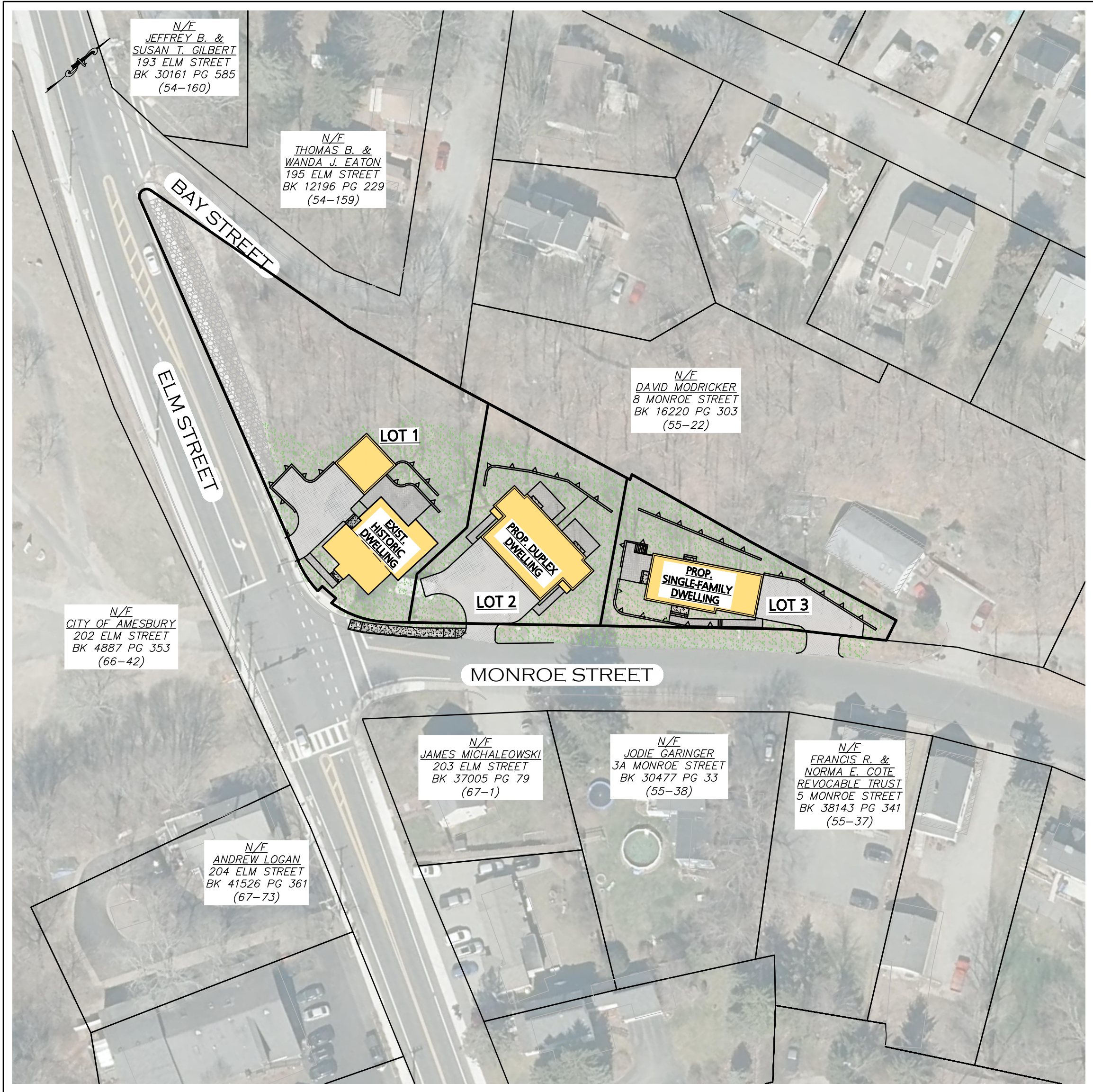
1. "AMESBURY, MASS. SUBDIVISION OF LAND" BY REID LAND SURVEYORS DATED APRIL 25, 1989 AND RECORDED AT THE SOUTHERN ESSEX REGISTRY OF DEEDS ON DECEMBER 15, 2004 AS PLAN BOOK 383 PAGE 50.

PLAN INDEX:

TITLE	DATE ISSUED	DATE REVISED
C-1 COVER SHEET	02/24/25	06/02/25
C-2 EXISTING CONDITIONS PLAN	02/24/25	06/02/25
C-3 LAYOUT & MATERIALS PLAN	02/24/25	06/02/25
C-4 GRADING & DRAINAGE PLAN	02/24/25	06/02/25
C-5 UTILITIES PLAN	02/24/25	06/02/25
C-6 CONSTRUCTION POLLUTION PREVENTION PLAN	05/31/25	
D-1 CONSTRUCTION DETAILS	02/24/25	06/02/25
D-2 CONSTRUCTION DETAILS	02/24/25	06/02/25

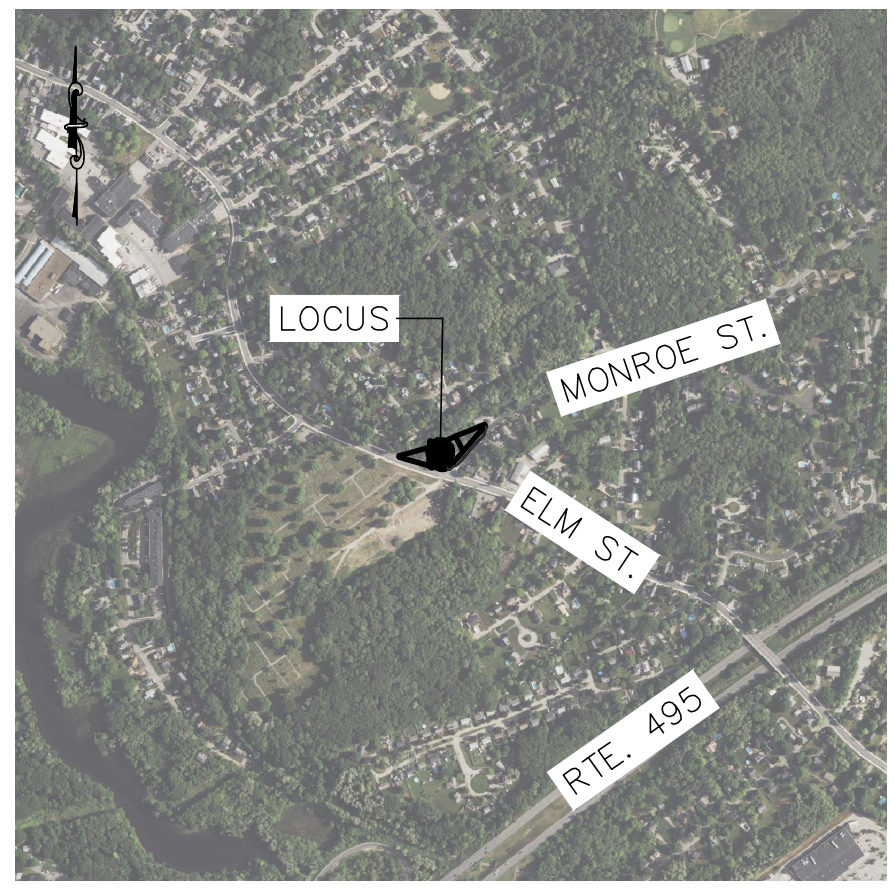
SITE DEVELOPMENT PLANS FOR 201 ELM STREET & 6 MONROE STREET

(MAP 66 / LOT 61 & MAP 55 / LOT 24)
AMESBURY, MASSACHUSETTS 01913



LOCUS MAP

(SCALE: 1:1,000)



USGS MAP

(SCALE: 1:1,000)



LEGEND

PROPERTY LINE	_____
ABUTTERS PROPERTY LINE	_____
PROPOSED DRAIN	— D — D — D —
PROPOSED SEWER	— S — S — S —
PROPOSED WATER	— W — W — W —
PROPOSED TREE LINE	~~~~~
PROPOSED PROPERTY LINE	_____
PROPOSED PAVEMENT	▨▨▨▨▨▨▨▨▨▨
PROPOSED CONCRETE	▨▨▨▨▨▨▨▨▨▨
PROPOSED CONTOUR	145
PROP. ELEC., TELE., COMM.	— ETC — ETC —
PROPOSED LANDSCAPE AREA	▨▨▨▨▨▨▨▨▨▨
PROPOSED STRUCTURE	▨▨▨▨▨▨▨▨▨▨
PROPOSED EDGE OF PAVE.	_____
PROPOSED SEWER MANHOLE	⊙
PROPOSED SEWER CLEANOUT	•
PROPOSED SILT FENCE	✕
PROPOSED SPOT GRADE	⚶61.00
PROPOSED WATER SHUT OFF	⚡
PROPOSED RETAINING WALL	— Δ Δ Δ Δ —

FOR REGISTRY USE ONLY

THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE RULES AND REGULATIONS FOR RECORDING ADOPTED BY THE REGISTERS OF DEEDS IN 1978 AND AMENDED JANUARY 12, 1988.

ENGINEER DATE
APPROVED BY THE CITY OF AMESBURY
PLANNING BOARD

CERTIFICATE OF ACTION

DATE OF ENDORSEMENT

06/02/25 REV. TO ADDRESS REVIEW COMMENTS

04/18/25 REV. PER CITY COMMENTS

DATE DESCRIPTION

REVISIONS

APPLICANT:
**RIVER'S EDGE
DEVELOPMENT, LLC**
88 ELM STREET
SALISBURY, MA 01952

PROJECT:
**201 ELM STREET &
6 MONROE STREET**
AMESBURY, MA 01913

DATE ISSUED: FEBRUARY 24, 2025

PROJECT #: 25-10704

PREPARED BY: MAC

PROFESSIONAL ENGINEER FOR CIVIL DESIGN
CONSULTANTS, INC.

CIVIL
DESIGN
CONSULTANTS, INC.
344 North Main Street | Andover - MA 01810
(978) 416-0920 | www.civildci.com

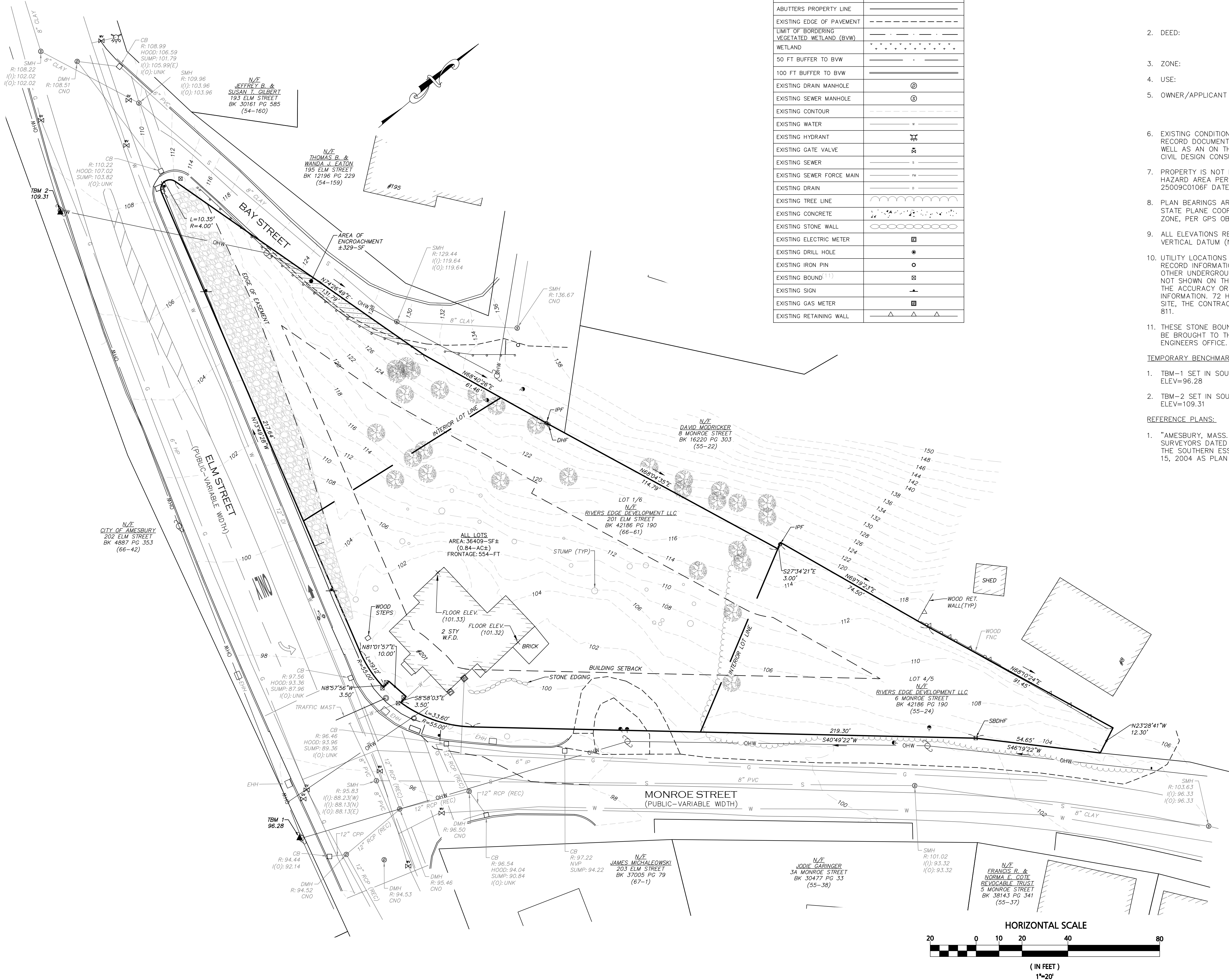
DRAWING TITLE:
COVER SHEET

DRAWING #:

C-1

ISSUED FOR APPROVAL: JUNE 2, 2025

G:\Projects\25-10704\201 Elm Street - Amesbury, MA\SURVEY\24-10619 EC.dwg, Jun 02, 2025 - 3:16pm CDCI-MALANOLY



- NOTES:
1. LOCATION: 201 ELM STREET (PARCEL ID: 66-61)
6 MONROE STREET
PARCEL ID: (55-24)
 2. DEED: SOUTHERN ESSEX
REGISTRY OF DEEDS
BOOK 42186 PAGE 190
 3. ZONE: RESIDENCE 8 (R8)
 4. USE: SINGLE FAMILY RESIDENTIAL
 5. OWNER/APPLICANT: 66-61/55-24
RIVERS EDGE DEVELOPMENT LLC
201 ELM ST.
AMESBURY, MA
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 11. THESE STONE BOUNDS (5) ARE INCORRECT AND SHOULD BE BROUGHT TO THE ATTENTION OF THE AMESBURY ENGINEERS OFFICE.

TEMPORARY BENCHMARKS:

1. TBM-1 SET IN SOUTHWESTERLY FACE OF UP-43
ELEV=96.28
2. TBM-2 SET IN SOUTHEASTERLY FACE OF UP-45
ELEV=109.31

REFERENCE PLANS:

1. "AMESBURY, MASS. SUBDIVISION OF LAND" BY REID LAND SURVEYORS DATED APRIL 25, 1989 AND RECORDED AT THE SOUTHERN ESSEX REGISTRY OF DEEDS ON DECEMBER 15, 2004 AS PLAN BOOK 383 PAGE 50.

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OWNER / APPLICANT:
**RIVERS EDGE
DEVELOPMENT LLC**
88 ELM STREET
AMESBURY, MA 01913

PROJECT:
**201 ELM STREET &
6 MONROE STREET**
AMESBURY, MA 01913

DATE ISSUED: FEBRUARY 24, 2025

PROJECT #: 25-10704

PREPARED BY: GBB

PROFESSIONAL LAND SURVEYOR FOR
CIVIL DESIGN CONSULTANTS, INC.

CIVIL
DESIGN
CONSULTANTS, INC.

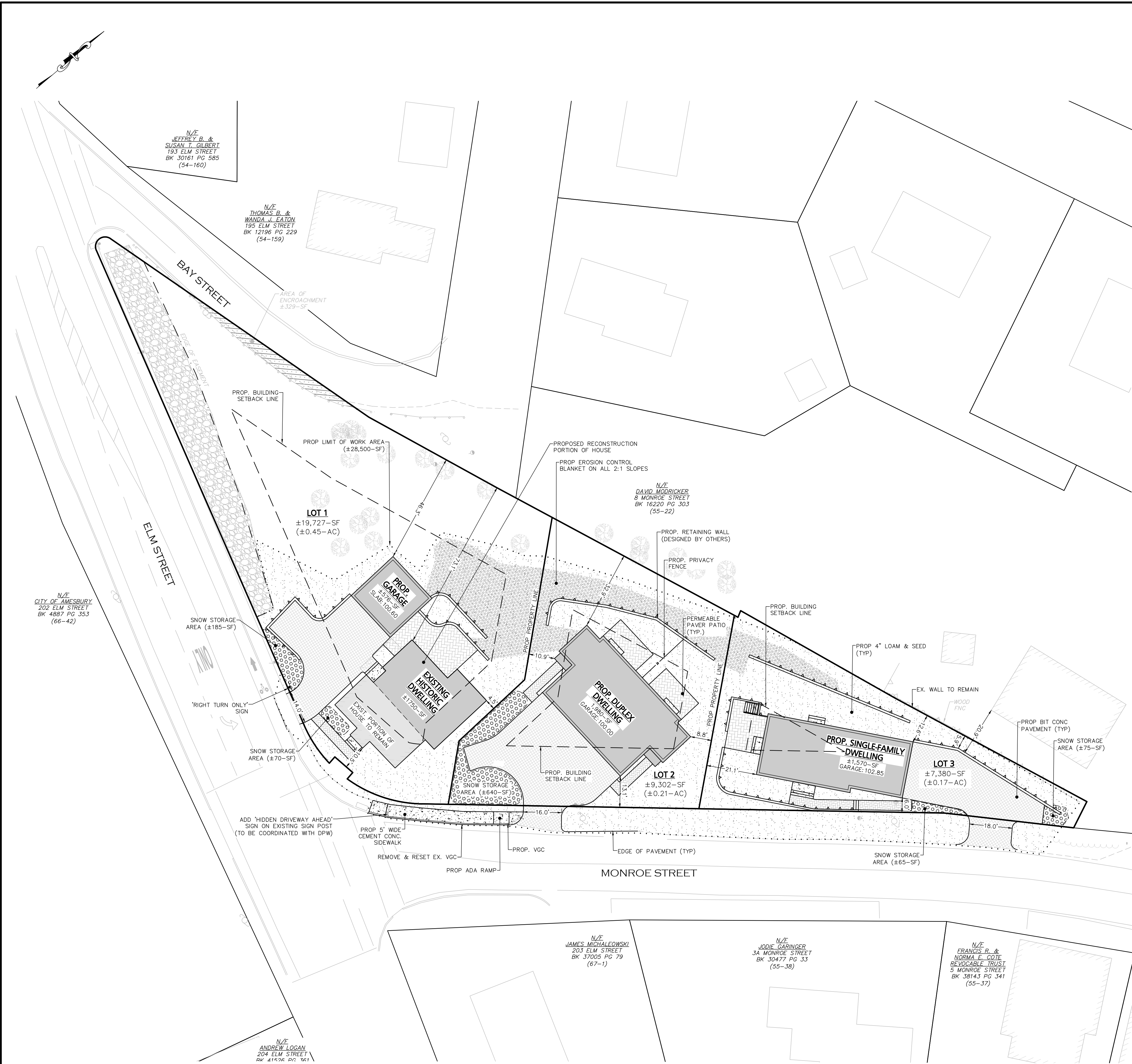
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DRAWING TITLE:

**EXISTING
CONDITIONS PLAN**

DRAWING #:

C-2



LAND USE TABLE				
LOCATION: 201 ELM ST (66-61) 6 MONROE ST (55-24) AMESBURY, MA 01913				
ZONE: RESIDENCE B (R8)				
OVERLAY: BROWN HILL OVERLAY DISTRICT				
EXISTING USE: RESIDENTIAL				
PROPOSED USE: SINGLE FAMILY RESIDENTIAL DUPLEX RESIDENTIAL				
	R8	PROP. LOT-1 EX. #201	PROP. LOT -2 TWO-FAM.	PROP. LOT-3 SINGLE-FAM
MIN. LOT AREA - SF	8,000 ⁽¹⁾	19,727	9,302	7,380
MIN. LOT FRONTAGE - FEET	80	217.6 (ELM)	105.3	157.7
MIN. FRONT SETBACK - FEET	25	10.5 ⁽²⁾	13.1*	6.0*
MIN. SIDE SETBACK - FEET	15	4.5*	8.8*	21.1
MIN. REAR SETBACK - FEET	30	46.3	32.9	12.6*
MAX. BUILDING COVERAGE	30%	±11.7%	±21.3%	±21.3%
MIN. OPEN SPACE	50%	±82.3%	±60.6%	±66.0%

- LAND USE NOTES:
- ANY "NEW" LOT SUBDIVIDED FOR USE AS A SINGLE-FAMILY DWELLING UNIT, THE MINIMUM LOT SIZE SHALL BE 5,000-SF. FOR ANY NEW LOT SUBDIVIDED FOR USE AS A TWO OR THREE FAMILY DWELLING, THE MINIMUM LOT SIZE SHALL BE 8,000-SF.
 - PRE-EXISTING NON-CONFORMING STRUCTURE.
- PROPOSED DIMENSIONAL WAIVER REQUEST.

FOR REGISTRY USE ONLY
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ENGINEER _____ DATE _____

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PLANNING BOARD

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REVISIONS	

APPLICANT: **RIVER'S EDGE DEVELOPMENT, LLC**
88 ELM STREET
SALISBURY, MA 01952

PROJECT: **201 ELM STREET & 6 MONROE STREET**
AMESBURY, MA 01913

DATE ISSUED:	FEBRUARY 24, 2025
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PREPARED BY:	MAC

PROFESSIONAL ENGINEER FOR CIVIL DESIGN
CONSULTANTS, INC.

CIVIL DESIGN CONSULTANTS, INC.
344 North Main Street | Andover - MA 01810
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DRAWING TITLE:
LAYOUT & MATERIALS PLAN

DRAWING #:
C-3



TEST PIT SCHEDULE

LOCATION: 201 ELM STREET DATE: FEBRUARY 7, 2025 PERFORMED BY: THOMAS SCHOMBURG (CIVIL DESIGN CONSULTANTS, INC.)		
TP-1		
DEPTH	COLOR	TEXTURE
0"-10"	10YR 3/2	L
10"-30"	7.5YR 5/8	SL
30"-90"	10YR 5/6	LS
EXISTING GRADE: 101.4 SHWT: 78" ROOTS: 40" NO WATER OBSERVED NO REFUSAL		
TP-2		
DEPTH	COLOR	TEXTURE
0"-8"	10YR 5/8	SL
8"-22"	10YR 5/6	LS
22"-78"	10YR 6/6	S
78"-96"	10YR 6/4	S
EXISTING GRADE: 101.4 SHWT: 72" OBSERVED WATER: 92" ROOTS: 60" NO REFUSAL		
TP-3		
DEPTH	COLOR	TEXTURE
0"-6"	10YR 3/2	L
6"-12"	10YR 5/8	SL
12"-24"	10YR 5/6	LS
24"-96"	10YR 6/6	S
EXISTING GRADE: 101.2 SHWT: 84" ROOTS: 58" NO WATER OBSERVED NO REFUSAL		
TP-4		
DEPTH	COLOR	TEXTURE
0"-6"	10YR 3/2	L
6"-18"	10YR 5/8	SL
18"-92"	10YR 6/6	S
EXISTING GRADE: 105.3 SHWT: 86" ROOTS: 42" NO WATER OBSERVED NO REFUSAL		

- PROJECT NOTES:
1. THE CONTRACTOR TO COORDINATE ALL BUILDING PENETRATIONS AND ROOF LEADER LOCATIONS WITH ARCHITECTURAL DOCUMENTS PRIOR TO CONSTRUCTION.
 2. ALL PROPOSED ROOF RUNOFF FROM NEW STRUCTURES SHALL BE DIRECTED TO THE SUBSURFACE INFILTRATION SYSTEMS VIA GUTTER & DOWNSPOUT CONNECTIONS. ROOF RUNOFF FROM THE EXISTING HISTORIC HOUSE WILL BE DIRECTED TO THE SUBSURFACE INFILTRATION SYSTEM VIA DRIP LINE TRENCH CONNECTION.
 3. ALL RETAINING WALLS OVER 4-FT IN HEIGHT ABOVE GRADE SHALL BE DESIGNED AND STAMPED BY A MASSACHUSETTS REGISTERED PROFESSIONAL.

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APPLICANT:

**RIVER'S EDGE
DEVELOPMENT, LLC**

88 ELM STREET
SALISBURY, MA 01952

PROJECT:

**201 ELM STREET &
6 MONROE STREET**

AMESBURY, MA 01913

DATE ISSUED:	FEBRUARY 24, 2025
PROJECT #:	25-10704
PREPARED BY:	MAC

06/02/25

PROFESSIONAL ENGINEER FOR CIVIL DESIGN
CONSULTANTS, INC.

CIVIL
DESIGN
CONSULTANTS, INC.

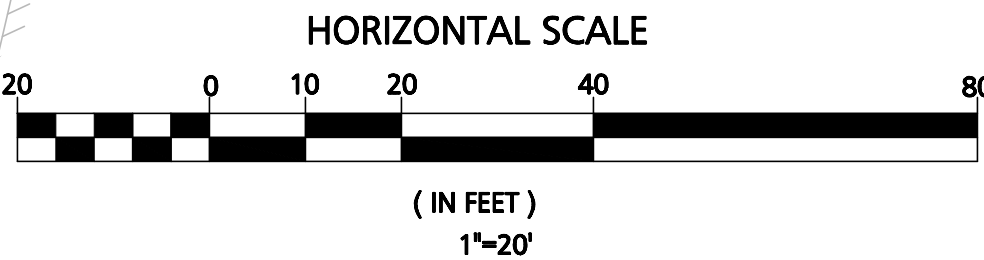
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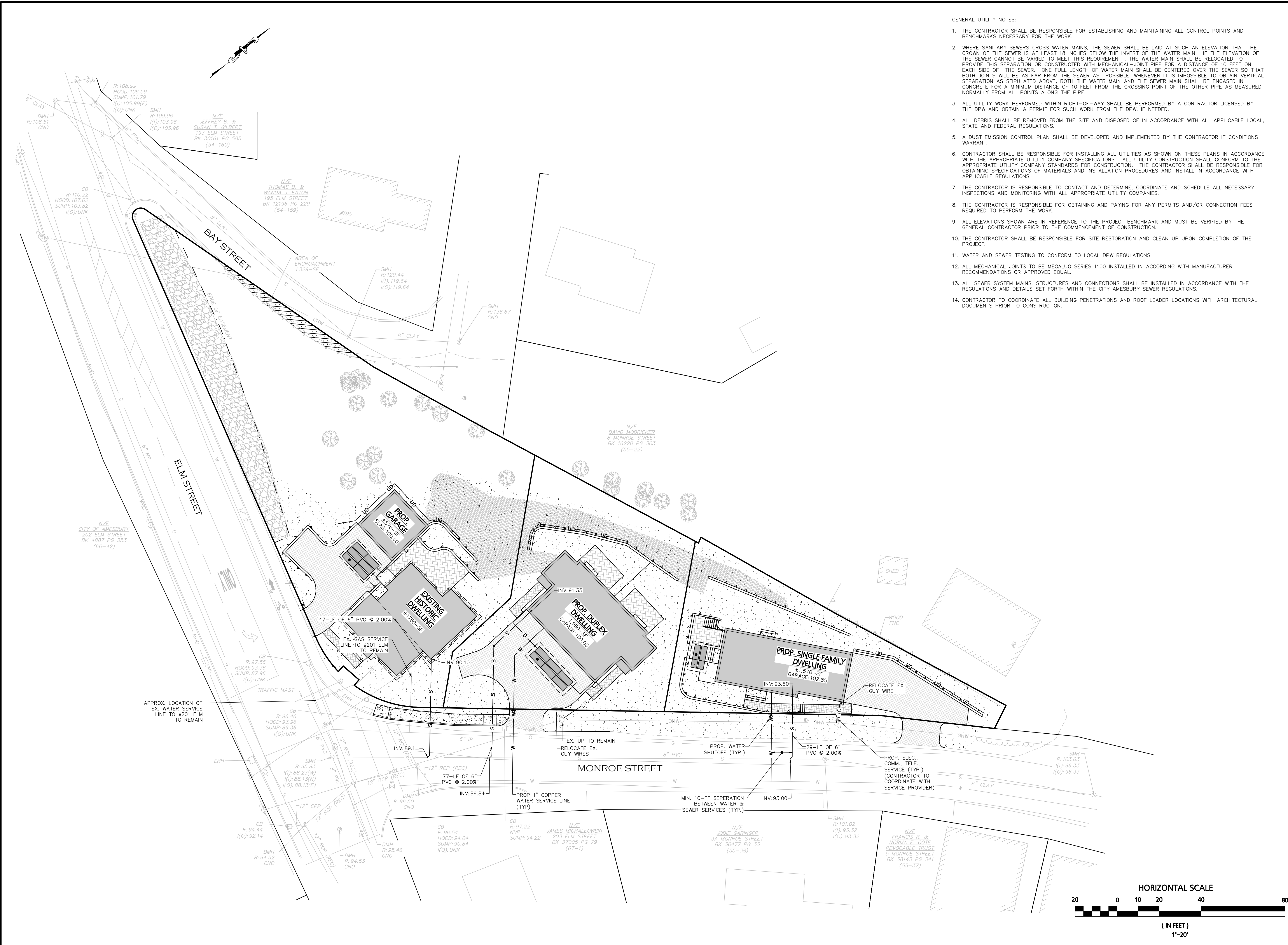
DRAWING TITLE:

**GRADING &
DRAINAGE PLAN**

DRAWING #:

C-4





- GENERAL UTILITY NOTES:
1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING ALL CONTROL POINTS AND BENCHMARKS NECESSARY FOR THE WORK.
 2. WHERE SANITARY SEWERS CROSS WATER MAINS, THE SEWER SHALL BE LAID AT SUCH AN ELEVATION THAT THE CROWN OF THE SEWER IS AT LEAST 18 INCHES BELOW THE INVERT OF THE WATER MAIN. IF THE ELEVATION OF THE SEWER CANNOT BE VARIED TO MEET THIS REQUIREMENT, THE WATER MAIN SHALL BE RELOCATED TO PROVIDE THIS SEPARATION OR CONSTRUCTED WITH MECHANICAL-JOINT PIPE FOR A DISTANCE OF 10 FEET ON EACH SIDE OF THE SEWER. ONE FULL LENGTH OF WATER MAIN SHALL BE CENTERED OVER THE SEWER SO THAT BOTH JOINTS WILL BE AS FAR FROM THE SEWER AS POSSIBLE. WHENEVER IT IS IMPOSSIBLE TO OBTAIN VERTICAL SEPARATION AS STIPULATED ABOVE, BOTH THE WATER MAIN AND THE SEWER MAIN SHALL BE ENCASED IN CONCRETE FOR A MINIMUM DISTANCE OF 10 FEET FROM THE CROSSING POINT OF THE OTHER PIPE AS MEASURED NORMALLY FROM ALL POINTS ALONG THE PIPE.
 3. ALL UTILITY WORK PERFORMED WITHIN RIGHT-OF-WAY SHALL BE PERFORMED BY A CONTRACTOR LICENSED BY THE DPW AND OBTAIN A PERMIT FOR SUCH WORK FROM THE DPW, IF NEEDED.
 4. ALL DEBRIS SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS.
 5. A DUST EMISSION CONTROL PLAN SHALL BE DEVELOPED AND IMPLEMENTED BY THE CONTRACTOR IF CONDITIONS WARRANT.
 6. CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING ALL UTILITIES AS SHOWN ON THESE PLANS IN ACCORDANCE WITH THE APPROPRIATE UTILITY COMPANY SPECIFICATIONS. ALL UTILITY CONSTRUCTION SHALL CONFORM TO THE APPROPRIATE UTILITY COMPANY STANDARDS FOR CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING SPECIFICATIONS OF MATERIALS AND INSTALLATION PROCEDURES AND INSTALL IN ACCORDANCE WITH APPLICABLE REGULATIONS.
 7. THE CONTRACTOR IS RESPONSIBLE TO CONTACT AND DETERMINE, COORDINATE AND SCHEDULE ALL NECESSARY INSPECTIONS AND MONITORING WITH ALL APPROPRIATE UTILITY COMPANIES.
 8. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND PAYING FOR ANY PERMITS AND/OR CONNECTION FEES REQUIRED TO PERFORM THE WORK.
 9. ALL ELEVATIONS SHOWN ARE IN REFERENCE TO THE PROJECT BENCHMARK AND MUST BE VERIFIED BY THE GENERAL CONTRACTOR PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
 10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SITE RESTORATION AND CLEAN UP UPON COMPLETION OF THE PROJECT.
 11. WATER AND SEWER TESTING TO CONFORM TO LOCAL DPW REGULATIONS.
 12. ALL MECHANICAL JOINTS TO BE MEGALUG SERIES 1100 INSTALLED IN ACCORDING WITH MANUFACTURER RECOMMENDATIONS OR APPROVED EQUAL.
 13. ALL SEWER SYSTEM MAINS, STRUCTURES AND CONNECTIONS SHALL BE INSTALLED IN ACCORDANCE WITH THE REGULATIONS AND DETAILS SET FORTH WITHIN THE CITY AMESBURY SEWER REGULATIONS.
 14. CONTRACTOR TO COORDINATE ALL BUILDING PENETRATIONS AND ROOF LEADER LOCATIONS WITH ARCHITECTURAL DOCUMENTS PRIOR TO CONSTRUCTION.

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88 ELM STREET
SALISBURY, MA 01952

PROJECT:

**201 ELM STREET &
6 MONROE STREET**

AMESBURY, MA 01913

DATE ISSUED:	FEBRUARY 24, 2025
PROJECT #:	25-10704
PREPARED BY:	MAC

Professional Engineer Seal for James E. Hanley, Civil Engineer, No. 47708, State of Massachusetts. Signature: J. Hanley, Date: 06/02/25.

PROFESSIONAL ENGINEER FOR CIVIL DESIGN
CONSULTANTS, INC.

CIVIL
DESIGN
CONSULTANTS, INC.

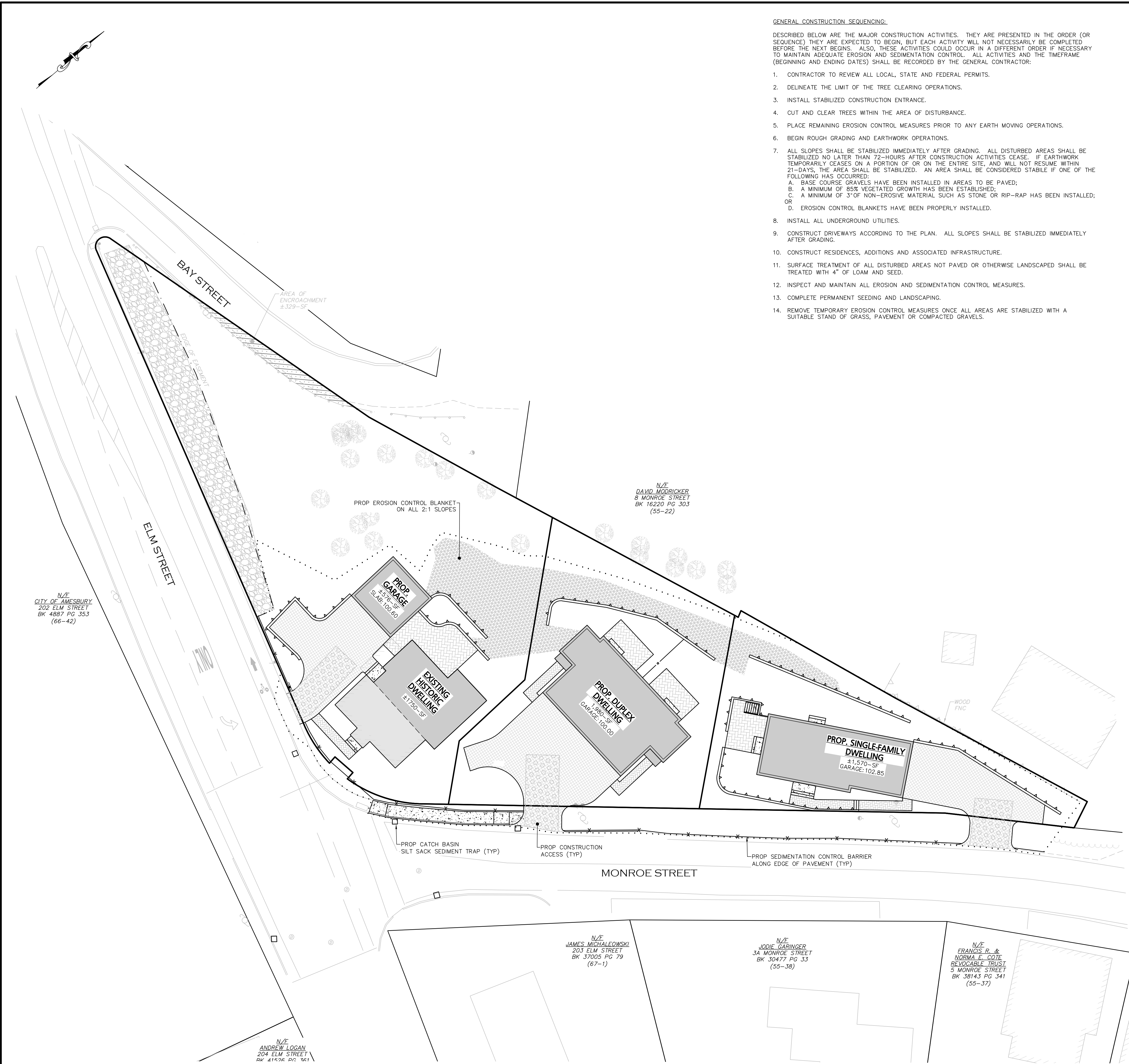
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DRAWING TITLE:

UTILITIES PLAN

DRAWING #:

C-5



GENERAL CONSTRUCTION SEQUENCING:

DESCRIBED BELOW ARE THE MAJOR CONSTRUCTION ACTIVITIES. THEY ARE PRESENTED IN THE ORDER (OR SEQUENCE) THEY ARE EXPECTED TO BEGIN, BUT EACH ACTIVITY WILL NOT NECESSARILY BE COMPLETED BEFORE THE NEXT BEGINS. ALSO, THESE ACTIVITIES COULD OCCUR IN A DIFFERENT ORDER IF NECESSARY TO MAINTAIN ADEQUATE EROSION AND SEDIMENTATION CONTROL. ALL ACTIVITIES AND THE TIMEFRAME (BEGINNING AND ENDING DATES) SHALL BE RECORDED BY THE GENERAL CONTRACTOR:

1. CONTRACTOR TO REVIEW ALL LOCAL, STATE AND FEDERAL PERMITS.
2. DELINEATE THE LIMIT OF THE TREE CLEARING OPERATIONS.
3. INSTALL STABILIZED CONSTRUCTION ENTRANCE.
4. CUT AND CLEAR TREES WITHIN THE AREA OF DISTURBANCE.
5. PLACE REMAINING EROSION CONTROL MEASURES PRIOR TO ANY EARTH MOVING OPERATIONS.
6. BEGIN ROUGH GRADING AND EARTHWORK OPERATIONS.
7. ALL SLOPES SHALL BE STABILIZED IMMEDIATELY AFTER GRADING. ALL DISTURBED AREAS SHALL BE STABILIZED NO LATER THAN 72-HOURS AFTER CONSTRUCTION ACTIVITIES CEASE. IF EARTHWORK TEMPORARILY CEASES ON A PORTION OF OR ON THE ENTIRE SITE, AND WILL NOT RESUME WITHIN 21-DAYS, THE AREA SHALL BE STABILIZED. AN AREA SHALL BE CONSIDERED STABLE IF ONE OF THE FOLLOWING HAS OCCURRED:
A. BASE COURSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED;
B. A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED;
C. A MINIMUM OF 3" OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIP-RAP HAS BEEN INSTALLED;
OR
D. EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.
8. INSTALL ALL UNDERGROUND UTILITIES.
9. CONSTRUCT DRIVEWAYS ACCORDING TO THE PLAN. ALL SLOPES SHALL BE STABILIZED IMMEDIATELY AFTER GRADING.
10. CONSTRUCT RESIDENCES, ADDITIONS AND ASSOCIATED INFRASTRUCTURE.
11. SURFACE TREATMENT OF ALL DISTURBED AREAS NOT PAVED OR OTHERWISE LANDSCAPED SHALL BE TREATED WITH 4" OF LOAM AND SEED.
12. INSPECT AND MAINTAIN ALL EROSION AND SEDIMENTATION CONTROL MEASURES.
13. COMPLETE PERMANENT SEEDING AND LANDSCAPING.
14. REMOVE TEMPORARY EROSION CONTROL MEASURES ONCE ALL AREAS ARE STABILIZED WITH A SUITABLE STAND OF GRASS, PAVEMENT OR COMPACTED GRAVELS.

GENERAL EROSION CONTROL NOTES

1. PRIOR TO THE COMMENCEMENT OF CONSTRUCTION ACTIVITIES, THE CONTRACTOR SHALL INSTALL ALL EROSION AND SEDIMENT CONTROL DEVICE AS SHOWN ON THE PLAN. ALL EROSION CONTROL DEVICES SHALL BE MAINTAINED IN EFFECTIVE CONDITION DURING CONSTRUCTION.
2. THE CONTRACTOR IS RESPONSIBLE FOR THE TIMELY INSTALLATION, INSPECTION, MAINTENANCE, AND/OR REPLACEMENT OF ALL TEMPORARY AND PERMANENT EROSION CONTROL DEVICES TO ENSURE PROPER OPERATION THROUGHOUT THE LIFE OF THE PROJECT. THE CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE OF PERMANENT MEASURES UNTIL CONSTRUCTION OF THE PROJECT IS COMPLETED OR UNTIL IT IS ACCEPTED BY THE OWNER. THE OWNER IS RESPONSIBLE THEREAFTER.
3. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CLEAN ROADS, CONTROL DUST, AND TAKE ALL NECESSARY MEASURES TO ENSURE THAT THE SITE AND ALL ROADS BE MAINTAINED IN A MUD AND DUST-FREE CONDITION AT ALL TIMES THROUGHOUT THE LIFE OF THE CONTRACT. DUST CONTROL SHALL INCLUDE, BUT IS NOT LIMITED TO, WATER, CALCIUM CHLORIDE, AND/OR CRUSHED STONE OR COARSE GRAVEL.
4. ALL PROPOSED CONSTRUCTION ENTRANCES SHALL BE CONSTRUCTED AS SHOWN ON THE PLANS AND DETAILS. ALL VEHICLE TRAFFIC ENTERING OR EXITING THE WORK AREA SHALL PASS OVER THE CONSTRUCTION ENTRANCES TO REDUCE THE TRACKING OR FLOWING OF SEDIMENT ONTO THE SURROUNDING ROADWAYS.
5. THE CONTRACTOR SHALL INSTALL ALL PERIMETER SEDIMENT CONTROL BARRIERS AS SHOWN ON THE SITE DEVELOPMENT PLANS. SILT FENCE SHALL ALSO BE INSTALLED AROUND ANY SOIL STOCKPILE AREAS.
6. THE CONTRACTOR SHALL RESTORE DISTURBED AREAS AS CLOSELY AS POSSIBLE. AREAS DAMAGED DURING CONSTRUCTION SHALL BE RESEDED, RESEED, OR OTHERWISE RESTORED TO THEIR ORIGINAL STATE. TREES AND OTHER EXISTING VEGETATION SHALL BE RETAINED WHEREVER FEASIBLE.
7. TEMPORARY VEGETATIVE COVER SHALL BE APPLIED TO ANY DISTURBED AREAS (INCLUDING SOIL STOCKPILE AREAS) THAT HAVE NOT YET REACHED FINISHED GRADE AS SOON AS POSSIBLE, BUT NOT MORE THAN FOURTEEN (14) DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT AREA HAS TEMPORARILY CEASED, UNLESS THE ACTIVITY IS TO RESUME WITHIN TWENTY-ONE (21) DAYS. THE RECOMMENDED TEMPORARY SEEDING DATES ARE MARCH 1 TO JUNE 15 AND AUGUST 15 TO OCTOBER 1.
8. PERMANENT VEGETATIVE COVER SHALL BE APPLIED TO ALL DISTURBED AREAS THAT HAVE REACHED FINISHED GRADE AS SOON AS POSSIBLE, BUT NOT MORE THAN FOURTEEN (14) DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT AREA HAS PERMANENTLY CEASED. THE RECOMMENDED PERMANENT SEEDING DATES ARE APRIL 1 TO JUNE 15 AND AUGUST 15 TO OCTOBER 1.
9. AREAS WHICH HAVE BEEN TEMPORARILY OR PERMANENTLY SEEDED SHOULD BE MULCHED IMMEDIATELY FOLLOWING SEEDING IN ADDITION TO AREAS WHICH CANNOT BE SEEDED WITHIN THE RECOMMENDED SEEDING DATES AND ANY SOIL STOCKPILE AREAS. TEMPORARY MULCHING SHOULD BE PERFORMED AS SOON AS POSSIBLE, BUT NOT MORE THAN FOURTEEN (14) DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT AREA HAS TEMPORARILY CEASED UNLESS THE ACTIVITY IS TO RESUME WITHIN TWENTY-ONE (21) DAYS.
10. STRAW OR HAY MULCH, WOOD FIBER MULCH, AND HYDROMULCH ARE RECOMMENDED. THE MATERIALS USED IN MULCHING SHALL CONFORM TO THE REQUIREMENTS LISTED IN SECTION M6.04.0 OF THE MASSACHUSETTS HIGHWAY DEPARTMENT STANDARD SPECIFICATIONS FOR HIGHWAY AND BRIDGES.
11. IF SEEDING CANNOT BE COMPLETED IMMEDIATELY OR WITHIN THE RECOMMENDED SEEDING DATES, USE THE TEMPORARY MULCHING MEASURE TO PROTECT THE SITE AND DELAY SEEDING UNTIL THE NEXT RECOMMENDED SEEDING PERIOD.
12. ANY EXISTING CATCH BASINS THAT MAY BE SUBJECT TO SEDIMENTATION PROCESSES SHALL HAVE SILT SACKS INSTALLED TO PREVENT SEDIMENT FROM ENTERING THE PROPOSED STORM DRAINAGE SYSTEM PRIOR TO PERMANENT STABILIZATION OF THE DISTURBED SITE. THE PROPER INLET PROTECTION DEVICES SHALL BE INSTALLED WHERE STORM DRAIN INLETS ARE TO BE MADE OPERATIONAL BEFORE PERMANENT STABILIZATION OF ANY DISTURBED DRAINAGE AREA.
13. ALL EROSION AND SEDIMENT CONTROL MEASURES WILL BE CONSTRUCTED IN ACCORDANCE WITH THE MASSACHUSETTS HIGHWAY DEPARTMENT STANDARD SPECIFICATIONS FOR HIGHWAY AND BRIDGES AND VOLUME TWO OF THE MASSACHUSETTS STORM WATER MANAGEMENT HANDBOOK.
14. WASTE DISPOSAL: MATERIALS WHICH COULD BE A POTENTIAL SOURCE OF STORM WATER POLLUTION SUCH AS GASOLINE, DIESEL FUEL, HYDRAULIC OIL, ETC., SHALL BE STORED AT THE END OF EACH DAY IN A STORAGE TRAILER OR COVERED LOCATION AND TAKEN OFF-SITE AND PROPERLY DISPOSED OF. ALL TYPES OF WASTE GENERATED AT THIS SITE SHALL BE DISPOSED OF IN A MANNER CONSISTENT WITH STATE LAW AND/OR REGULATIONS.
15. GOOD HOUSEKEEPING: THE PROJECT SITE SHALL PROVIDE FOR THE MINIMIZATION OF EXPOSURE OF CONSTRUCTION DEBRIS (INCLUDING, BUT NOT LIMITED TO, INSULATION, WIRING, PAINTS AND PAINT CANS, SOLVENTS, WALL BOARD, ETC.) TO PRECIPITATION BY MEANS OF DISPOSAL AND/OR PROPER SHELTER OR COVER. IN ADDITION, CONSTRUCTION WASTE MUST BE PROPERLY DISPOSED OF IN ORDER TO AVOID EXPOSURE TO PRECIPITATION AT THE END OF EACH WORKING DAY.
16. NO DUST WILL BE ALLOWED ON OR OFF WORK SITE. CONTRACTOR MUST CONDUCT CONTINUOUS EFFORT TO CONTROL DUST. LACK OF DUST CONTROL COULD CAUSE THE PROJECT TO BE STOPPED UNTIL ISSUES ARE RESOLVED.
17. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTROL DUST AND TAKE ALL NECESSARY MEASURES TO ENSURE ALL ROADS ARE MAINTAINED IN A DUST FREE CONDITION AT ALL TIMES THROUGHOUT THE LIFE OF THE CONTRACT. REPETITIVE TREATMENTS SHOULD BE APPLIED AS NECESSARY.
18. REPAIRS OR REPLACEMENT OF DRAINAGE STRUCTURES, RIP RAP CHANNELS, OR OTHER ELEMENTS OF THE FACILITY SHOULD BE DONE WITHIN 14 DAYS OF DEFICIENCY REPORTS. IF AN EMERGENCY SITUATION IS IMMINENT THEN REPAIR/REPLACEMENT MUST BE DONE IMMEDIATELY TO AVERT FAILURE OR DANGER TO NEARBY RESIDENTS.
19. IMMEDIATELY PRIOR TO THE END OF CONSTRUCTION OR ACCEPTANCE BY THE OWNER, THE CONTRACTOR SHALL INSPECT ALL ON-SITE STORMWATER MANAGEMENT FACILITIES AND CLEAN AND FLUSH AS NECESSARY.
20. THE GENERAL CONTRACTOR OR NOMINEE WILL BE THE PARTY RESPONSIBLE FOR THE INSPECTION, MAINTENANCE, AND REQUIRED DOCUMENTATION OF ALL STORM WATER STRUCTURES AS OUTLINED WITHIN.

FOR REGISTRY USE ONLY

THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE RULES AND REGULATIONS FOR RECORDING ADOPTED BY THE REGISTERS OF DEEDS IN 1978 AND AMENDED JANUARY 12, 1988.

APPROVED BY THE CITY OF AMESBURY PLANNING BOARD

CERTIFICATE OF ACTION

DATE OF ENDORSEMENT

DATE DESCRIPTION REVISIONS

APPLICANT:

RIVER'S EDGE DEVELOPMENT, LLC
88 ELM STREET
SALISBURY, MA 01952

PROJECT:

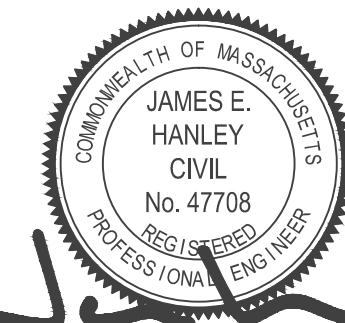
201 ELM STREET &
6 MONROE STREET

AMESBURY, MA 01913

DATE ISSUED: JUNE 2, 2025

PROJECT #: 25-10704

PREPARED BY: MAC



06/02/25

PROFESSIONAL ENGINEER FOR CIVIL DESIGN CONSULTANTS, INC.



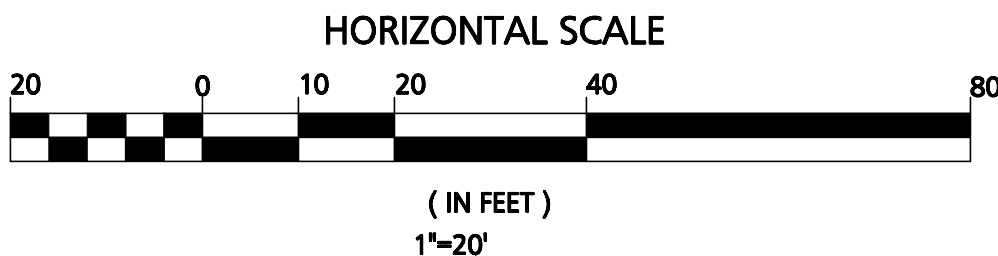
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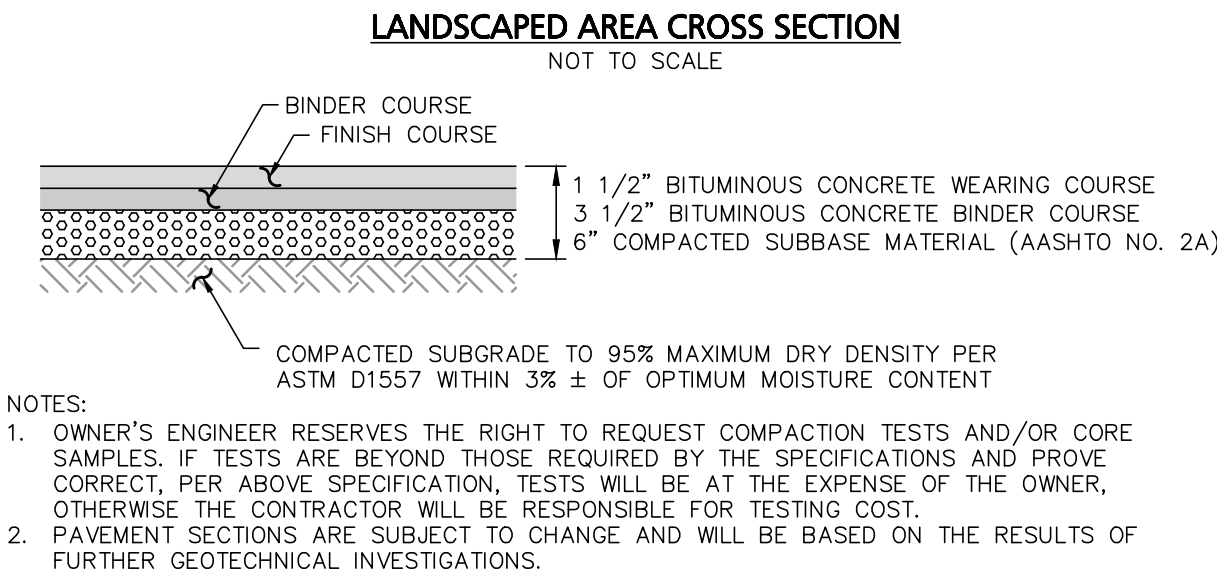
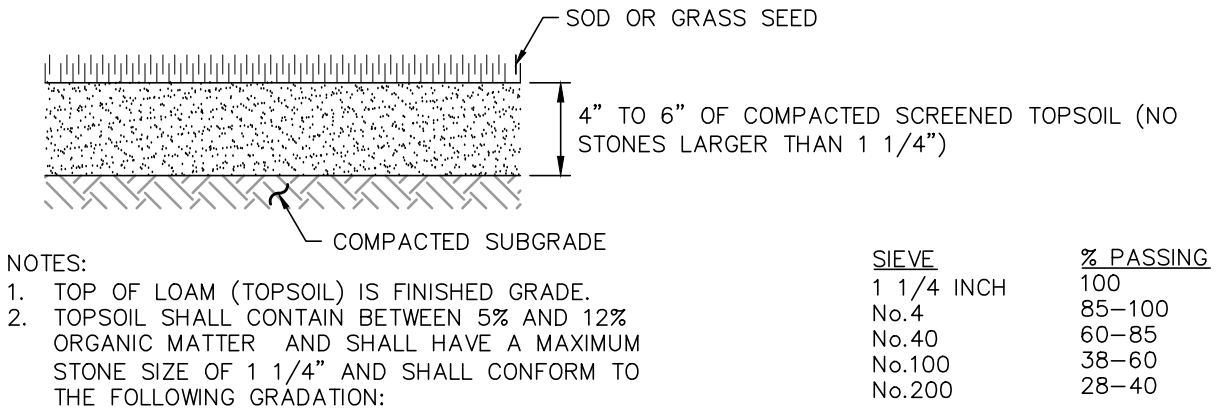
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CONSTRUCTION PERIOD
POLLUTION PREVENTION PLAN

DRAWING #:

C-4

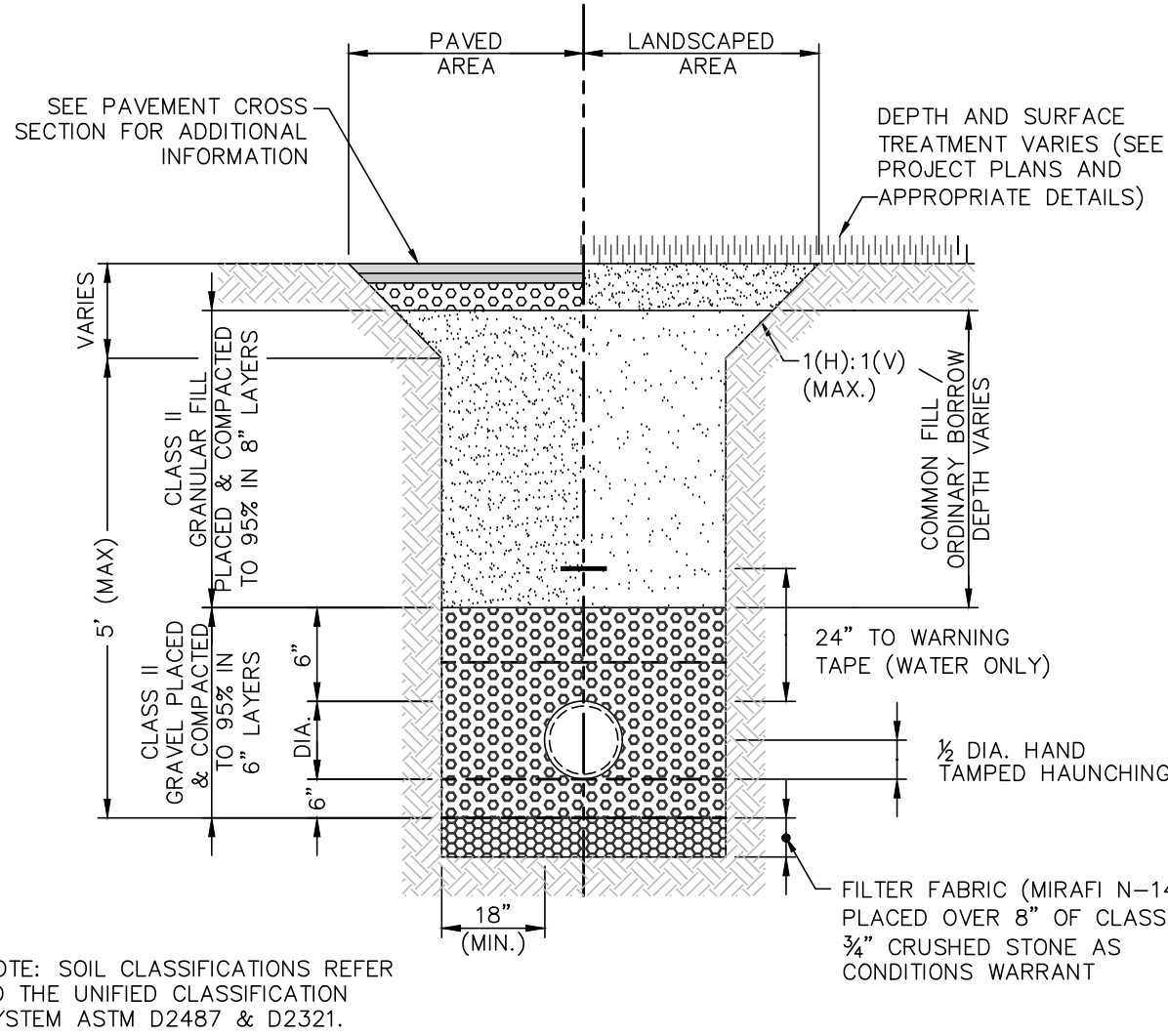




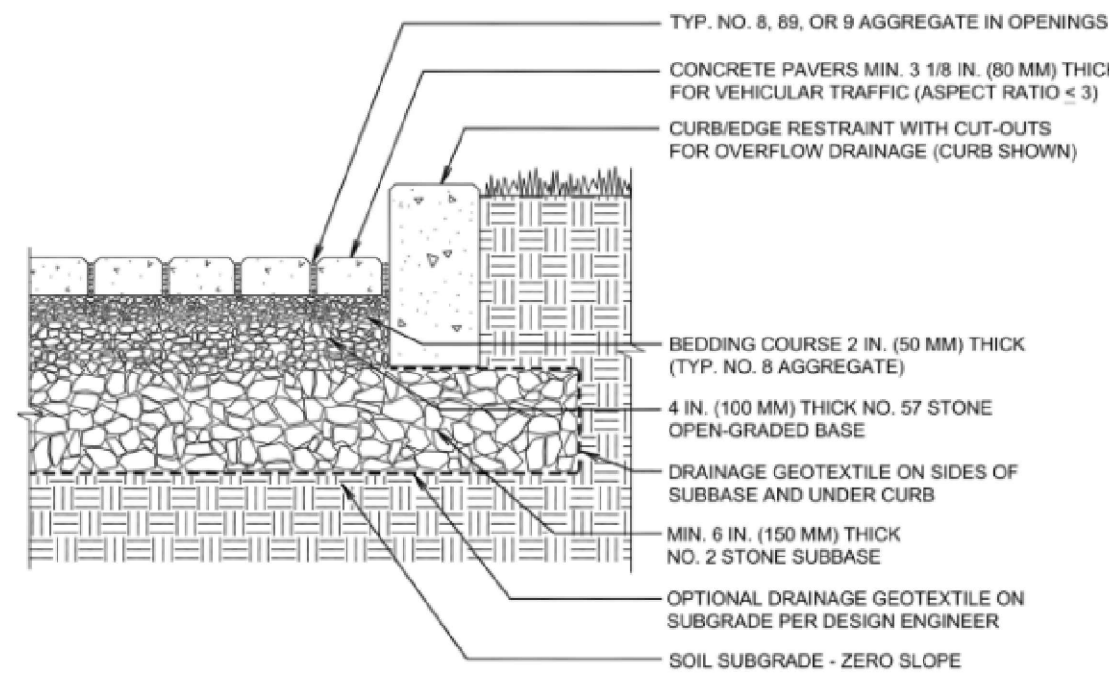
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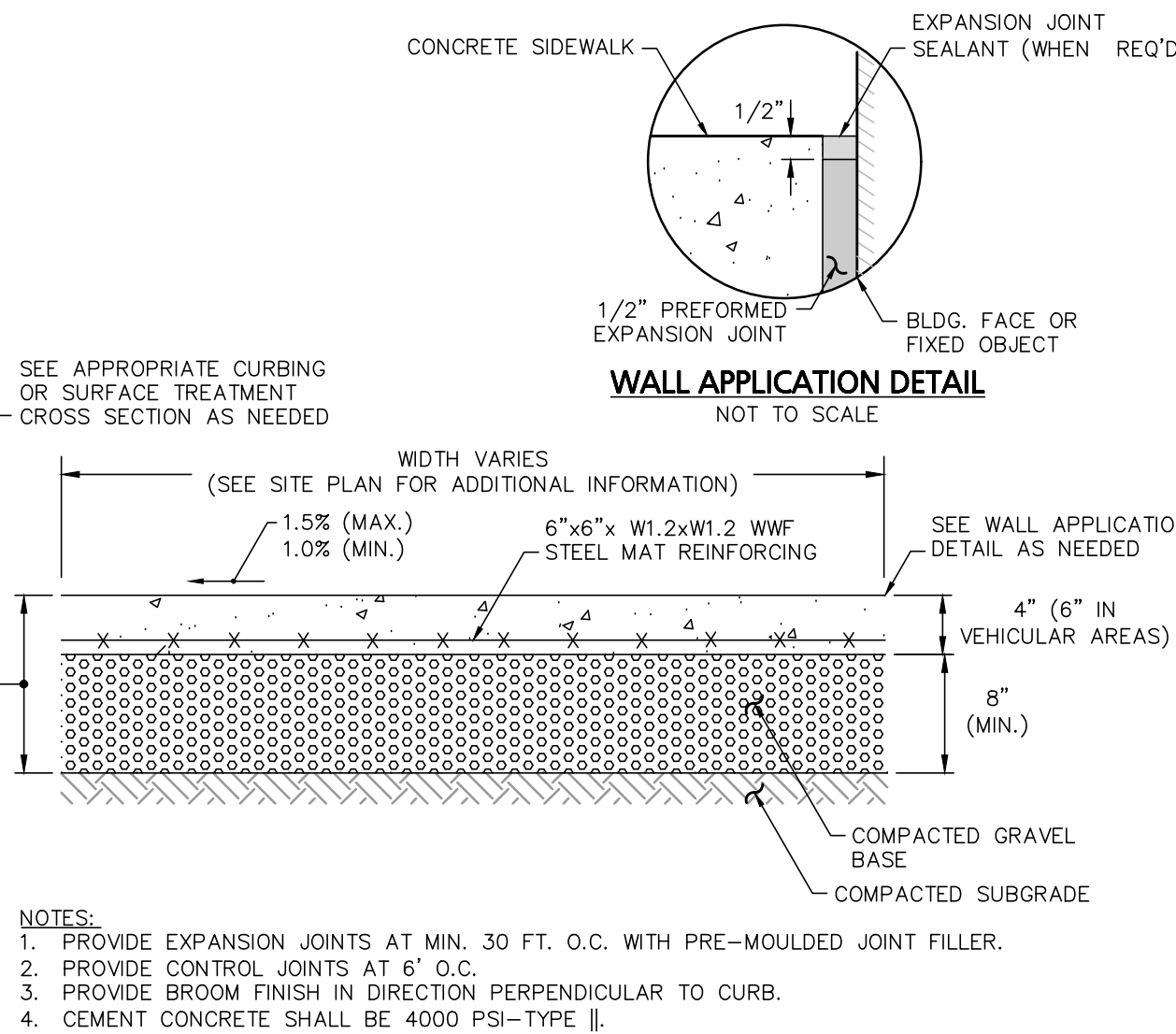
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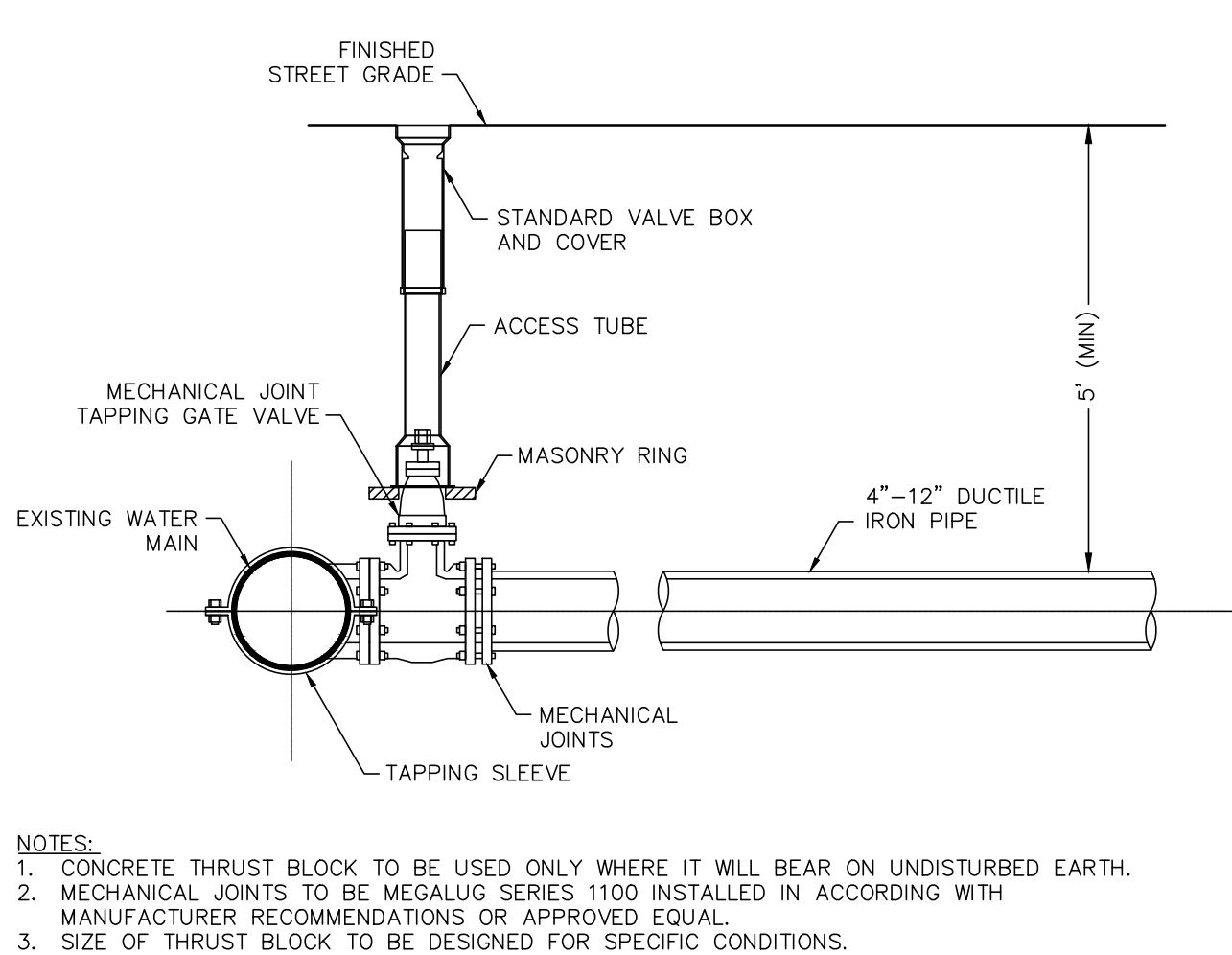
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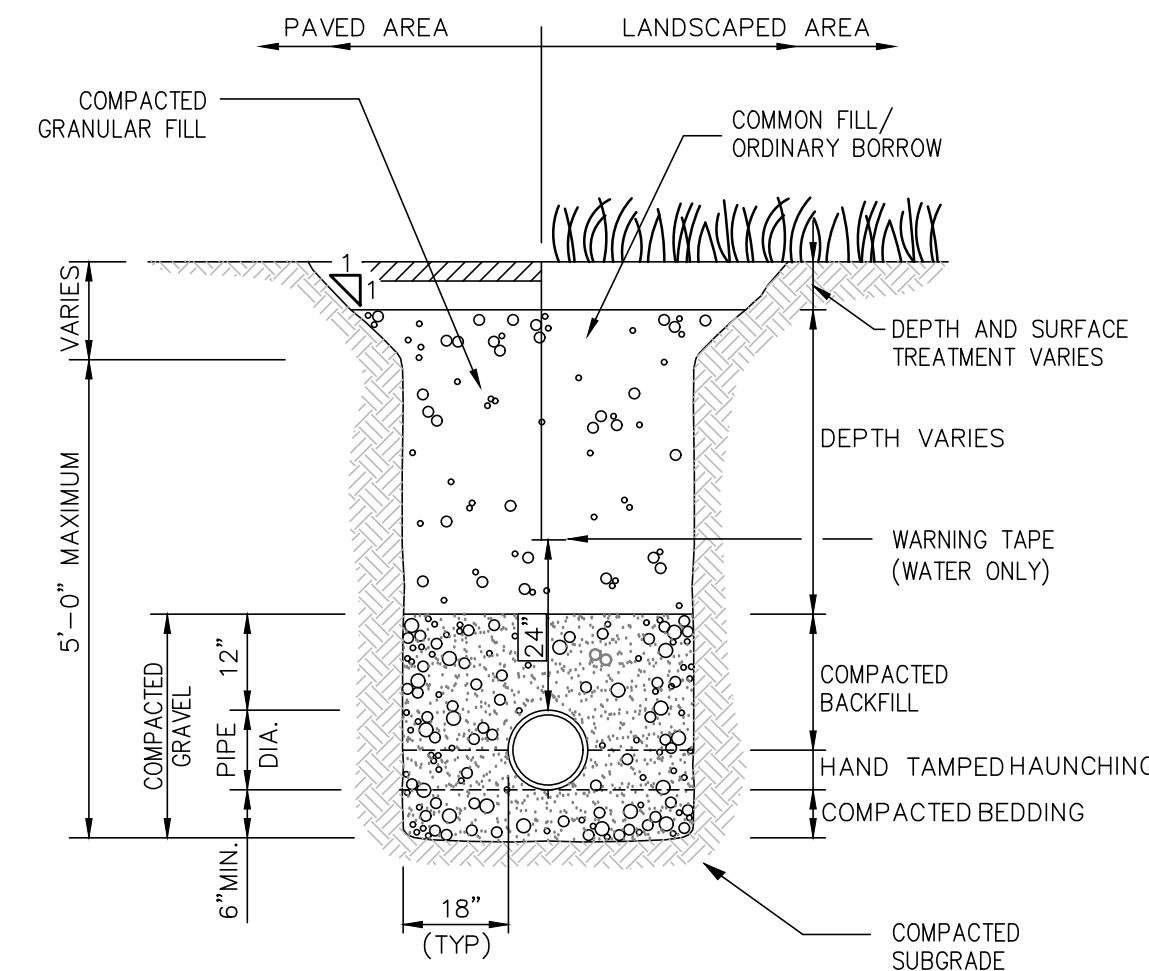
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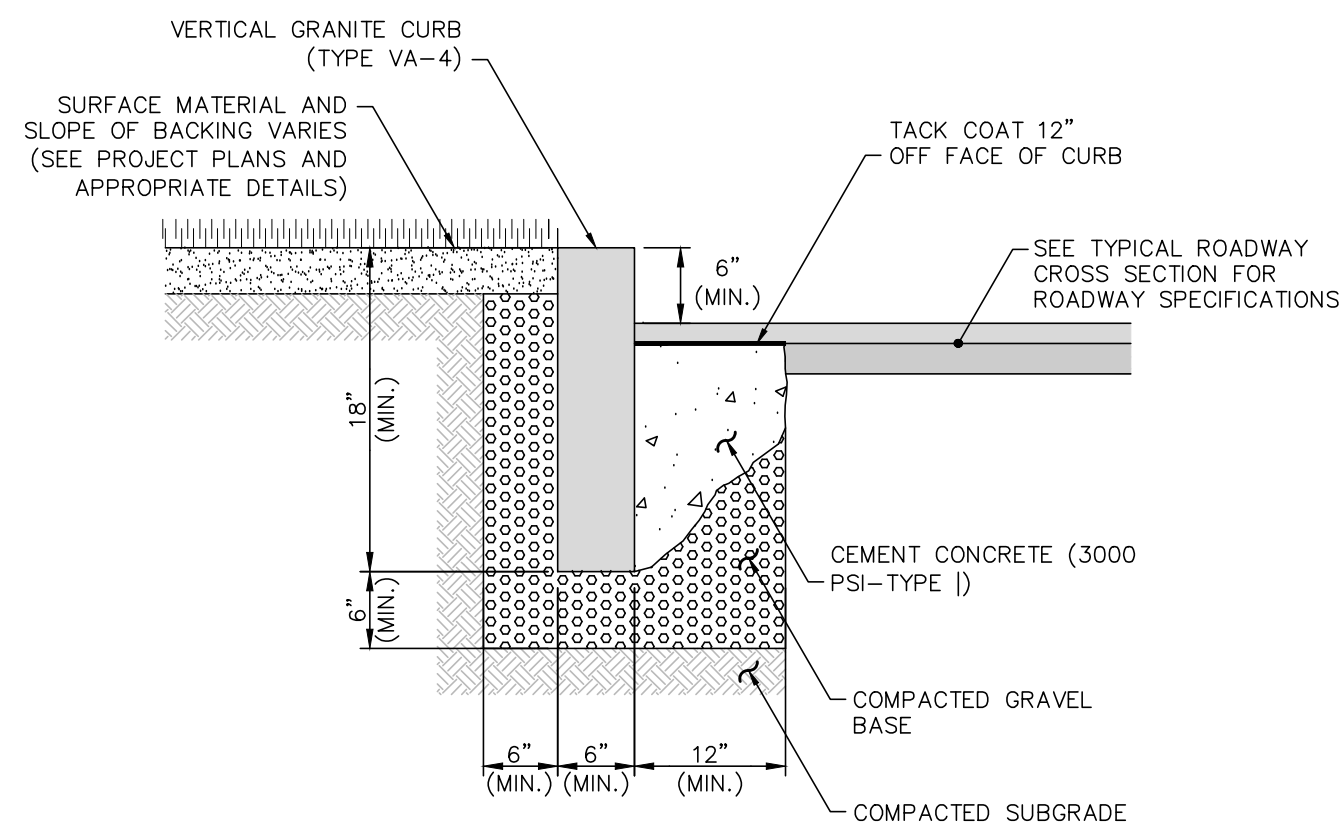
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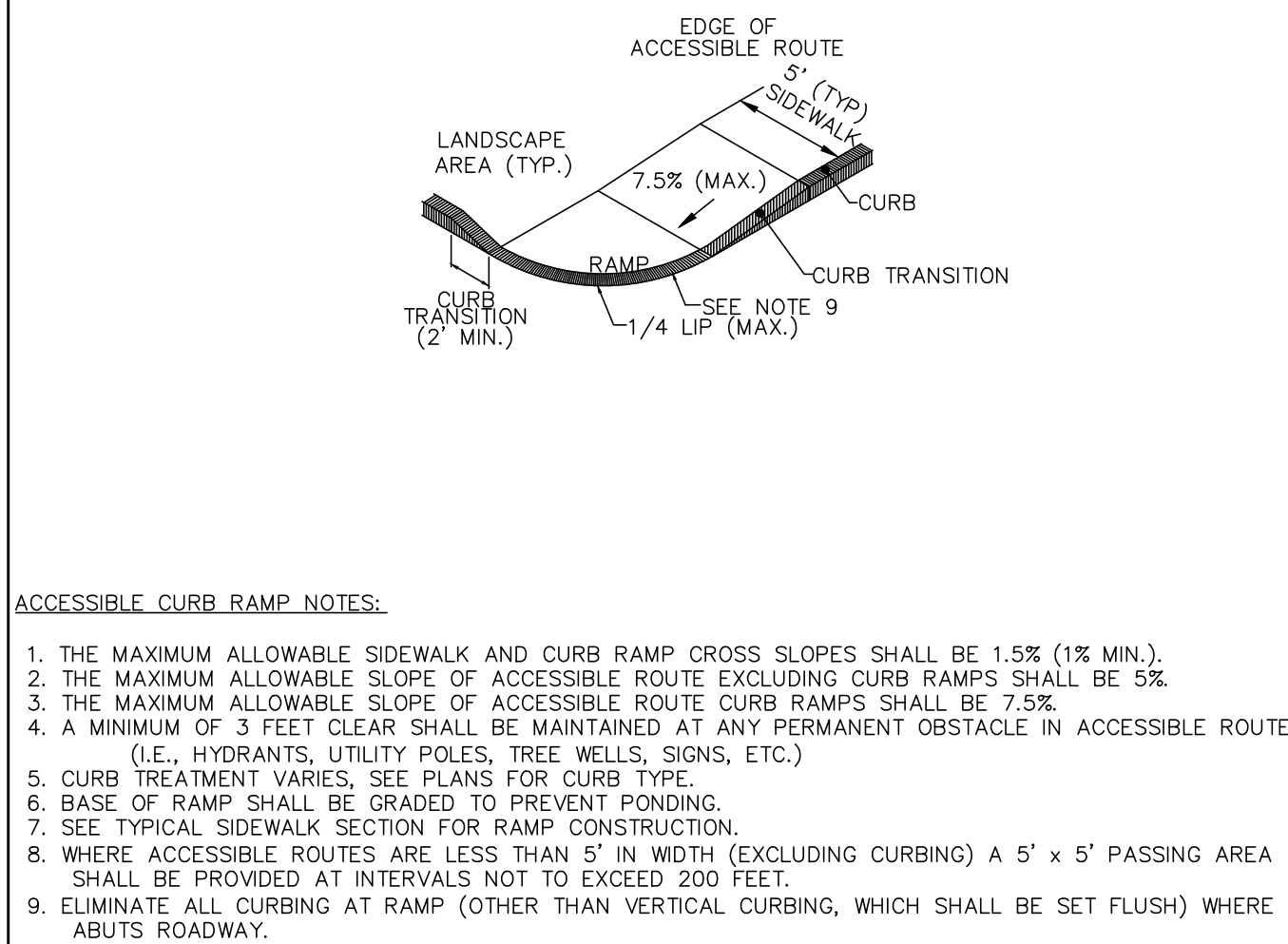
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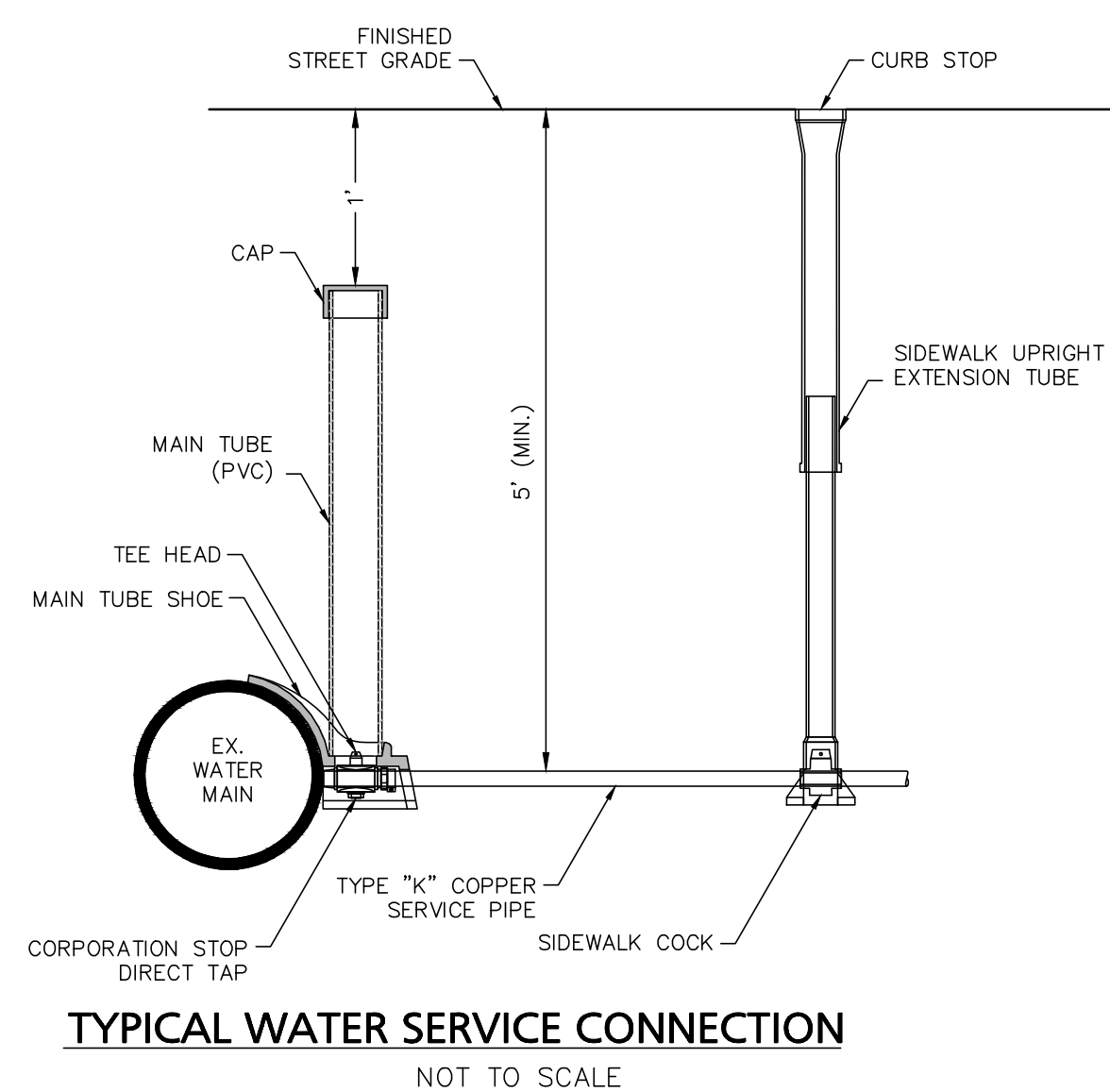
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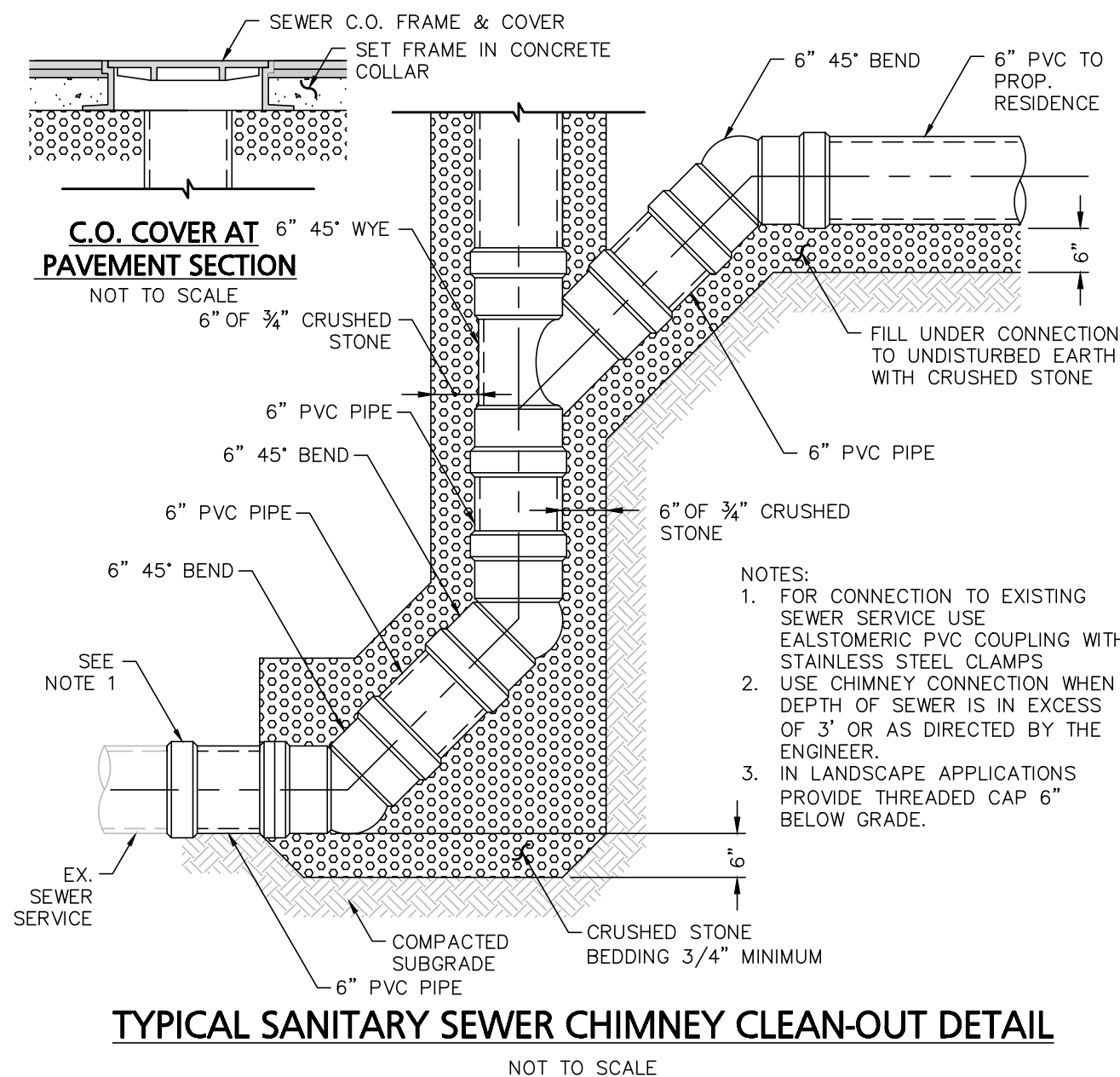
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ADA COMPLIANT ACCESSIBLE CURB RAMP DETAIL
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TYPICAL WATER SERVICE CONNECTION
NOT TO SCALE



TYPICAL SANITARY SEWER CHIMNEY CLEAN-OUT DETAIL
NOT TO SCALE

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ENGINEER DATE

APPROVED BY THE CITY OF AMESBURY PLANNING BOARD

CERTIFICATE OF ACTION

DATE OF ENDORSEMENT

06/02/25 REV. TO ADDRESS REVIEW COMMENTS

04/18/25 REV. PER CITY COMMENTS

DATE DESCRIPTION

REVISIONS

OWNER / APPLICANT:

RIVER'S EDGE DEVELOPMENT, LLC

88 ELM STREET SALISBURY, MA 01952

PROJECT:

201 ELM STREET & 6 MONROE STREET

AMESBURY, MA 01913

DATE ISSUED: FEBRUARY 24, 2025

PROJECT #: 25-10704

PREPARED BY: MAC

PROFESSIONAL ENGINEER FOR CIVIL DESIGN CONSULTANTS, INC.

06/02/25

CIVIL DESIGN CONSULTANTS, INC.

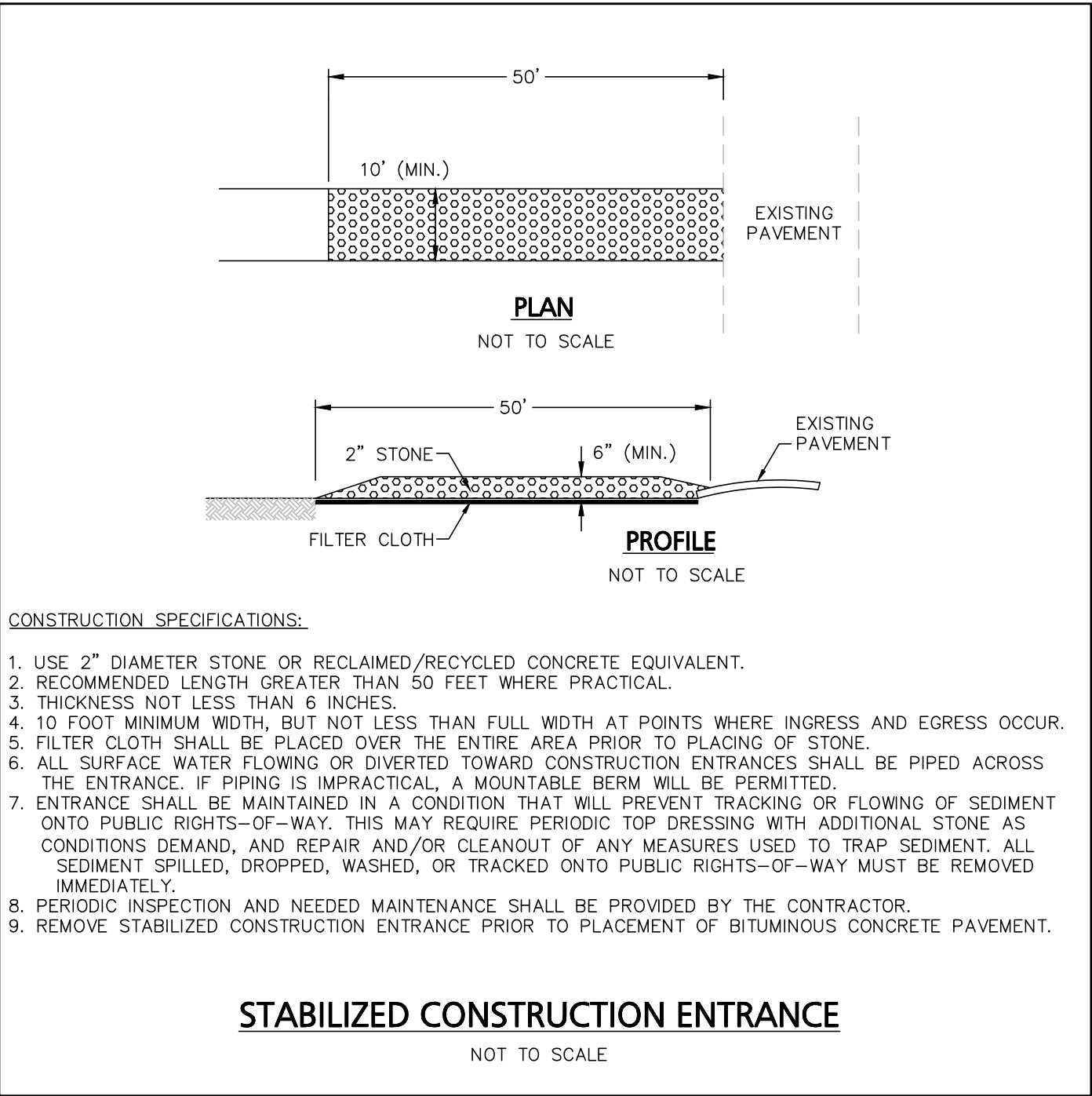
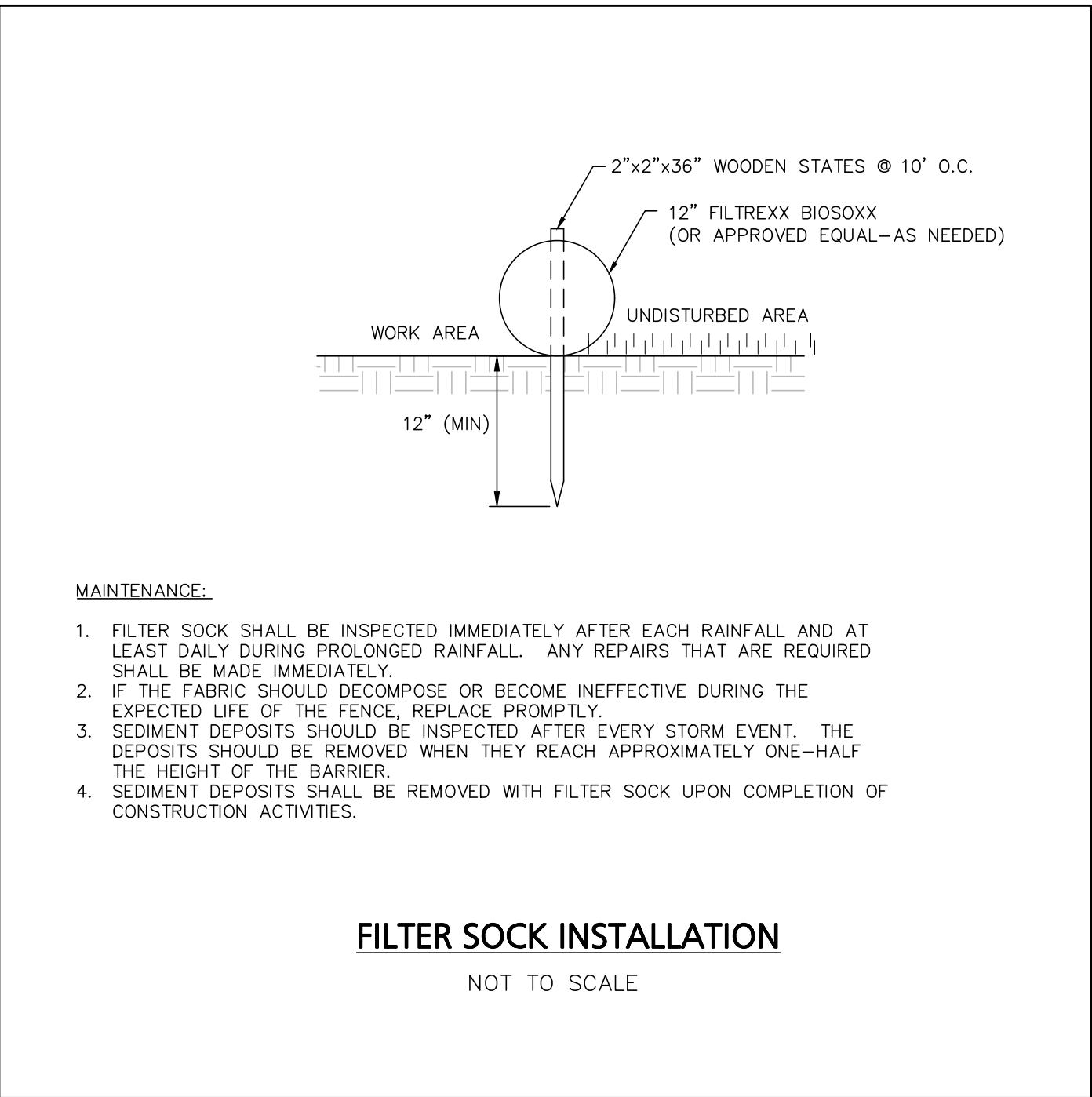
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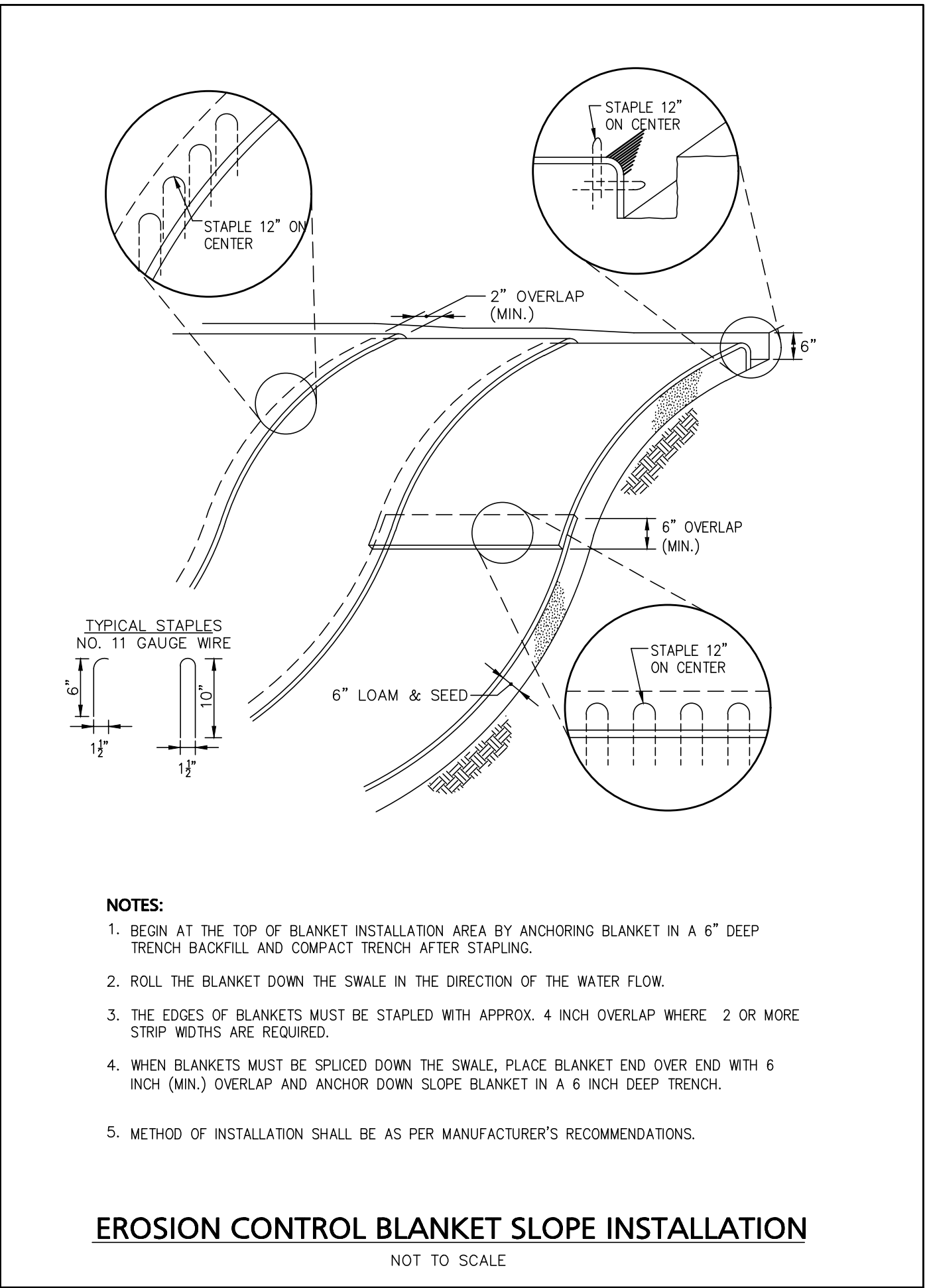
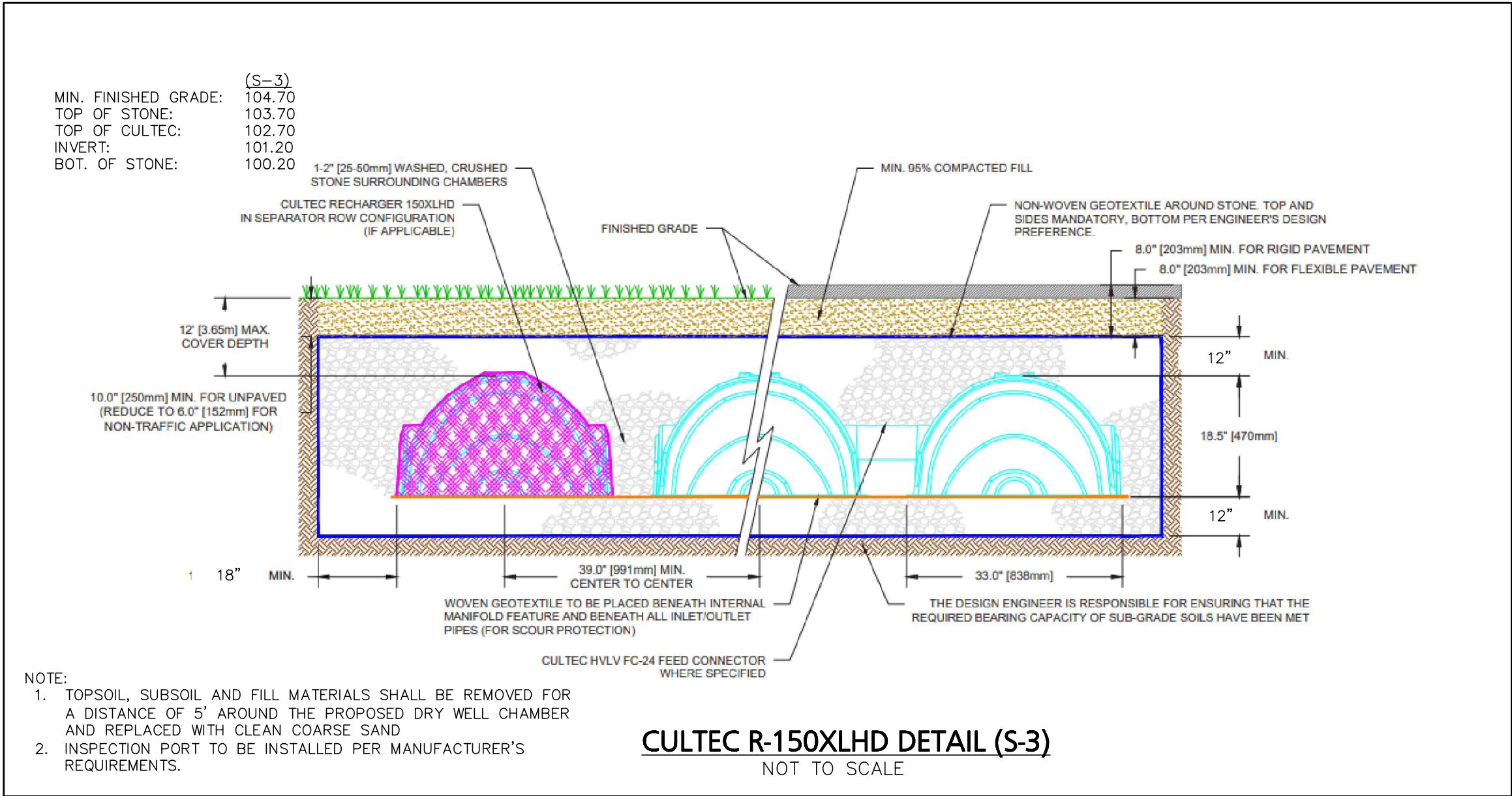
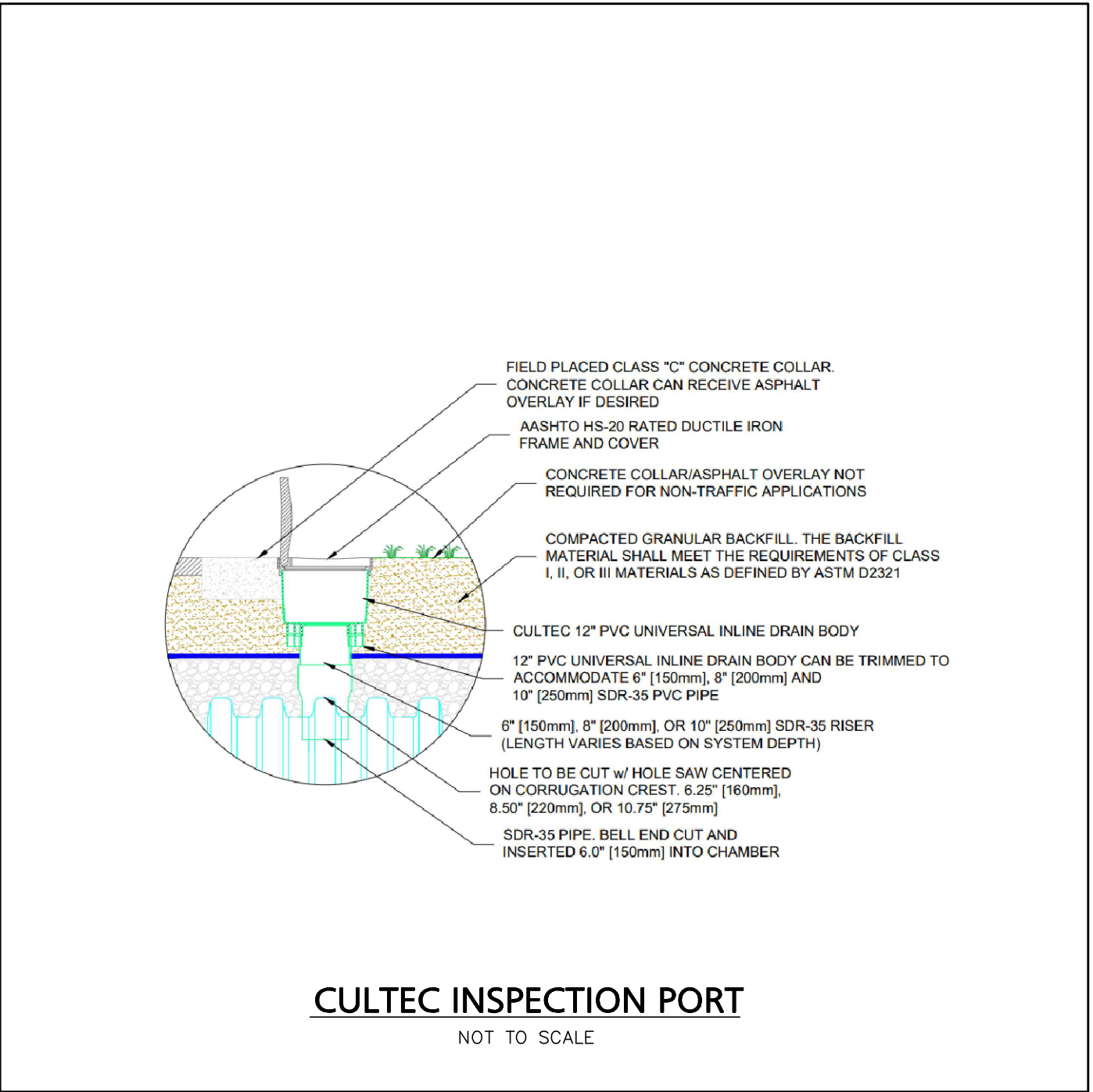
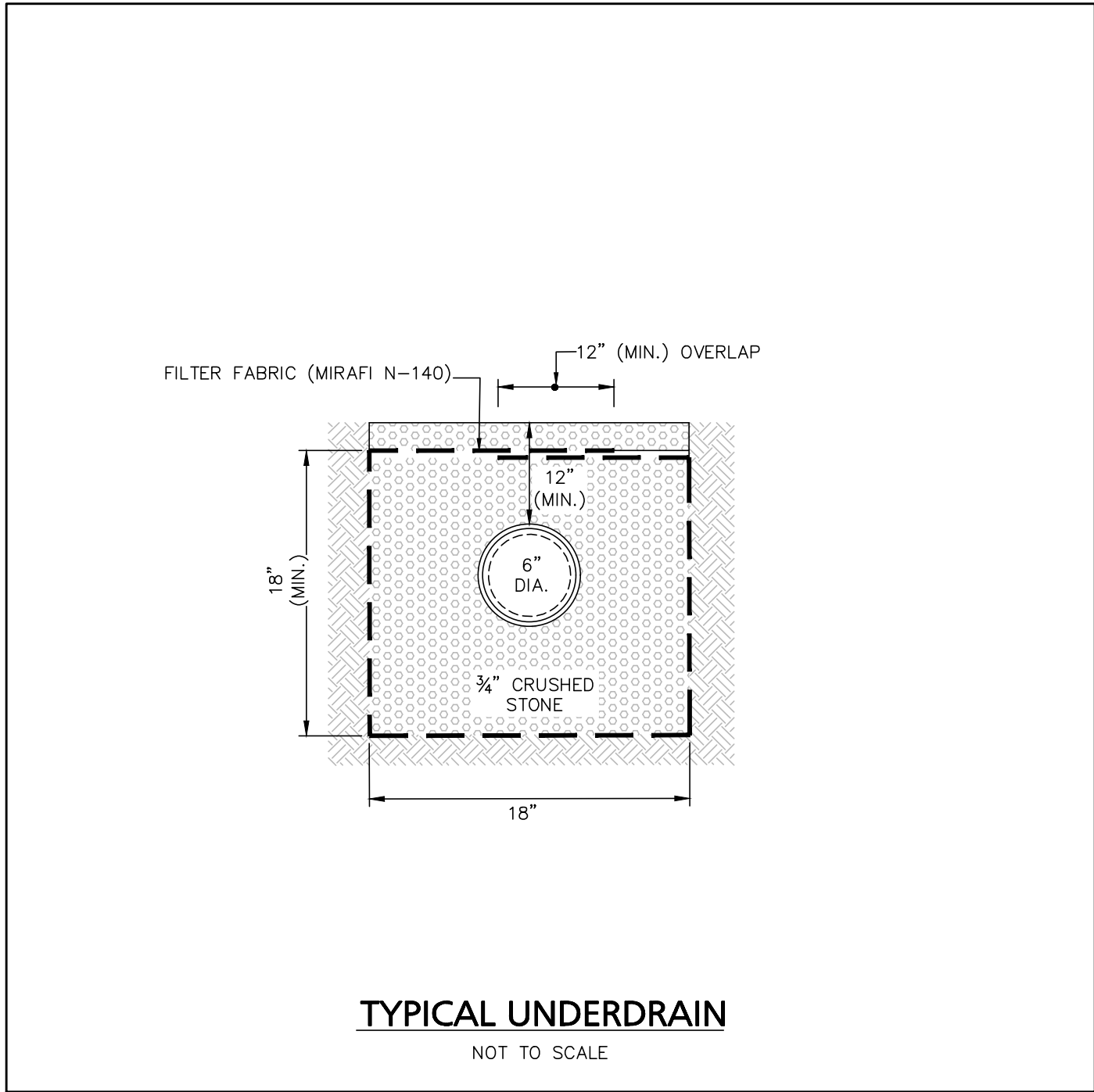
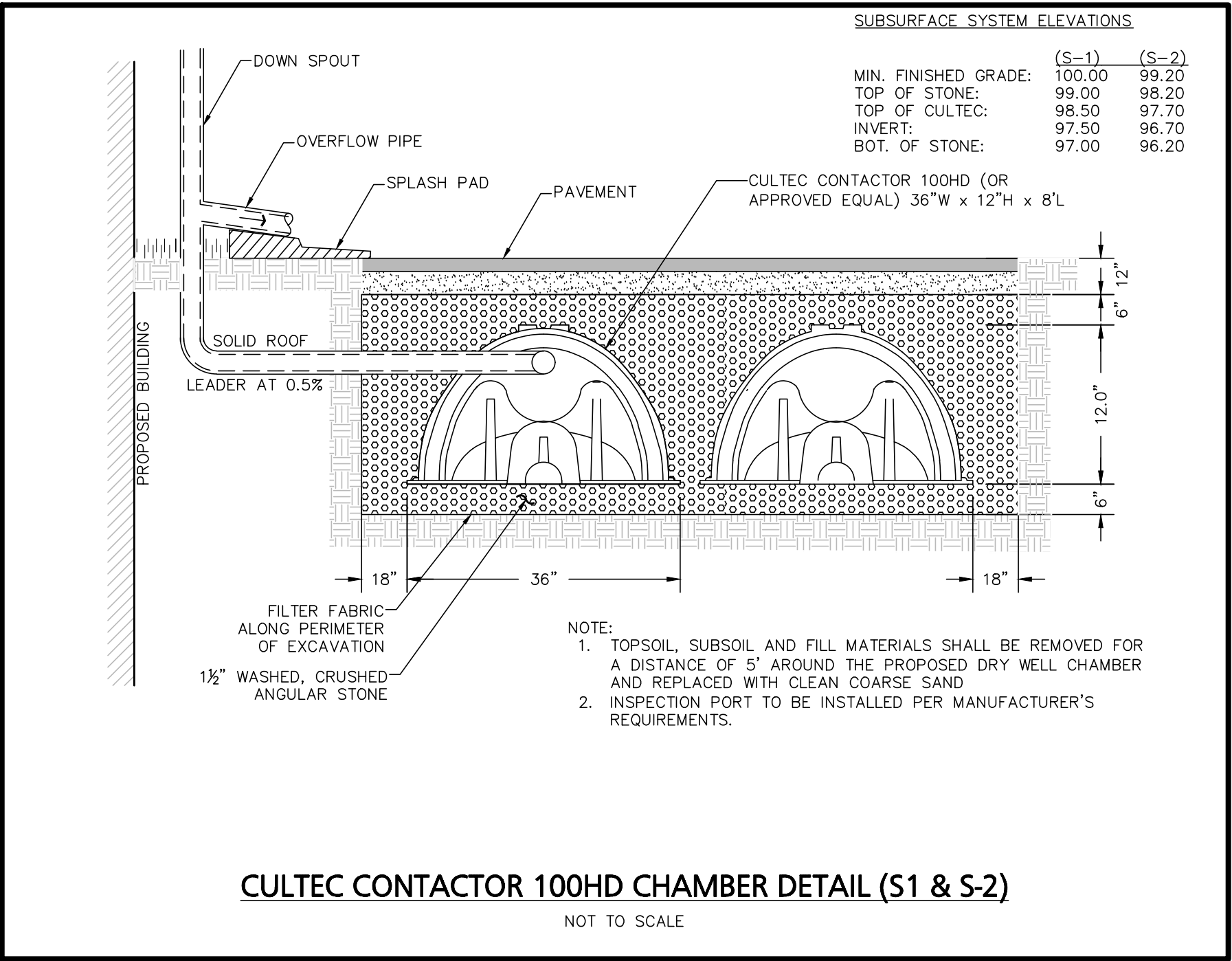
CONSTRUCTION DETAILS

DRAWING #:

D-1



- GENERAL CONSTRUCTION NOTES:**
1. THE CONTRACTOR SHALL VERIFY THE PROPOSED LAYOUT WITH ITS RELATIONSHIP TO THE EXISTING SITE SURVEY. THE CONTRACTOR SHALL ALSO VERIFY ALL DIMENSIONS, SITE CONDITIONS, AND MATERIAL SPECIFICATIONS AND SHALL NOTIFY THE OWNER AND ENGINEER OF ANY ERRORS, OMISSIONS OR DISCREPANCIES BEFORE COMMENCING OR PROCEEDING WITH CONSTRUCTION.
 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, INSPECTIONS, BONDS, ETC. AND OTHER APPROVAL RELATED ITEMS. NO CONSTRUCTION SHALL COMMENCE UNTIL SUCH PERMITS HAVE BEEN SECURED.
 3. METHODS AND MATERIALS USED IN THE CONSTRUCTION OF IMPROVEMENTS FOR THIS PROJECT SHALL CONFORM TO THE CURRENT CONSTRUCTION STANDARDS AND SPECIFICATIONS OF THE MASSDOT AND LOCAL REGULATIONS.
 4. CONTRACTOR TO CONFIRM AND VERIFY THE VALIDITY, LOCATION, MATERIAL, AND AVAILABILITY TO USE EXISTING UTILITIES ON OR NEAR THE PROJECT SITE PROPERTY. CONTRACTOR TO LOCATE EXISTING UTILITIES AND CONFIRM SAID UTILITIES WITH ALL APPLICABLE MUNICIPALITIES AND UTILITY COMPANIES PRIOR TO ANY CONSTRUCTION. ONCE UTILITIES HAVE BEEN CONFIRMED IN THE FIELD BY CONTRACTOR AND VERIFIED BY APPLICABLE MUNICIPALITY AND UTILITY COMPANY AND CONNECTION HAS BEEN APPROVED BY ENTITY, ONLY THEN SHALL THE CONTRACTOR CONSTRUCT AND UTILIZE THESE UTILITIES. CONTRACTOR TO IMMEDIATELY INFORM THE ENGINEER OF RECORD OF ANY DEVIATIONS TO PLANS.
 5. THE CONTRACTOR SHALL MAKE EXPLORATORY EXCAVATIONS AND LOCATE ANY EXISTING UTILITIES SUFFICIENTLY AHEAD OF CONSTRUCTION TO PERMIT REVISIONS TO PLANS IF NECESSARY. THE EXISTENCE AND/OR LOCATION OF UTILITIES SHOWN ON THESE PLANS MAY BE ONLY APPROXIMATELY CORRECT AND THE CONTRACTOR IS REQUIRED TO TAKE PRECAUTIONARY MEASURES TO PROTECT THE UTILITIES SHOWN HEREON AND ANY OTHER EXISTING UTILITIES NOT OF RECORD OR NOT SHOWN ON THESE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING, AT HIS EXPENSE, ANY EXISTING UTILITIES DAMAGED DURING CONSTRUCTION.
 6. THE CONTRACTOR SHALL NOTIFY OPERATORS WHO MAINTAIN UNDERGROUND UTILITY LINES IN THE AREA OF PROPOSED EXCAVATION AT LEAST THREE WORKING DAYS, BUT NOT MORE THAN TEN WORKING DAYS, PRIOR TO COMMENCEMENT OF EXCAVATION OR DEMOLITION. ALL WATER, GAS, SEWER AND OTHER UTILITIES SHALL BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION.
 7. RELOCATION OF ANY UTILITIES SHALL BE AT THE OWNERS EXPENSE AND COMPLETED WITH THE UTILITY WORK. THE OWNER SHALL BE NOTIFIED AS TO THE RELOCATIONS REQUIRED PRIOR TO THE START OF CONSTRUCTION.
 8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACING, WITH MATCHING MATERIALS, ANY PAVEMENT, WALKS, CURBS, ETC. THAT MUST BE CUT OR THAT ARE DAMAGED DURING CONSTRUCTION.
 9. AN APPROVED SET OF PLANS AND ALL APPLICABLE PERMITS MUST BE AVAILABLE AT THE CONSTRUCTION SITE.
 10. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THESE DOCUMENTS AND SUBSEQUENT ISSUED PLAN REVISIONS. ANY DEVIATIONS FROM THESE DOCUMENTS SHALL REQUIRE NOTIFICATION TO THE ENGINEER PRIOR TO THE COMMENCEMENT OF CONSTRUCTING ANY CHANGE. THE CONTRACTOR WILL BE WORKING AT HIS OR HER OWN RISK.
 11. ALL WATER AND SEWER CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF AMESBURY RULES AND REGULATIONS



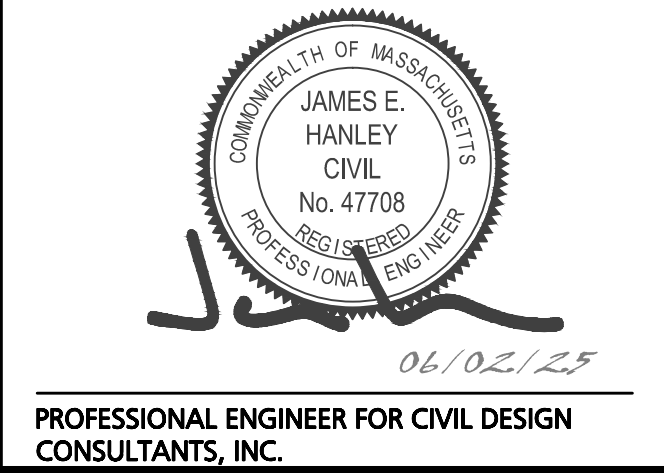
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ENGINEER	DATE
APPROVED BY THE CITY OF AMESBURY PLANNING BOARD	
_____	_____
_____	_____
_____	_____
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_____	_____
CERTIFICATE OF ACTION	_____
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06/02/25	REV. TO ADDRESS REVIEW COMMENTS
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OWNER / APPLICANT: RIVER'S EDGE DEVELOPMENT, LLC 88 ELM STREET SALISBURY, MA 01952	
PROJECT: 201 ELM STREET & 6 MONROE STREET AMESBURY, MA 01913	
DATE ISSUED:	FEBRUARY 24, 2025
PROJECT #:	25-10704
PREPARED BY:	MAC



DRAWING TITLE:

CONSTRUCTION DETAILS

DRAWING #:

D-2